



Town of Belmont
Planning Board

APPLICATION FOR A SPECIAL PERMIT

Date: Jan 18, 2022

Planning Board
Homer Municipal Building
19 Moore Street
Belmont, MA 02478

To Whom It May Concern:

Pursuant to the provisions of Massachusetts General Laws, Chapter 40A, Section 9, as amended, and the Zoning By-Law of the Town of Belmont, I/we the undersigned, being the owner(s) of a certain parcel of land (with the buildings thereon) situated on 274 Brighton Street Street/Road, hereby apply to your Board for a **SPECIAL PERMIT** for the erection or alteration on said premises or the use thereof under the applicable Section of the Zoning By-Law of said Town for _____

House remodeling and addition:

This project is a 2nd-floor addition on top of the existing 1-story structure and a new 2-story addition attached to the rear of the existing structure.

on the ground that the same will be in harmony with the general purpose and intent of said Zoning By-Law.

Signature of Petitioner

Print Name

Dawei Jiang and Linlin Zhao

Address

274 Brighton Street

Belmont, MA 02478

Daytime Telephone Number

617-894-5183



OFFICE OF COMMUNITY DEVELOPMENT
TOWN OF BELMONT
19 Moore Street
Homer Municipal Building
Belmont, Massachusetts 02478-0900

Telephone: (617) 993-2650 Fax: (617) 993-2651

Building Division
(617) 993-2664
Engineering Division
(617) 993-2665
Planning Division
(617) 993-2666

January 19, 2022

Linlin Zhao and Dawei Jiang
274 Brighton Street
Belmont, MA 02478

RE: Denial to Construct an Addition

Dear Linlin Zhao and Dawei Jiang,

The Office of Community Development is in receipt of your building permit application for the construction of a second and rear addition at 274 Brighton Street located in the Single Residence C (SR-C) Zoning District.

Your application has been denied because it does not comply with the Zoning By-Law. More specifically, §1.5.4C(2) allow expansions more than (30%) in the Single Residence C district by a Special Permit granted by the Planning Board.

1. The proposed increase in the percentage (152%) of the expansion exceeds 30% and is allowed by a Special Permit granted by the Planning Board.

You may alter your plans to conform to the current Town of Belmont Zoning By-Law and resubmit a building permit application, or you may request one (1) Special Permit from the Planning Board. If you choose this option, please contact the Office of Community Development to schedule an appointment with Robert Hummel, Senior Planner at (617) 993-2650 in order to begin the Special Permit process.

Sincerely,

Glenn R. Clancy, P.E.
Inspector of Buildings

*PER. SECTION 4.2.2. Section 7., PROPOSED SET BACK IS NO LESS THAN SIDE YARD REQUIREMENT PRAY THIS SPECIAL PERMIT BE GRANTED.

*SET BACK IS AVG. OF EXIST. SIDELINES PER AHJ

ZONING DISTRICT: SC (SINGLE RESIDENCE C)

EXISTING HOUSE 1,279±S.F. + ADDITION 269±S.F.
 EXISTING DECK 216±S.F.
 EXISTING COVERAGE 1,495±S.F. PROPOSED 1,764±S.F.

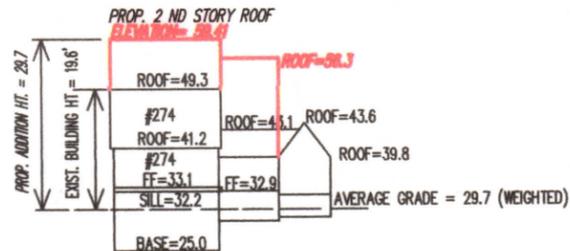
EXISTING LOT COVERAGE: 21.0%
PROPOSED LOT COVERAGE: 24.8%

EXISTING DRIVEWAYS & PARKING 588±S.F.
EXISTING OPEN SPACE: 70.7%
 NO NEW PARKING IS PROPOSED
PROPOSED OPEN SPACE: 66.9%

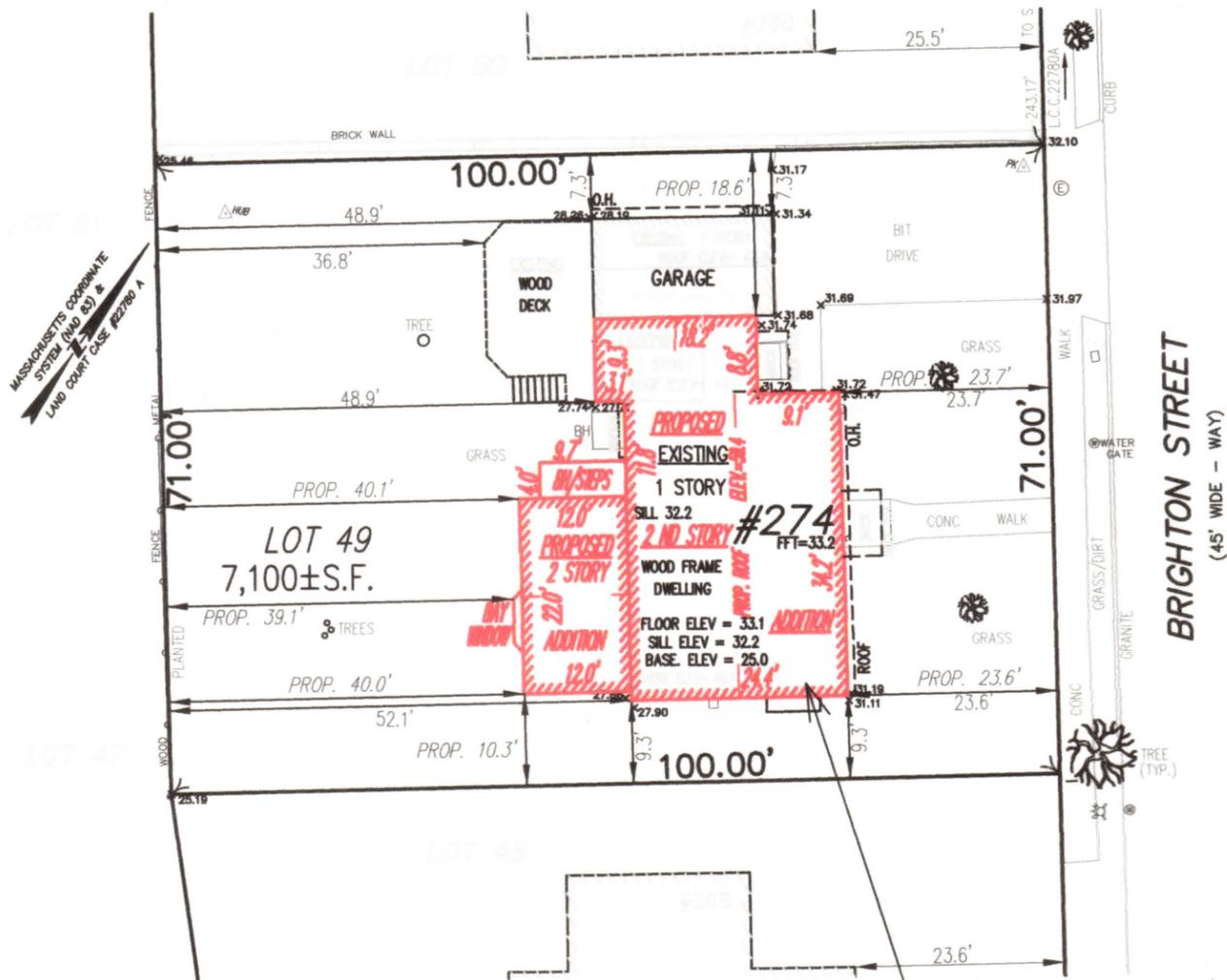
	REQUIRED	EXIST.	PROP.
MAXI. LOT COVERAGE:	25%	21.0%	24.8%
MIN. LOT OPEN SPACE:	50%	70.7%	66.9%
FRONT SETBACK:	25'	23.6'	23.6'
REAR SETBACK:	30'	36.8'	39.1'
SIDE SETBACK:	10'	7.3'	10.3'
BUILDING HEIGHT	30'	19.6'	29.7'
BUILDING STORIES:	2.5	1	2

- LEGEND**
- BH BULKHEAD
 - BIT BITUMEN/ASPH
 - CONC CONCRETE
 - ELEC ELECTRIC UTILITY
 - ELEV ELEVATION
 - FFT FLOOR/AREA ELEVATION
 - GRASS GRASS
 - O.H. OVERHEAD/POWERLINE
 - SB/SH STONE BOUND/SHRILL HOLE
 - S.F. SQUARE FEET(SQFT)
 - S.F. SQUARE FEET(SQFT)
 - X12.34 SPOT ELEVATION
 - ⊕ ELECTRIC MANHOLE
 - 3.4' EXISTING BUILDING SETBACK
 - 1.2' PROPOSED SETBACK

EXIST. ROOF PEAK ELEVATION = 49.3
 EXIST. FLOOR ELEVATION (FFT) = 33.2
 EXIST. AVERAGE GRADE = 29.7 (AWG)



NOTE: PLAN IS FOR ZONING PURPOSES ONLY & NOT FOR CONSTRUCTION. SEE PLANS OF 11/19/2021 BY OoDD ARCHITECTS LLC, Chih Ming Lee, AIA, GOODNESS OF FIT, ADEQUACY OF DETAIL SOLE RESPONSIBILITY OF DESIGNER/CONTRACTOR. ALL OVERHANGS, UTILITIES, PLANTINGS & LANDSCAPING ARE NOT SHOWN.



TO THE LINLIN ZHAO, DAWEI JIANG & THE TOWN OF BELMONT;
 I HEREBY CERTIFY TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION AND BELIEF THAT:

THIS PLAN SHOWS THE RESULTS OF AN INSTRUMENT SURVEY OF THE PREMISES BY ME USING A LEICA TS 12 TOTAL STATION ON MAY 1 & MAY 31, 2021.

NO PUBLIC SHADE TREES ARE LOCATED WITHIN THE LIMITS OF THE OF THE PROPERTY FRONTAGE OF THE SUBJECT PROPERTY; EXCEPT AS SHOWN.

THE LOT IS NOT WITHIN WETLANDS OR WETLAND BUFFER ZONE.

PROPOSED 2ND STORY (AS SHOWN)
 WOOD FRAME ADDITION
 ROOF PEAK ELEV=59.4

PLOT PLAN PROPOSED ADDITION TO #274 BRIGHTON STREET BELMONT, MASS.

ASSESSORS MAP 44, PARCEL 74

LINLIN ZHAO & DAWEI JIANG
 Owner: DEED REFERENCE: BOOK 1512 PAGE 97; Cert#265562
 Loc. House No. #274
 Lot No. Lot 49, Land Court Case 22780A, Sept. 24, 1951
 App. No. _____
 Date MAY 1, 2021
 Scale 1" = 20'



ELEVATIONS SHOWN REFERS TO N.G.V.D. 1989.

THE PREMISES IS IN ZONE C & DOES NOT LIE IN AN AREA OF SPECIAL FLOOD HAZARD AS DEFINED BY THE FLOOD INSURANCE RATE MAP #250 17C 0418E, EFFECTIVE JUNE 4, 2010.

DENNY LAND SURVEYING & ENGINEERING
 51 PARK DRIVE (617) 875-1725 BOSTON, MASS.

Zoning Compliance Check List

(Registered Land Surveyor)

Property Address: 274 BRIGHTON

Zone: SC

Surveyor Signature and Stamp:  

Date: 11/23/2021

	REQUIRED	EXISTING	PROPOSED
Lot Area	9,000	7,000	—
Lot Frontage	75.0'	71.0'	—
Floor Area Ratio	— *	— *	— *
Lot Coverage (max)	25%	21.0%	24.8%
Open Space (min)	50%	70.7%	66.9%
Front Setback	25'	23.6'	23.6'
Side Setback L	10'	9.3'	10.3'
Side Setback R	10'	7.3'	7.3'
Rear Setback	30'	36.8'	40.0'
Building Height	30'	19.6'	29.7'
Stories	2.5'	1	2
1/2 Story Calculation			

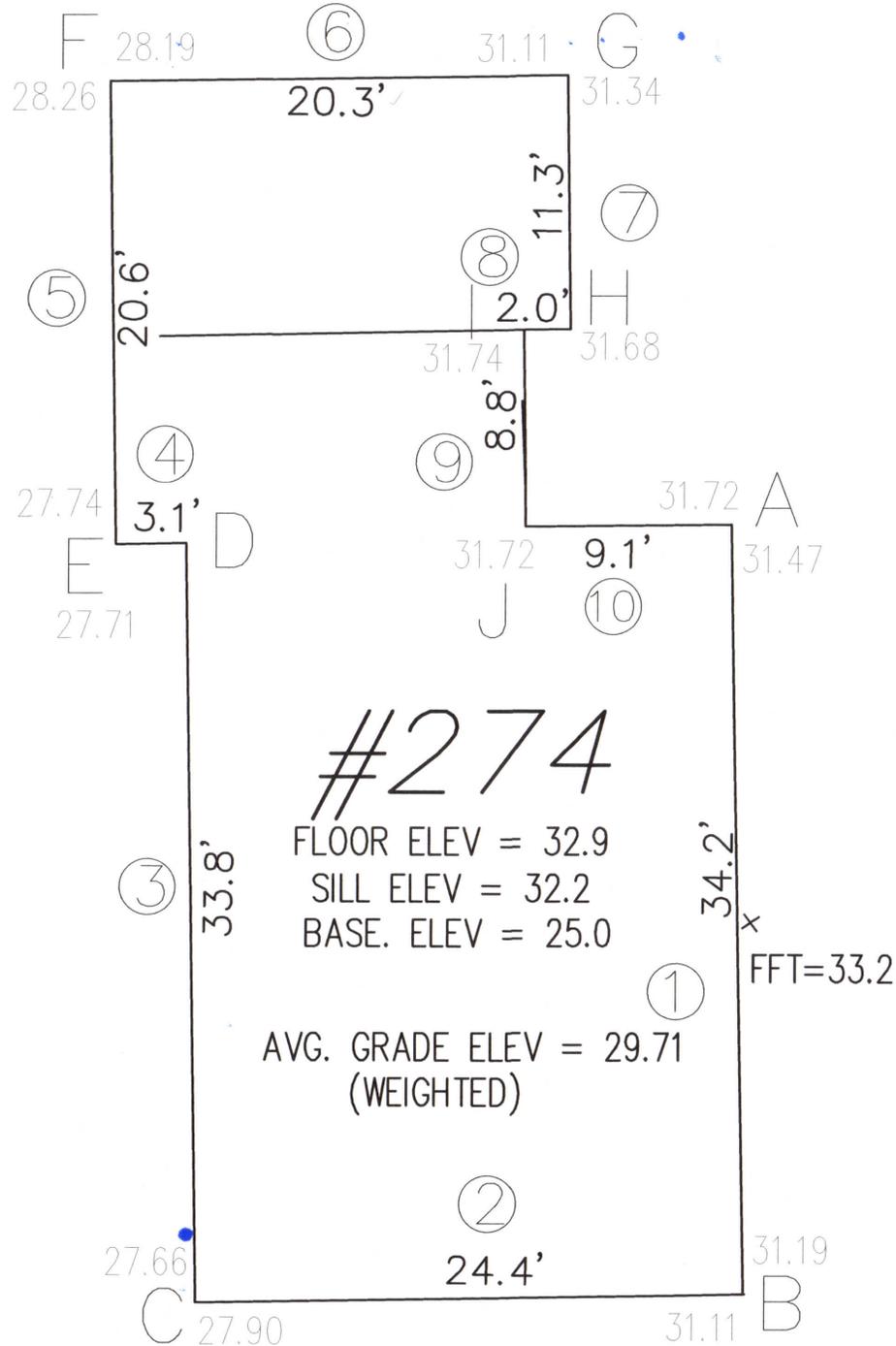
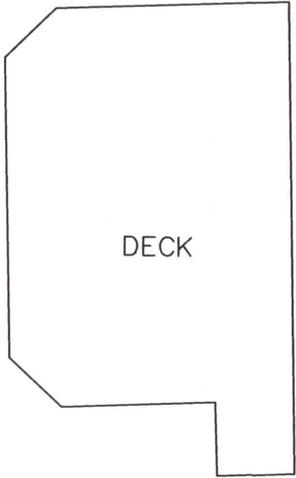
NOTES: *

1) FRONT SETBACKS IS AVERAGE OF ABUTTERS

2) SEE PLAN SET BY ODD ARCHITECTS
CHIH MING LEE AIA DATED 11/19/2021

12/5/2021

274 BRIGHTON STREET



2/2

JIANG RESIDENCE

SINGLE FAMILY ADDITION

274 Brighton Street

Belmont, Massachusetts 02478

ZONING SUMMARY:

1. ZONE: RESIDENTIAL SINGLE RESIDENCE C (SR-C)	REQ'D	EXISTING	PROPOSED
2. LOT SIZE	9,000 SQ-FT	7,100 S.F. (PER RECORD)	NO CHANGE
3. FRONTAGE	75 FT	71 FT	NO CHANGE
4. FRONT YARD	25 FT	23.6 FT	23.6 FT
5. SIDE YARD	10 FT	9.3/7.3 FT	(9.3/7.3)/10.3 FT
6. REAR YARD	30 FT	48.9 FT	40.0 FT
7. HEIGHT	30 FT	19.6 FT	29.7 FT
8. COVERAGE	25%	21.0%	24.6%
9. OPEN SPACE	50%	70.7%	67.1%
10. F.A.R.	N/A		
11. TOTAL GROSS AREA		1,198 S.F.	3,029 S.F.
TOTAL LIVING AREA (TLA)*		975 S.F.	2,484 S.F.
1ST FLOOR*		975 S.F.	1,239 S.F.
2ND FLOOR*		N/A	1,245 S.F.
ATTIC		0 S.F.	322 S.F.
GARAGE		223 S.F.	223 S.F.

ABBREVIATIONS:

ACT	ACOUSTIC CEILING TILE	F.E.	FIRE EXTINGUISHER	O.C.	ON CENTER
ADJ.	ADJUSTABLE	F.D.	FLOOR DRAIN	O.D.	OUTSIDE DIMENSION
A.F.F.	ABOVE FINISH FLOOR	FDN.	FOUNDATION	OPNG.	OPENING
ALUM.	ALUMINUM	FIN.	FINISHED	OPP.	OPPOSITE
ANOD.	ANODIZED	FIXT.	FIXTURE	O.R.B.	OIL RUB BRONZE
APPROX	APPROXIMATE	FLR.	FLOOR	PC(S)	PIECE(S)
ARCH	ARCHITECTURAL	F.O.	FACE OF	PL.	PLATE
A/V	AUDIO/VIDEO	FTG	FOOTING	PLAM	PLASTIC LAMINATE
B.PL.	BASE PLATE	GALV.	GALVANIZED	PR.	PAIRED
BM.	BEAM	G.C.	GENERAL CONTRACTOR	P.T.	PRESSURE TREATED PRESERVATIVE
BTW'N	BETWEEN	GL.	GLASS	PTD.	PAINTED
BITUM.	BITUMINOUS	GR.	GRADE	P'WD	PLYWOOD
BLK'G	BLOCKING	GRAV.	GRAVEL	R/A	RETURN/AIR
BD.	BOARD	GWB	GYPSPUM WALL BOARD	RAD.	RADIUS
BOT.	BOTTOM	HDW.	HARDWARE	R.D.	ROOF DRAIN
CAB.	CABINET	HGT.	HEIGHT	REINF	REINFORCEMENT
C.T.	CERAMIC TILE	HORZ.	HORIZONTAL	REQ'D	REQUIRED
C.J.	CONTROL JOINT	H.M.	HOLLOW METAL	REV.	REVISION
C/L	CENTER/LINE	H.P.	HIGH POINT	R.O.	ROUGH OPENING
CLOS.	CLOSET	I.D.	INSIDE DIMENSION	RSR	RISER
CLNG.	CEILING	INSUL	INSULATION	S/A	SUPPLY/AIR
CLR.	COLOR	INT.	INTERIOR	SIM.	SIMILAR
CMU	CONC. MASONRY UNIT	INV.	INVERT	SQ.	SQUARE
COL.	COLUMN	JT.	JOINT	S.STL.	STAINLESS STEEL
CONT.	CONTINUOUS	LAV.	LAVATORY	STL.	STEEL
DIA.	DIAMETER	LTG.	LIGHTING	STND.	STAINED
DIAG.	DIAGONAL	L.P.	LOW POINT	SUSP.	SUSPENDED
DIM.	DIMENSION	M.H.	MAN HOLE	T&G	TONGUE & GROOVE
DN	DOWN	MFR.	MANUFACTURER	THK.	THICK
DR	DOOR	M.O.	MASONRY OPENING	T.O.	TOP OF
DTL.	DETAIL	MAX	MAXIMUM	TRD	TREAD
DWG.	DRAWING	MECH.	MECHANICAL	TRD	TREAD
EA.	EACH	MDF	MEDIUM DENSITY FIBERBOARD	TYP.	TYPICAL
ELEC.	ELECTRICAL	MDO	MEDIUM DENSITY OVERLAY	U.N.O.	UNLESS NOTED OTHERWISE
ELEV.	ELEVATION	MET.	METAL	VERT.	VERTICAL
ENCL.	ENCLOSURE	MIN.	MINIMUM	V.I.F.	VERIFIED IN FIELD
EQ.	EQUAL	MISC	MISCELLANEOUS	WD.	WOOD
EXP.	EXPANSION	N.I.C.	NOT IN CONTRACT	WDW.	WINDOW
EX/EXST.	EXISTING	NOM.	NOMINAL	WHT.	WHITE
EXT.	EXTERIOR	N.T.S.	NOT TO SCALE	WGT.	WEIGHT
				W/	WITH

PROJECT DESCRIPTION:

- THIS PROJECT IS A SECOND-FLOOR ADDITION ON TOP OF THE EXISTING 1-STORY STRUCTURE AND A NEW 2-STORY ADDITION ATTACHED TO THE REAR OF THE EXISTING STRUCTURE.

DRAWING LIST:

A0.0	PROJECT DESCRIPTION, ZONING/CODE SUMMARY, DRAWING LIST, NOTES & ABBREVIATIONS
A0.1	AREA CALCULATION
A0.2	LEGENDS, WALL TYPES & EXISTING/ DEMOLITION PLANS
A0.3	SCHEDULES
A1.1	PROPOSED BASEMENT PLAN
A1.2	PROPOSED FIRST FLOOR PLAN
A1.3	PROPOSED SECOND FLOOR PLAN
A1.4	PROPOSED ATTIC PLAN
A1.5	PROPOSED ROOF PLAN
A2.1	BASEMENT REFLECTED CEILING PLAN
A2.2	FIRST FLOOR REFLECTED CEILING PLAN
A2.3	SECOND FLOOR REFLECTED CEILING PLAN
A3.1	PROPOSED BUILDING ELEVATIONS
A3.2	PROPOSED BUILDING ELEVATIONS
A3.3	BUILDING SECTION
A3.4	BUILDING SECTION
A4.1	FRAMING NOTES, DETAILS & FOUNDATION PLAN
A4.2	FIRST/SECOND FLOOR FRAMING PLANS
A4.3	ATTIC & ROOF FRAMING PLANS

GENERAL NOTES:

- ALL WORK SHALL BE IN ACCORDANCE WITH THE STATE AND LOCAL CODES AND ORDINANCES:
 - MASSACHUSETTS RESIDENTIAL CODE – INTERNATIONAL RESIDENTIAL CODE (IRC) 2015 WITH MASSACHUSETTS AMENDMENTS TO IRC 9TH ED. (2017)
 - MASSACHUSETTS ENERGY CODE – INTERNATIONAL ENERGY CONSERVATION CODE (IECC) 2015 WITH MASSACHUSETTS STRETCH ENERGY CODE AMENDMENTS (2017).
 - LOCAL CITY/TOWN ZONING CODE/ BY-LAW.
 - ALL OTHER APPLICABLE CODES.
- ALL PERMITS AND LICENSES SHALL BE SECURED BY CONTRACTOR(S).
- GENERAL CONTRACTOR IS RESPONSIBLE FOR PROVIDING SUBCONTRACTORS WITH ALL INFORMATION IN REGARDS TO FULL SCOPE OF THE PROJECT AND THEIR RESPECTIVE TRADES DURING BIDDING AND CONSTRUCTION PHASES.
- DO NOT SCALE DRAWINGS FOR DIMENSIONS. ALL GRADE APPROXIMATE. ALL HEIGHTS TO BE CONFIRMED WITH FIELD CONDITIONS.
- ALL DIMENSIONS AND LAYOUTS SHALL BE FIELD VERIFIED AND COORDINATED WITH ARCHITECTURAL DRAWINGS AND SITE PLAN BY GENERAL CONTRACTOR. GENERAL CONTRACTOR SHALL REVIEW ALL PLANS AND REPORT ANY INCONSISTENCIES OR AMBIGUITIES. THE CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES IN THE CONTRACT DOCUMENTS AND THE FIELD CONDITIONS. THE CONTRACTOR SHALL PROCEED ONLY AFTER THESE ISSUES ARE RESOLVED.
- WORK NOT INDICATED ON THE DRAWINGS BUT REASONABLY IMPLIED TO BE SIMILAR TO THAT IS SHOWN AT CORRESPONDING SITUATIONS SHALL BE REPEATED.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ERECTING PROTECTIVE BARRIER TO SEPARATE WORK AREAS FROM AREAS COMPLETED OR BEYOND THE LIMITS OF THE CONTRACT.
- GENERAL CONTRACTOR SHALL COORDINATE PHASING AND SEPARATION OF WORK WITH OWNER.
- CONTRACTOR(S) SHALL RECTIFY, WITHOUT COST OF OWNER, ANY DEFECTS DUE TO FAULTY WORKMANSHIP. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE HIGHEST STANDARDS OF TRADES AND PRACTICES.
- ARCHITECT IS NOT RESPONSIBLE FOR ANALYSIS OF EXISTING STRUCTURE OR FOUNDATION BEYOND VISIBLE AREA. EXISTING STRUCTURAL CONDITIONS ARE ASSUMED TO BE ACCURATE. IF DISCREPANCY OCCURS, CONTRACTOR SHALL NOTIFY ARCHITECT PRIOR TO CONSTRUCTION. FAILURE TO DO SO RELIEVES ARCHITECT OF ANY RESPONSIBILITY. A CERTIFIED STRUCTURAL ENGINEER WILL BE HIRED AT OWNER'S EXPENSE IF REQUIRED BY LOCAL BUILDING OFFICIAL.
- ELECTRICAL CONTRACTOR SHALL PROVIDE DESIGN-BUILD SERVICES. ALL ELECTRICAL WORK SHALL BE IN COMPLIANCE WITH APPLICABLE CODES. THE ELECTRICIAN SHALL PROVIDE ADEQUATE RECEPTACLES, LIGHTING AND APPROPRIATE SWITCH LOCATIONS PER CODE REQUIREMENTS. SCHEDULE ALL INSPECTIONS IN TIMELY MANNER.
- ELECTRICIAN CONTRACTOR SHALL PROVIDE CARBON MONOXIDE (CO), SMOKE AND HEAT DETECTION ALARMS PER CODE REQUIREMENTS. ALL FIRE ALARMS TO BE HOT WIRED WITH BATTERY BACKUP. FIRE ALARM DEVICES AND LOCATIONS OF NEWLY CONSTRUCTED & EXISTING AREAS TO BE REVIEWED & APPROVED BY LOCAL FIRE DEPARTMENT.
- ELECTRICAL CONTRACTOR TO PROVIDE TEL/DATA & CABLE OUTLETS APPROVED BY OWNER.
- PLUMBING CONTRACTOR TO PROVIDE DESIGN-BUILD SERVICES. ALL PLUMBING WORK SHALL BE IN COMPLIANCE WITH APPLICABLE CODES. THE PLUMBER SHALL PROVIDE ANY REQUIRED DRAWINGS FOR PERMIT APPLICATION AND BE RESPONSIBLE FOR THE FIXTURE SCHEDULE FOR THE OWNER'S APPROVAL, IF REQUIRED BY THE OWNER. COORDINATE THE LOCATIONS OF REQUIRED TIE-INS AND THE LAYOUT OF PIPING/VENT WITH THE GENERAL CONTRACTOR. FOLLOW CODE GUIDELINES FOR CUTTING AND NOTCHING FRAMING MEMBERS. SCHEDULE ALL INSPECTIONS IN TIMELY MANNER.
- HVAC CONTRACTOR TO PROVIDE DESIGN-BUILD SERVICES INCLUDING LAYOUT/INSTALLATION WITH COMPLETE LISTING AND SIZES OF ALL EQUIPMENTS PROPOSED FOR USE AND ROUTING OF ALL DUCT WORK AND PIPING. ALL HVAC WORK SHALL BE IN COMPLIANCE WITH APPLICABLE CODES. GENERAL CONTRACTOR SHALL COORDINATE THIS LAYOUT WITH FRAMERS PRIOR TO FRAMING.
- ALL IN WALL PLUMBING & ELECTRICAL COMPONENTS PASSING THRU STUD WALLS TO BE COVERED WITH METAL SHIELD PLATES TO PREVENT PUNCTUATION.

ENERGY CONSERVATION NOTES:

- ALL CONSTRUCTION SHALL COMPLY WITH 2015 IECC, 780 CMR 51.00 AMENDMENTS TO IRC(2015) & MASSACHUSETTS STRETCH ENERGY CODE.
- ALL BUILDING MATERIALS & SYSTEMS INCLUDING BUT NOT LIMITED TO AIR BARRIER, MOISTURE BARRIER, INSULATION PRODUCTS, MECHANICAL/ELECTRICAL/PLUMBING EQUIPMENTS SHALL BE INSTALLED PER MANUFACTURERS' MANUALS & INSTRUCTIONS.
- CONSTRUCTION DOCUMENTS DEMONSTRATE COMPLIANCE FOR THE BUILDING ENVELOPE. THERMAL ENVELOPE REPRESENTED ON CONSTRUCTION DOCUMENTS.
- THE BOTTOM FLOOR OF HEATED SPACE TO BE INSULATED WITH MINIMUM R-30 INSULATION AND VAPOR BARRIER ON WARM SIDE OF THERMAL ENVELOPE, TYP. (IECC TABLE R402.1.1)
- FLOOR INSULATION INSTALLED PER MANUFACTURER'S INSTRUCTIONS AND IN SUBSTANTIAL CONTACT WITH THE UNDERSIDE OF SUBFLOOR, OR FLOOR FRAMING CAVITY INSULATION IS IN CONTACT WITH TOP SIDE OF SHEATHING, OR CONTINUOUS INSULATION IS INSTALL ON THE UNDERSIDE OF FLOOR FRAMING AND EXTENDS FROM THE BOTTOM TO THE TOP OF ALL PERIMETER FLOOR FRAMING MEMBERS. (IECC R303.2 402.2.7)
- ALL NEW EXTERIOR WALLS SHALL BE 2X6 @ 16" O.C. TO BE INSULATED WITH R-20 INSULATION AND VAPOR BARRIER ON WARM SIDE OF THERMAL ENVELOPE, TYP. (2015 IECC TABLE R402.1.2) WALL INSULATION IS INSTALLED PER MANUFACTURER'S INSTRUCTIONS. (IECC R303.2)
- THE CEILING OF HEATED SPACE/OR CAVITY OF ROOF RAFTERS OF HEATED SPACE TO BE INSULATED WITH MINIMUM R-49 INSULATION AND VAPOR BARRIER ON WARM SIDE OF THERMAL ENVELOPE, TYP. (IECC TABLE R402.1.2)
- CEILING INSULATION IS INSTALLED PER MANUFACTURER'S INSTRUCTIONS. BLOWN OR SPRAY INSULATION SHALL BE MARKED IN INCHES EVERY 300 SQ-FT. (IECC R303.1.1.1)
- ATTIC ACCESS HATCH AND DOOR INSULATION >=R-VALUE OF ADJACENT ASSEMBLY. (IECC R402.2.4)
- THE BASEMENT WALL OF OCCUPIED SPACE TO BE INSULATED WITH R-19 IN CAVITY, OR R-15 INTERIOR OR EXTERIOR CONTINUOUS INSULATION. (2015 IECC TABLE R402.1.2)
- BUILDING CAVITIES SHALL NOT BE USED AS DUCTS OR PLENUMS. (IECC 2015 R403.3.5)
- ALL FENESTRATION WINDOWS INSULATED GLASS PANEL WITH MAX. U-FACTOR 0.30. (780CMR51)
- ALL SKYLIGHTS INSULATED GLASS PANEL WITH MAX. U-FACTOR 0.55, OR TO MEET ENERGY STAR FENESTRATION U-FACTOR/SHGC REQUIREMENTS. (IECC TABLE R402.1.2)
- U-FACTORS OF FENESTRATION PRODUCTS ARE DETERMINED IN ACCORDANCE WITH NFRC TEST PROCEDURE OR TAKEN FROM THE DEFAULT TABLE. (IECC R303.1.3)
- BUILDING ENVELOPE AIR TIGHTNESS AND INSULATION INSTALLATION SHALL BE PERFORMED PER IECC R402.4.
- EXTERIOR DOORS TO BE INSULATED AND WEATHER-STRIPPED.
- THE BUILDING THERMAL ENVELOPE SHALL BE DURABLY SEALED TO LIMIT INFILTRATION WITH PROPER CAULK, GASKET, WEATHER-STRIPPING OR OTHER AIR BARRIER MATERIALS.
- WINDOWS, SKYLIGHTS AND SLIDING GLASS DOORS SHALL HAVE AN AIR INFILTRATION RATE OF NO MORE THAN 0.3 CFM PER SQUARE FOOT, AND SWING DOORS NO MORE THAN 0.5 CFM. (IECC R402.4.3)
- AUTOMATIC OR GRAVITY DAMPERS ARE INSTALLED ON ALL OUTDOOR AIR INTAKES AND EXHAUSTS. (IECC 403.6)
- BLOWER DOOR TEST @ 50 PA. <=3 ACH IN MASSACHUSETTS CLIMATE ZONE 5A. (IECC 402.4.1.2)
- HEATING AND COOLING EQUIPMENT IS SIZED PER ACAA MANUAL S BASED ON LOADS CALCULATED PER ACAA MANUAL J OR OTHER METHODS APPROVED BY THE CODE OFFICIAL. (IECC R403.7)
- AT LEAST ONE THERMOSTAT SHALL BE PROVIDED FOR EACH SEPARATE HEATING AND COOLING SYSTEM. PROGRAMMABLE THERMOSTATS INSTALLED FOR CONTROL OF PRIMARY HEATING AND COOLING SYSTEMS AND INITIALLY SET BY MANUFACTURER TO CODE SPECIFICATIONS. (IECC R403.1.1)
- HVAC PIPING INSULATION EXPOSED TO WEATHER SHALL BE PROTECTED. (IECC R403.4.1)
- HVAC PIPING CONVEYING FLUIDS ABOVE 105°F OR CHILLED FLUIDS BELOW 55°F SHALL BE INSULATED TO A MINIMUM OF R-3. (IECC R403.4)
- DUCTS AND AIR HANDLERS SHALL BE INSULATED AND SEALED PER R403.3. SUPPLY & RETURN AIR DUCTS IN ATTIC SHALL BE INSULATED TO MIN. R-8 (3"Ø OR GREATER) OR R-6 (LESS THAN 3"Ø). DUCTS IN OTHER PORTION SHALL BE INSULATED TO MIN. R-6 (3"Ø OR GREATER) OR R-4.2 (LESS THAN 3"Ø). (IECC R403.3.1)
- DUCTS AND REGISTERS SHALL BE TAPED AND SEALED (ROUGH-IN OR POST-CONSTRUCTION) TO MEASURE W/ A DIFFERENTIAL 0.1 INCH W.G. EXCEPT THE ENTIRE SYSTEM IS WITH IN BUILDING ENVELOPE. (IECC R403.3.3)
- TOTAL LEAKAGE OF THE DUCTS SHALL BE LESS THAN OR EQUAL TO 4 CFM PER 100 S.F. OF CONDITIONED SPACE. (IECC R403.3.4)
- AIR HANDLER LEAKAGE DESIGNATED BY MANUFACTURER AT <=2% OF DESIGN AIR FLOW. (IECC R403.3.2.1)
- ALL MECHANICAL VENTILATION SYSTEM FANS NOT PART OF TESTED AND LISTED HVAC EQUIPMENT MEET EFFICACY AND AIR FLOW LIMITS. (IECC R403.6.1)
- HOT WATER BOILERS SUPPLYING HEAT THROUGH 1- OR 2-PIPE HEATING SYSTEMS HAVE OUTDOOR SETBACK CONTROL TO LOWER BOILER WATER TEMPERATURE BASED ON OUTDOOR TEMPERATURE. (IECC R403.2)
- RECESSED LIGHTING INSTALLED IN BUILDING THERMAL ENVELOPE TO BE SEALED TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES. ALL RECESSED LUMINARIES SHALL BE IC-RATED AND LABELED AS HAVING AN AIR LEAKAGE RATE NOT MORE THAN 2.0 CFM PER ASTM E283 (IECC R402.4.5)
- NOT LESS THAN 75% OF LAMPS IN PERMANENTLY INSTALLED FIXTURES SHALL BE HIGH-EFFICIENT LAMPS OR CONTAIN ONLY HIGH-EFFICIENT LAMPS EXCEPT LOW-VOLTAGE LIGHTING. (IECC R404.1)
- HOT WATER PIPES SHALL BE INSULATED TO R-3 IF PIPING 3/4" OR LARGER, PIPING SERVE MORE THAN ONE UNIT, PIPING LOCATED OUTSIDE CONDITIONED SPACE, PIPING FROM WATER HEATER TO DISTRIBUTION MANIFOLD, OR PIPING UNDER A FLOOR SLAB. (IECC R403.5.3)
- MANDATORY HEATED WATER CIRCULATION AND TEMPERATURE MAINTENANCE SYSTEM TO BE IN ACCORDANCE 2015 IECC R403.5.1, AND TO HAVE AUTOMATIC OR MANUAL CONTROLS. (IECC R403.5.1)
- HEATED WATER CIRCULATION SYSTEM HAVE A CIRCULATION PUMP. THE SYSTEM RETURN PIPE IS A DEDICATED PIPE OR A COLD WATER SUPPLY PIPE. GRAVITY AND THERMOS-SYPHON CIRCULATION SYSTEMS ARE NOT PRESENT. CONTROLS FOR CIRCULATING HOT WATER SYSTEM PUMPS START PUMP WITH SIGNAL FOR HOT WATER DEMAND WITHIN THE OCCUPANCY. CONTROLS AUTOMATICALLY TURN OFF THE PUMP WHEN WATER IS AT SET-POINT TEMPERATURE AND NO DEMAND FOR HOT WATER EXISTS. (IECC R403.5.1.1)
- THE RECIRCULATION PUMPS IN WATER DISTRIBUTION SYSTEMS PUMP WATER BACK TO HEATED WATER SOURCE THROUGH A COLD WATER SUPPLY PIPE, AND THE PUMPS HAVE CONTROLS THAT LIMIT THE TEMPERATURE OF THE WATER ENTERING THE COLD WATER PIPING 104°F. (IECC R403.5.2)

PERMIT SET

ARCHITECT:

OoDD Architects Limited Liability Company

P. O. Box 66001 Newton, Massachusetts 02466
PH: 617.953.9428 EMAIL: OoDDAr@gmail.com

JIANG RESIDENCE

SINGLE FAMILY ADDITION

274 Brighton Street

Belmont, Massachusetts 02478

DRAWING GENERAL NOTES:

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Date	Notes
1/11/2022	PERMIT SET



Chi-Ming Lee

CHI-MING LEE, AIA

ARCHITECT

PROJECT DESCRIPTION,

ZONING/CODE SUMMARY,

DRAWING LIST, NOTES &

ABBREVIATIONS

SCALE: NO SCALE

DATE: JANUARY 11, 2022

DRAWN BY: CL

CHECKED BY: CL

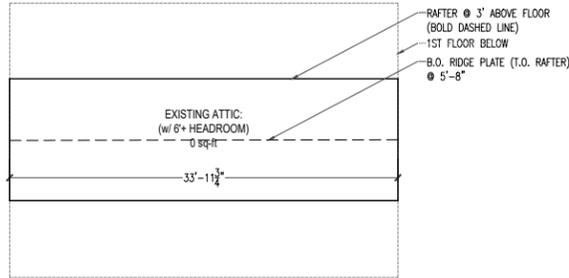


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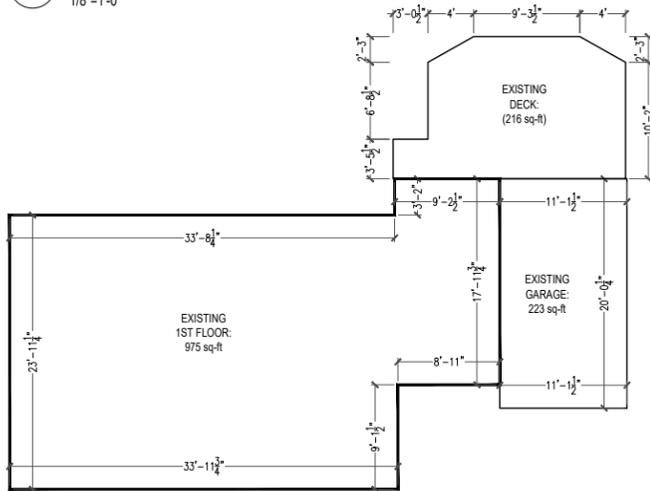
ARCHITECT:
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 PH: 617.953.9428 EMAIL: OoDDAr@gmail.com

AREA CALCULATION:

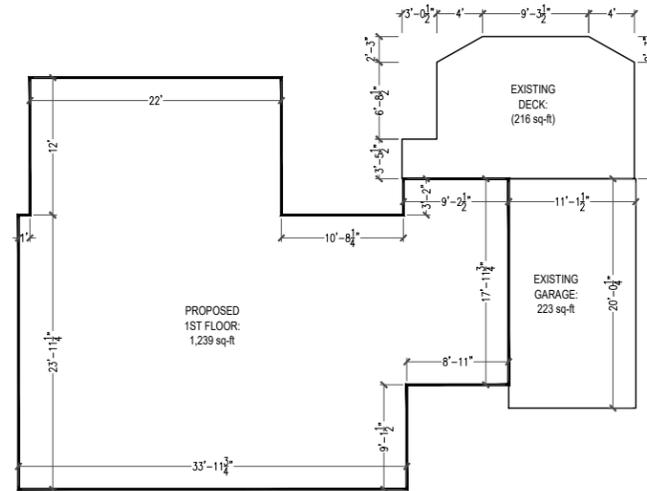
	EXISTING	PROPOSED
TOTAL GROSS AREA	1,198 S.F.	3,029 S.F.
TOTAL LIVING AREA (TLA)*	975 S.F.	2,484 S.F.
1ST FLOOR*	975 S.F.	1,239 S.F.
2ND FLOOR*	N/A	1,245 S.F.
ATTIC	0 S.F.	322 S.F.
GARAGE	223 S.F.	223 S.F.



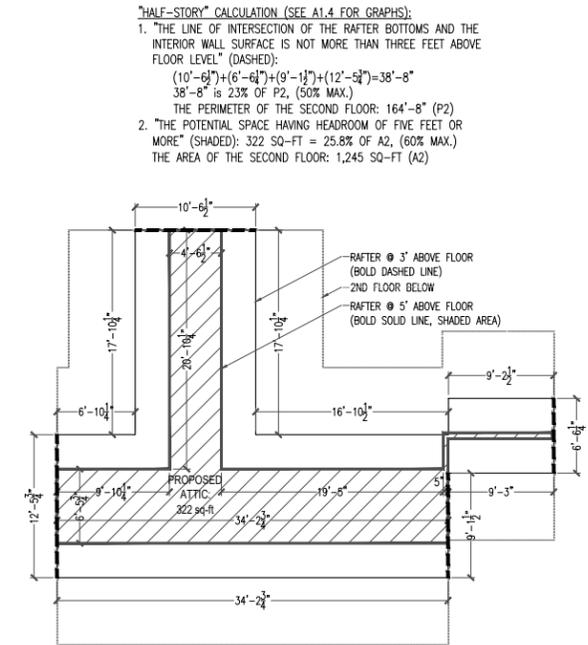
2 EXISTING ATTIC
 1/8"=1'-0"



1 EXISTING FIRST FLOOR
 1/8"=1'-0"

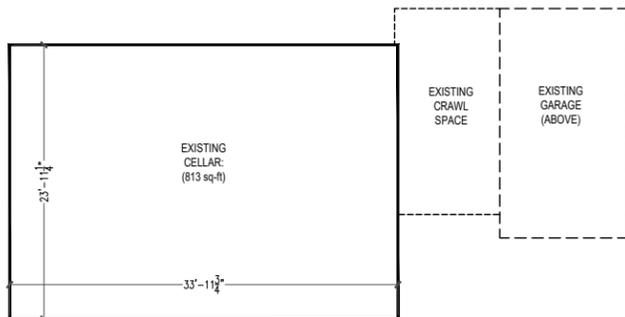


1A PROPOSED FIRST FLOOR
 1/8"=1'-0"

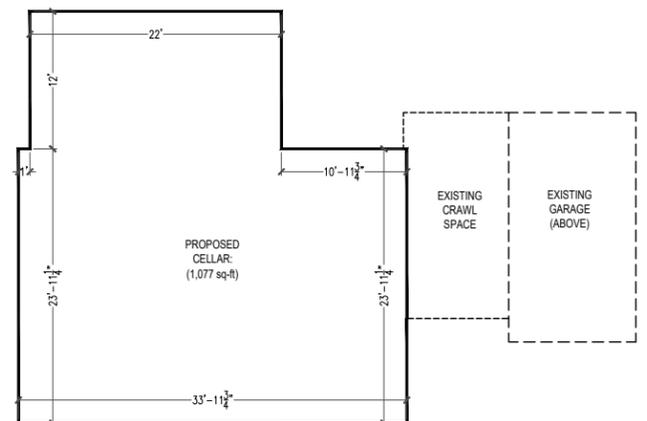


3A PROPOSED ATTIC
 1/8"=1'-0"

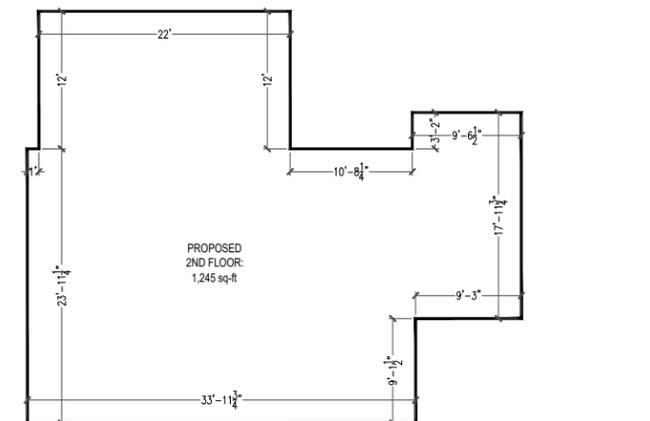
"HALF-STORY" CALCULATION (SEE A1.4 FOR GRAPHS):
 1. "THE LINE OF INTERSECTION OF THE RAFTER BOTTOMS AND THE INTERIOR WALL SURFACE IS NOT MORE THAN THREE FEET ABOVE FLOOR LEVEL" (DASHED):
 $(10'-6") + (6'-6") + (9'-1 1/2") + (12'-6") = 38'-8"$
 38'-8" is 23% OF P2, (50% MAX.)
 THE PERIMETER OF THE SECOND FLOOR: 164'-8" (P2)
 2. "THE POTENTIAL SPACE HAVING HEADROOM OF FIVE FEET OR MORE" (SHADED): 322 SQ-FT = 25.8% OF A2, (60% MAX.)
 THE AREA OF THE SECOND FLOOR: 1,245 SQ-FT (A2)



0 EXISTING BASEMENT
 1/8"=1'-0"



0A PROPOSED BASEMENT
 1/8"=1'-0"



2A PROPOSED SECOND FLOOR
 1/8"=1'-0"

JIANG RESIDENCE
 SINGLE FAMILY ADDITION

274 Brighton Street
 Belmont, Massachusetts 02478

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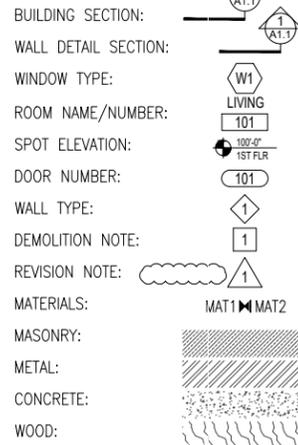
Chi-Ming Lee
 CHI-MING LEE, AIA ARCHITECT

AREA CALCULATION

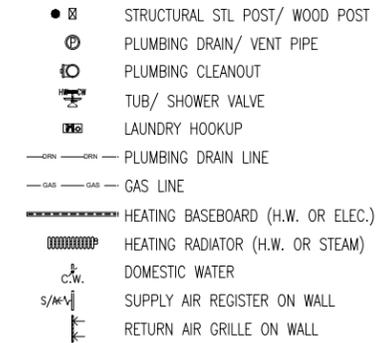
SCALE: 1/8"=1'-0"
 DATE: JANUARY 11, 2022
 DRAWN BY: STAFF, CL
 CHECKED BY: CL

ARCHITECT:
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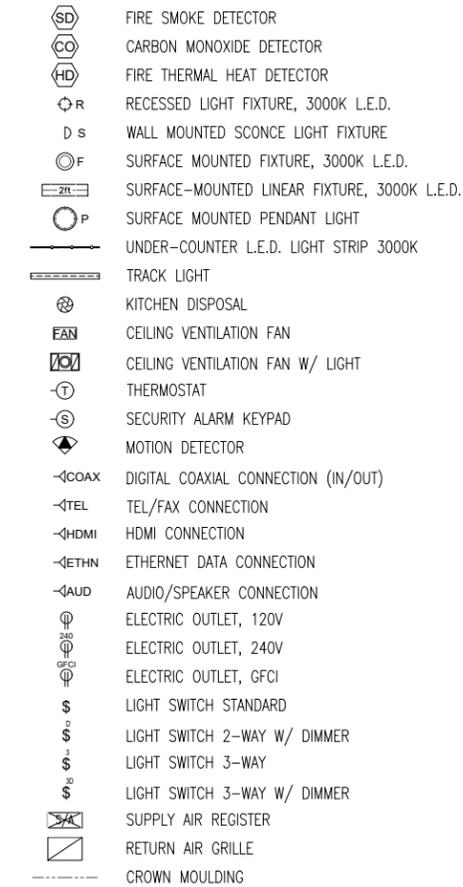
SYMBOLS & MATERIALS



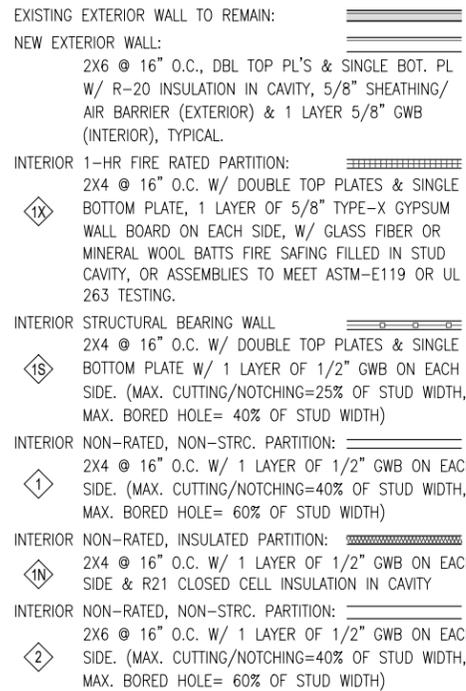
PLAN LEGEND



R.C.P. LIGHTING/ ELECTRICAL LEGEND

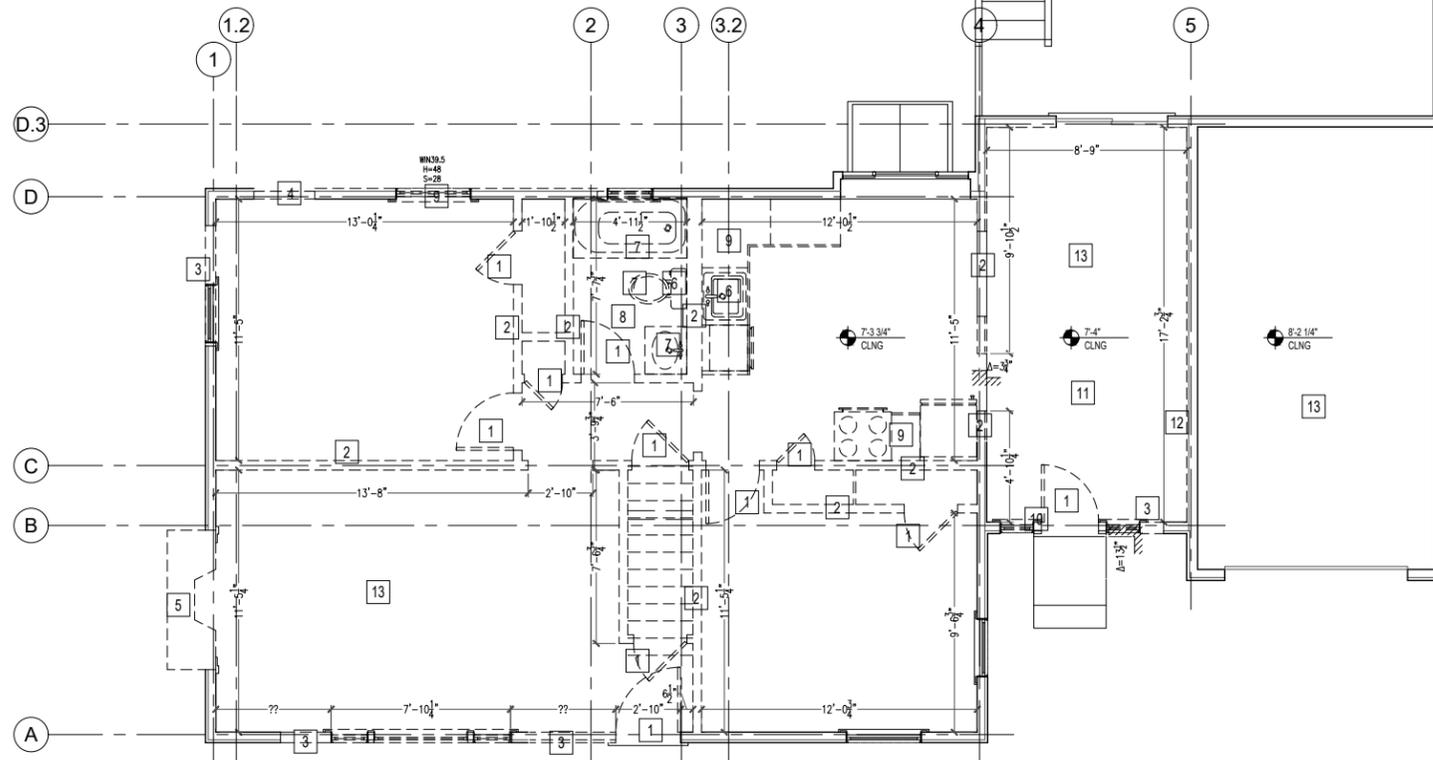


WALL/ PARTITION TYPES

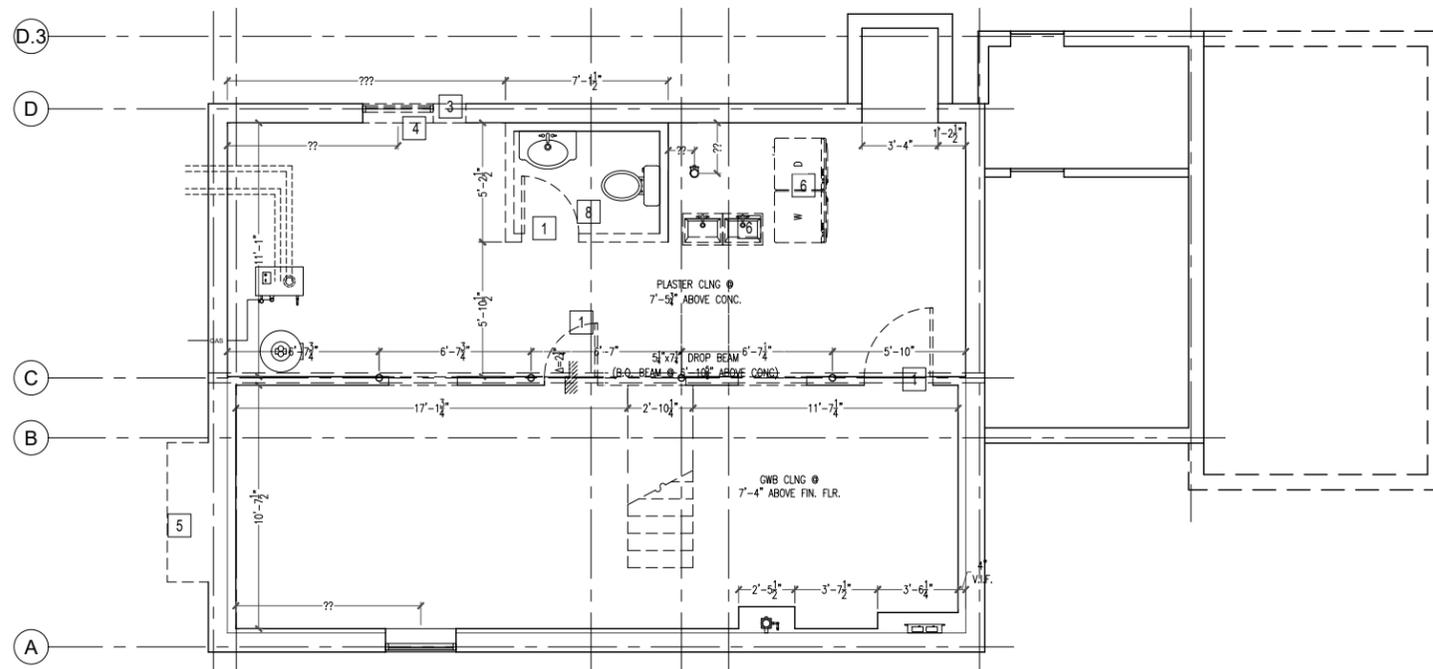


DEMOLITION NOTES:

- 1 REMOVE EXISTING DOOR & TRIM
- 2 REMOVE EXISTING PARTITION AS INDICATED
- 3 REMOVE EXISTING EXTERIOR WALL FOR NEW WINDOW. SEE PLAN & SCHEDULE FOR MORE INFO, TYP.
- 4 REMOVE EXISTING EXTERIOR WALL FOR OPENING. SEE PLAN.
- 5 REMOVE EXISTING CHIMNEY/ FIREPLACE.
- 6 REMOVE EXISTING KITCHEN PLUMBING WATER/GAS PIPES. CUT & CAP ALL SERVICES TO STUD/ SUB-FLOOR. SEE PROPOSE PLANS FOR MODIFICATION, TYP.
- 7 REMOVE EXISTING BATHROOM PLUMBING FIXTURES. CUT & CAP ALL SERVICES TO BELOW SUB-FLOOR OR BEYOND STUDS, TYP.
- 8 REMOVE EXISTING BATHROOM FLOOR/WALL FINISHES TO STUD/SUB-FLOOR TO RECEIVE NEW FINISHES AS SPECIFIED, TYP.
- 9 REMOVE EXISTING KITCHEN CABINET & APPLIANCES.
- 10 REMOVE EXISTING WINDOW & TRIM, INFILL OPENING W/ MATCHING STUDS WALL FINISH TO MATCH EXISTING ADJACENT, TYP.
- 11 REMOVE FLOOR/ SUBFLOOR TO RECEIVE NEW SISTERED JOISTS.
- 12 REMOVE EXISTING WOOD WALL PANELS.
- 13 REMOVE EXISTING ROOF/ RAFTERS.



2 EXISTING FIRST FLOOR DEMOLITION PLAN
 1/4"=1'-0"



1 EXISTING BASEMENT DEMOLITION PLAN
 1/4"=1'-0"

JIANG RESIDENCE
 SINGLE FAMILY ADDITION

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Date	Notes
1/11/2022	PERMIT SET



Chi-Ming Lee
 CHI-MING LEE, AIA ARCHITECT

LEGENDS, WALL TYPES & EXISTING/ DEMOLITION PLANS

SCALE: AS NOTED
 DATE: JANUARY 11, 2022
 DRAWN BY: STAFF, CL
 CHECKED BY: CL



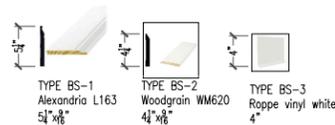
ROOM FINISH SCHEDULE

ROOM	FLOOR	BASE		WALL		CEILING		MOLDING			REMARKS
		MAT'L	FINISH	MAT'L	FINISH	HGT.	CLNG.CROWN	DOOR CASING	WDW CASING		
B01 EXERCISE	ENG. WOOD	EXST.	EXST.	EXST.	EXST.	7'-4"(EX)					
B02 HALLWAY	ENG. WOOD	BS-3	VINYL	GWB(MOLD RES.)		7'-4"(EX)					
B03 MECHANICAL	CONCRETE	N/A	N/A	GWB(MOLD RES.)		7'-7"(±)					
B04 BATHROOM	TILES TYPE-5F	BS-3	VINYL	GWB(MOLD RES.)		7'-4"(EX)					TILES ON WALL @ 40-42" A.F.F.
B05 LAUNDRY	TILES TYPE-5F	BS-3	VINYL	GWB(MOLD RES.)		7'-4"					
B06 STORAGE	CONCRETE	N/A	N/A	CONC.	N/A	7'-8 1/2"(±)					
101 LIVING	HARDWOOD	BS-1	PTD. WHT.	GWB	CLR-1	8'-0"					
102 COAT	HARDWOOD	BS-2	PTD. WHT.	GWB	WHT.	8'-2"					
103 DINING	HARDWOOD	BS-1	PTD. WHT.	GWB	CLR-1	8'-2"					
104 KITCHEN	HARDWOOD	BS-1	PTD. WHT.	GWB	CLR-1	8'-2"					
105 BREAKFAST	HARDWOOD	BS-1	PTD. WHT.	GWB	CLR-1	8'-2"					
106A CLOSET	HARDWOOD	BS-2	PTD. WHT.	GWB	WHT.	8'-2"					
106B CLOSET	HARDWOOD	BS-2	PTD. WHT.	GWB	WHT.	8'-2"					
107 POWDER	TILES TYPE-1F	N/A		GWB/TILES-W	CLR-	8'-2"					TILES ON WALL @ 40-42" A.F.F.
108 PANTRY	HARDWOOD	BS-2	PTD. WHT.	GWB	WHT.	8'-2"					
109 FAMILY	HARDWOOD	BS-1	PTD. WHT.	GWB	CLR-	8'-2"					
110 BATHROOM	TILES TYPE-2F	N/A		GWB/TILES-2W	CLR-	8'-2"					TILES ON WALL @ 40-42" A.F.F.
201 HALLWAY	HARDWOOD	BS-1	PTD. WHT.	GWB	CLR-	8'-1 3/4"					
202 OFFICE	HARDWOOD	BS-1	PTD. WHT.	GWB	CLR-	8'-1 3/4"					
203 BEDROOM #1	HARDWOOD	BS-1	PTD. WHT.	GWB	CLR-	8'-1 3/4"					
203A CLOSET	HARDWOOD	BS-2	PTD. WHT.	GWB	CLR-	8'-1 3/4"					
204 BEDROOM #2	HARDWOOD	BS-1	PTD. WHT.	GWB	CLR-	8'-1 3/4"					
204A CLOSET	HARDWOOD	BS-2	PTD. WHT.	GWB	CLR-	8'-1 3/4"					
205 BATHROOM	TILES TYPE-3F	N/A		GWB/TILES-3W	CLR-	8'-1 3/4"					TILES ON WALL @ 40-42" A.F.F.
206 BEDROOM #3 MASTER	HARDWOOD	BS-1	PTD. WHT.	GWB	CLR-	8'-1 3/4"					
207 MASTER BATHROOM	TILES TYPE-4F	BS-2	PTD. WHT.	GWB/TILES-4W	CLR-	8'-1 3/4"					TILES ON WALL @ 40-42" A.F.F.
208 WALK-IN CLOSET	HARDWOOD	N/A		GWB	CLR-	8'-1 3/4"					
209 SITTING	HARDWOOD	BS-1	PTD. WHT.	GWB	CLR-	8'-1 3/4"					

DOOR SCHEDULE

DOOR No.	WIDTH x HGT.	TYPE	DOOR SLAB	FINISH	HINGE	HANDLE	LOCKSET	WALL THK.	OTHER	REMARKS
X01	72"x80"	ST/SWING/ST	BY OWNER	TBD	BRASS	SAT. NICKEL	KEYED KNOB	4-1/2"		
X02	32"x80"	IN-SWING	BY OWNER	TBD	BRASS	SAT. NICKEL	KEYED KNOB	4-1/2"		
X03	32"x80"	IN-SWING	BY OWNER	TBD	BRASS	SAT. NICKEL	KEYED KNOB	6-1/2"		
X04	96"Wx84"H	SECTIONAL	INSUL. STL.	PTD. WHT.					GARAGE DOOR REMOTE	REPLACE EXST GARAGE DOOR/TRACK
B03	36"x80"	IN-SWING	VINYL RAISED PANEL	VINYL WHT.	BRASS	SAT. NICKEL	PASSAGE	4-1/2"		
B04	30"x80"	IN-SWING	VINYL RAISED PANEL	VINYL WHT.	BRASS	SAT. NICKEL	PRIVACY	4-1/2"		
B05	36"x80"	IN-SWING	VINYL RAISED PANEL	VINYL WHT.	BRASS	SAT. NICKEL	PASSAGE	4-1/2"		
102	32"x80"	OUT-SWING	WD. RAISED PANEL	PTD. WHT.	BRASS	SAT. NICKEL	PASSAGE	4-1/2"		
104	32"x80"	OUT-SWING	WD. RAISED PANEL	PTD. WHT.	BRASS	SAT. NICKEL	PASSAGE	4-1/2"		
106A	(2)2x18"x80"	BI-FOLD	WD. RAISED PANEL	PTD. WHT.	BRASS	SAT. NICKEL	PULL	4-1/2"		
106B	24"x80"	OUT-SWING	WD. RAISED PANEL	PTD. WHT.	BRASS	SAT. NICKEL	PASSAGE	4-1/2"		
107	28"x80"	OUT-SWING	WD. RAISED PANEL	PTD. WHT.	BRASS	SAT. NICKEL	PASSAGE	4-1/2"		
108	28"x80"	OUT-SWING	WD. RAISED PANEL	PTD. WHT.	BRASS	SAT. NICKEL	PASSAGE	4-1/2"		
109	32"x80"	IN-SWING	WD. RAISED PANEL	PTD. WHT.	BRASS	SAT. NICKEL	PRIVACY	4-1/2"		
110	32"x80"	IN-SWING	WD. RAISED PANEL	PTD. WHT.	BRASS	SAT. NICKEL	PRIVACY	4-1/2"		
202	32"x80"	IN-SWING	WD. RAISED PANEL	PTD. WHT.	BRASS	SAT. NICKEL	PRIVACY	4-1/2"		
203	32"x80"	IN-SWING	WD. RAISED PANEL	PTD. WHT.	BRASS	SAT. NICKEL	PRIVACY	4-1/2"		
203A	(2)2x18"x80"	BI-FOLD	WD. RAISED PANEL	PTD. WHT.	BRASS	SAT. NICKEL	PULL	4-1/2"		
204	32"x80"	IN-SWING	WD. RAISED PANEL	PTD. WHT.	BRASS	SAT. NICKEL	PRIVACY	4-1/2"		
204A	(2)2x18"x80"	BI-FOLD	WD. RAISED PANEL	PTD. WHT.	BRASS	SAT. NICKEL	PULL	4-1/2"		
205	30"x80"	IN-SWING	WD. RAISED PANEL	PTD. WHT.	BRASS	SAT. NICKEL	PRIVACY	4-1/2"		
206	32"x80"	IN-SWING	WD. RAISED PANEL	PTD. WHT.	BRASS	SAT. NICKEL	PRIVACY	4-1/2"		
207	30"x80"	IN-SWING	WD. RAISED PANEL	PTD. WHT.	BRASS	SAT. NICKEL	PRIVACY	4-1/2"		
208	30"x80"	IN-SWING	WD. RAISED PANEL	PTD. WHT.	BRASS	SAT. NICKEL	PASSAGE	4-1/2"		
209	(2)30"x80"	OUT-SWING	WD. W/ GLASS PANEL	PTD. WHT.	BRASS	SAT. NICKEL	PASSAGE	4-1/2"		

BASE TYPES:



WOOD STRUCTURAL BRACKET
PROJECTION: 3/8"
HEIGHT: 3/8"
WIDTH: 3 1/2"
(architectural-elements.com
BRA781452-36.1 OR EQAUL)

https://www.architectural-elements.com/structural-wood-bracket-details.html?prodNum=BRA781452

WINDOW SCHEDULE

WINDOW INSTALLATION NOTES:

- CONTRACTOR TO CHECK W/ MFR. FOR ALL ROUGH OPENINGS, TYP.
- ALL WINDOWS SHALL MEET STATE ENERGY CONSERVATION STRETCH CODE REQUIREMENTS TO HAVE U VALUE .30 OR LOWER
- (*) WINDOWS IN ALL BEDROOMS & SLEEPING QUARTERS SHALL MEET REQUIREMENTS FOR EMERGENCY ESCAPE: WINDOW SILL NO HIGHER THAN 44" A.F.F., & MINIMUM CLEAR OPN'G: 3.3 S.F. (DOUBLE-HUNG ONLY), MIN. CLEAR OPN'G 20"x24" IN EITHER DIRECTION MINIMUM CLEAR OPN'G: 5.7 S.F. (CASEMENT & OTHERS), MIN. WIDTH: 20", MIN. HGT.: 24"
- WINDOW FINISH SILL HEIGHT @ 2ND FLR & ATTIC SHALL NOT BE LOWER THAN 24" A.F.F
- (t) ALL WINDOWS WITH SILL LOWER THAN 18" A.F.F. OR ON STAIRS WALLS OR IN BATHROOMS SHALL BE TEMPERED GLASS.
- CONTRACTOR TO VERIFY EXISTING WINDOW DIMENSIONS, STYLE, MULLION PATTERNS & OTHER DETAILS FOR NEW WINDOWS TO MATCH

TYPE	ROUGH OPN'G	FIN. SILL	MATERIAL	STYLE	JAMB	EXT.FIN.	INT.FIN.	HARDWARE	GRIDS	REMARKS
W1	98 3/4"Wx57 1/2"H	28" A.F.F.	VINYL	3WIDE D.H.	4 3/8"	ALUM.	VINYL	WHT	N/A	HARVEY 20-4046-20 OR EQ.
W2	42"Wx57 1/2"H	28" A.F.F.	VINYL	DBL HUNG	6 3/8"	VINYL	VINYL	WHT	2X1/0	HARVEY CLASSIC 3446 OR EQ.
W2A	42"Wx57 1/2"H	28" A.F.F.	VINYL	DBL HUNG	4 3/8"	VINYL	VINYL	WHT	2X1/0	HARVEY CLASSIC 3446 OR EQ.
W3	42"Wx61 1/2"H	28" A.F.F.	VINYL	DBL HUNG	6 3/8"	VINYL	VINYL	WHT	2X1/0	HARVEY CLASSIC 34410 OR EQ.
W4	30"Wx57 1/2"H	28" A.F.F.	VINYL	DBL HUNG	4 3/8"	VINYL	VINYL	WHT	2X1/0	HARVEY CLASSIC 2446 OR EQ.
W5	30"Wx61 1/2"H	28" A.F.F.	VINYL	DBL HUNG	6 3/8"	VINYL	VINYL	WHT	2X1/0	HARVEY CLASSIC 24410 OR EQ.
W6(t)	26"Wx53 1/2"H	32" A.F.F.	VINYL	DBL HUNG	6 3/8"	VINYL	VINYL	WHT	2X1/0	HARVEY CLASSIC 2042 OR EQ.
W7(t)	26"Wx57 1/2"H	32" A.F.F.	VINYL	DBL HUNG	6 3/8"	VINYL	VINYL	WHT	2X1/0	HARVEY CLASSIC 2046 OR EQ.
W8	96"Wx55 1/2"H	28" A.F.F.	VINYL	D.H. BAY	6 3/8"	VINYL	VINYL	WHT	N/A	HARVEY DBL HUNG BAY
W9	42"Wx37 1/2"H	___ A.F.F.	VINYL	DBL HUNG	6 3/8"	VINYL	VINYL	WHT	N/A	HARVEY CLASSIC 34210
W10	22"Wx16"H	___ A.F.F.	VINYL	AWNING	4 3/8"	ALUM.	VINYL	WHT	N/A	HARVEY AWNING
W11(t)	30"Wx37 1/2"H	___ A.F.F.	VINYL	DBL HUNG	6 3/8"	VINYL	VINYL	WHT	N/A	HARVEY CLASSIC 24210, TEMPERED GLASS

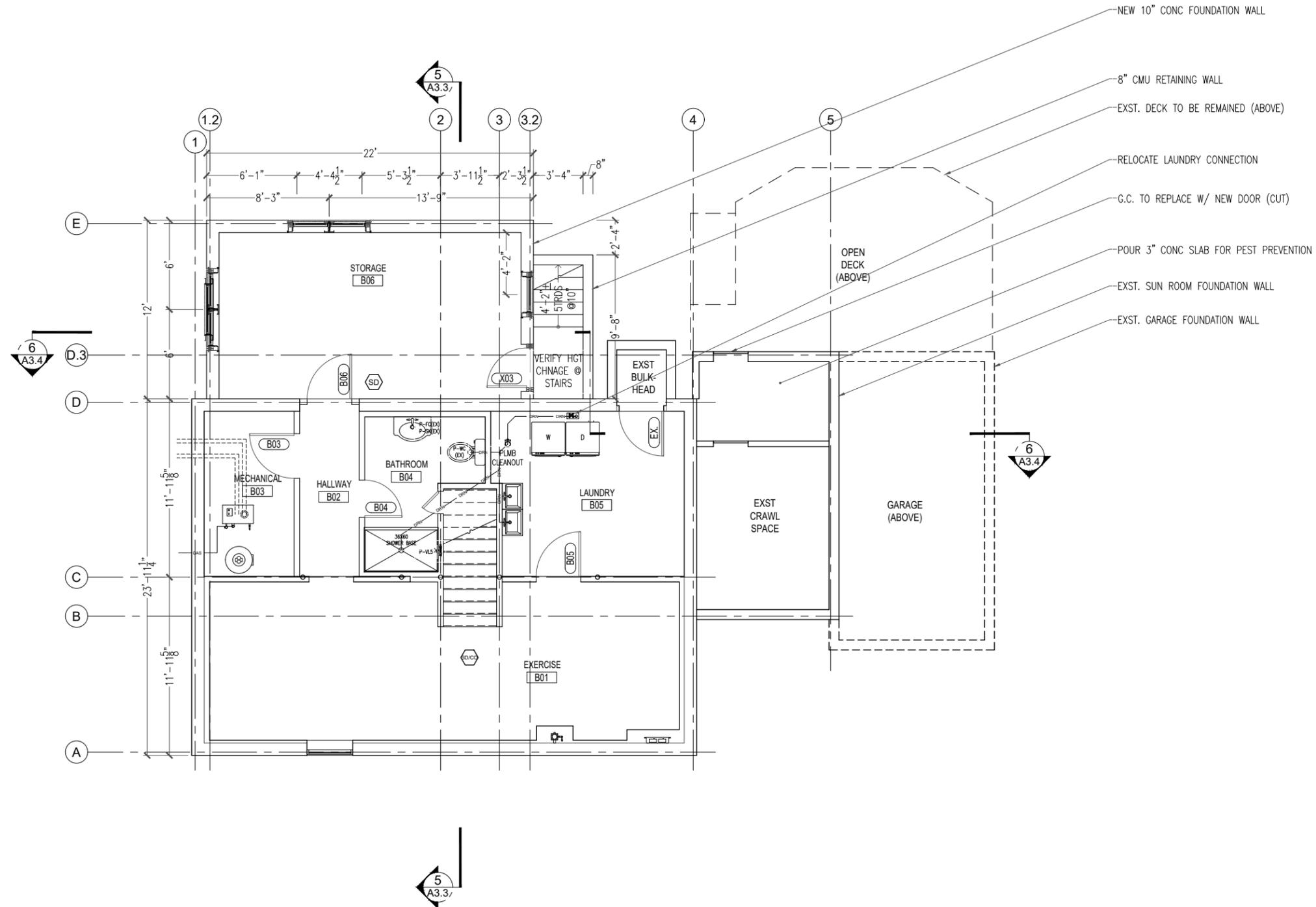
SCHEDULE (PRELIMINARY/ TO BE CONFIRMED BY OWNER)

TYPE (QTY.)	ROOM	DESCRIPTION	DIMENSION	SPECIFICATIONS	MODEL NO.	REMARKS
P-WC1 (X1)	107	TOILET BOWL/TANK	28.8"x17.7"H	2 PCS, 1.25GPF, ELONGATED, COMFORT HEIGHT	KOHLER CIMARRON	BY OWNER (ALLOWANCE)
P-WC2 (X1)	110	TOILET BOWL/TANK				BY OWNER (ALLOWANCE)
P-WC3 (X1)	205	TOILET BOWL/TANK				BY OWNER (ALLOWANCE)
P-WC4 (X1)	207	TOILET BOWL/TANK				BY OWNER (ALLOWANCE)
P-FC1 (X1)	107	VANITY FAUCET				BY OWNER (ALLOWANCE)
P-FC2 (X1)	110	VANITY FAUCET				BY OWNER (ALLOWANCE)
P-FC3 (X2)	205	VANITY FAUCET				BY OWNER (ALLOWANCE)
P-FC4 (X2)	207	M.BA. VANITY FAUCET				BY OWNER (ALLOWANCE)
P-FC5 (X1)	104	KITCHEN FAUCET				BY OWNER (ALLOWANCE)
P-SK1 (X1)	107	VANITY SINK				BY OWNER (ALLOWANCE)
P-SK2 (X1)	110	VANITY SINK				BY OWNER (ALLOWANCE)
P-SK3 (X2)	205	VANITY SINK				BY OWNER (ALLOWANCE)
P-SK4 (X2)	207	M.BA. VANITY SINK				BY OWNER (ALLOWANCE)
P-SK5 (X1)	104	KITCHEN SINK				BY OWNER (ALLOWANCE)
P-TB1 (X1)	205	DROP-IN TUB				BY OWNER (ALLOWANCE)
P-TB2 (X1)	207	M.BA. TUB				BY OWNER (ALLOWANCE)
P-VL1 (X1)	110	SHOWER VALVE				BY OWNER (ALLOWANCE)
P-VL2 (X1)	205	TUB/SHOWER VALVE				BY OWNER (ALLOWANCE)
P-VL3 (X1)	207	M.BA. TUB VALVE/FAUCET				BY OWNER (ALLOWANCE)
P-VL4 (X1)	207	M.BA. SHOWER VALVE				BY OWNER (ALLOWANCE)
P-VL5 (X1)	B04	SHOWER VALVE				BY OWNER (ALLOWANCE)
VN-1 (X1)	107	VANITY, WOOD	37"x22"xH			BY OWNER (ALLOWANCE)
VN-2 (X1)	110	VANITY, WOOD	37"x22"xH			BY OWNER (ALLOWANCE)
VN-3 (X1)	205	VANITY, WOOD	61"x22"xH			BY OWNER (ALLOWANCE)
VN-4 (X1)	207	M.BA. VANITY, WOOD	61"x22"xH			BY OWNER (ALLOWANCE)
DISPOSAL	103	KITCHEN SINK DISPOSAL		1HP, S.STL.	InSinkErator EVOLUTION	BY G.C.
R1 (X_)		5" RECESSED LIGHT L.E.D.		3000K, WHITE TRIM		ELECTRICAL
R2 (X_)		5" RECESSED LIGHT (WATERPROOF)		3000K, WHITE TRIM		ELECTRICAL
P1	103	DINING ROOM PENDANT				BY OWNER (ALLOWANCE)
P2	104	ABOVE-SINK PENDANT				BY OWNER (ALLOWANCE)
L-TRK	104	ABOVE-ISLAND TRACK LIGHT	60"L			PENDANTS BY OWNER (ALLOWANCE)
UTIL. L.E.D.	VARIES	SURFACE MTD. LINEAR L.E.D.	24" OR 36"			ELECTRICAL
S1 (X1)	107	POWDER ROOM VANITY SCONCE				BY OWNER (ALLOWANCE)
S2 (X1)	110	GUEST ROOM VANITY SCONCE				BY OWNER (ALLOWANCE)
S3 (X2)	205	BATHROOM VANITY SCONCES				BY OWNER (ALLOWANCE)
S4 (X2)	207	M.BA. VANITY SCONCES				BY OWNER (ALLOWANCE)
S5 (X3)		FRONT DOORS SCONCES				BY OWNER (ALLOWANCE)
S6 (X2)		REAR PATIO SCONCES				BY OWNER (ALLOWANCE)
TILE-1F & 1W	107	POWDER ROOM FLR/WALL TILES				BY OWNER (ALLOWANCE)
TILE-2F & 2W	110	GUEST ROOM FLR/WALL TILES				BY OWNER (ALLOWANCE)
TILE-3F & 3W	205	BATHROOM FLR/WALL TILES				BY OWNER (ALLOWANCE)
TILE-4F & 4W	207	M.BA. FLR/WALL TILES				BY OWNER (ALLOWANCE)
TILE-5F & 5W	B04, B05	BATHROOM, LAUNDRY FLR/WALL				BY OWNER (ALLOWANCE)
MC1 (x1)	107	RECESSED MEDICINE CABINET				BY OWNER (ALLOWANCE)
MC2 (x1)	110	SURF. MTD. MEDICINE CABINET				BY OWNER (ALLOWANCE)
MC3 (x2)	205	SURF. MTD. MEDICINE CABINET				BY OWNER (ALLOWANCE)
MC4 (x2)	207	SURF. MTD. MEDICINE CABINET				BY OWNER (ALLOWANCE)
BS-1		WALL BASE	5-1/2"x9/16"	ALEXANDRIA L163		BY G.C.
BS-2		WALL BASE	4-1/4"x9/16"	WOODGRAIN WM620		BY G.C.
BS-3		BSMT WALL BASE	4"	ROPPE		BY G.C.
MLD-1	101,103,104	CROWN MOLDING				BY G.C.
MLD-2	104	CROWN MOLDING		TO MATCH KITCHEN CABINET		BY G.C.
ATTIC LADDER	201			LOUISVILLE, 8-10FT, 350LB		BY G.C.

ARCHITECT:
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SINGLE FAMILY ADDITION

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Date	Notes
1/11/2022	PERMIT SET



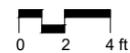
CHI-MING LEE, AIA ARCHITECT

PROPOSED BASEMENT PLAN

SCALE: 1/4"=1'-0"
DATE: JANUARY 11, 2022
DRAWN BY: STAFF, CL
CHECKED BY: CL



1 PROPOSED BASEMENT PLAN
1/4"=1'-0"



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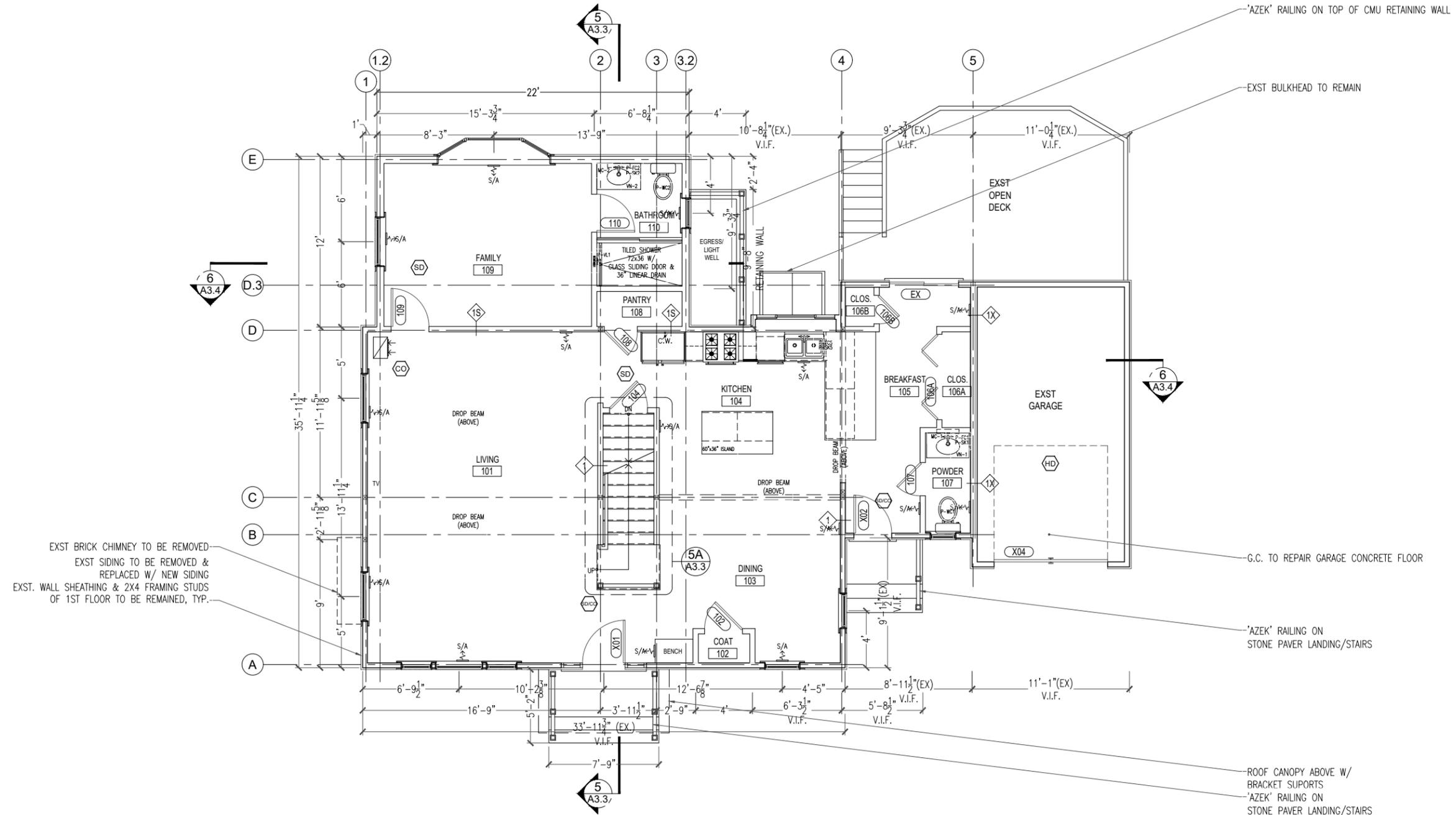
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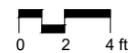
Chi-Ming Lee
CHI-MING LEE, AIA ARCHITECT

PROPOSED FIRST FLOOR PLAN

SCALE: 1/4"=1'-0"
DATE: JANUARY 11, 2022
DRAWN BY: STAFF, CL
CHECKED BY: CL



2 PROPOSED FIRST FLOOR PLAN
1/4"=1'-0"



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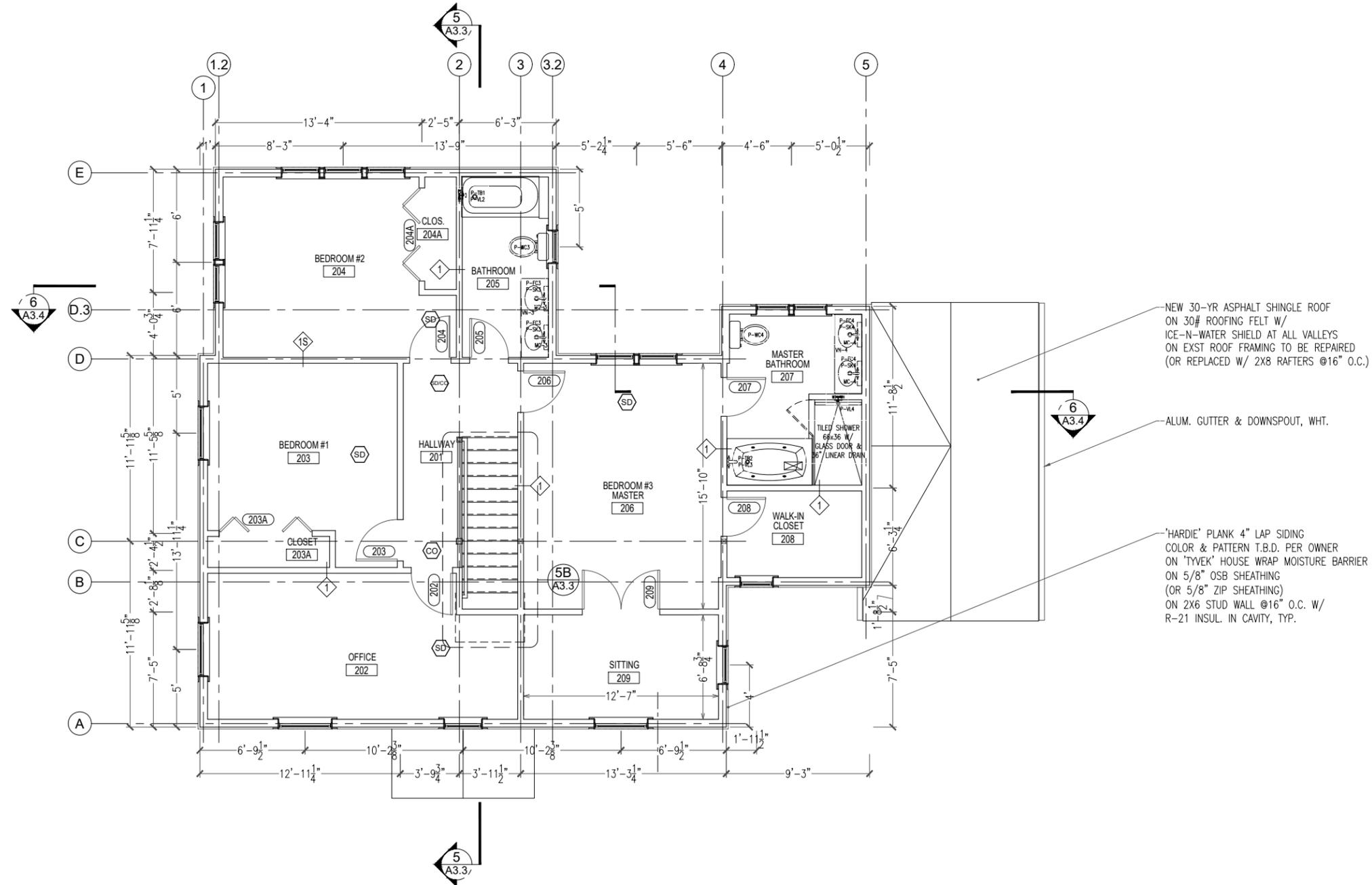
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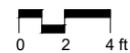
Chi-Ming Lee
CHI-MING LEE, AIA ARCHITECT

PROPOSED SECOND FLOOR PLAN

SCALE: 1/4"=1'-0"
DATE: JANUARY 11, 2022
DRAWN BY: STAFF, CL
CHECKED BY: CL



3 PROPOSED SECOND FLOOR PLAN
1/4"=1'-0"



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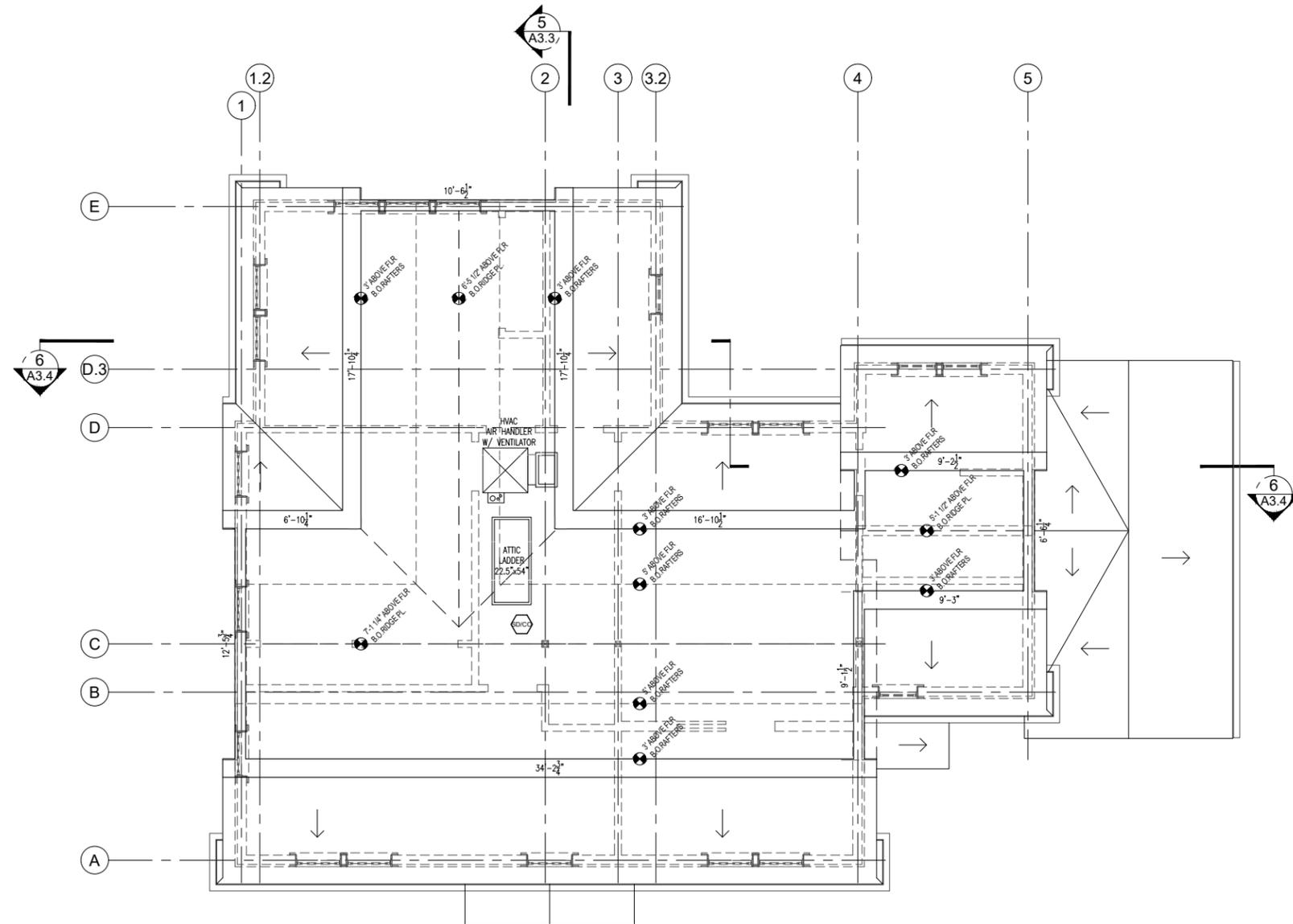
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1/11/2022	PERMIT SET



Chi-Ming Lee
CHI-MING LEE, AIA ARCHITECT

PROPOSED ATTIC PLAN

SCALE: 1/4"=1'-0"
DATE: JANUARY 11, 2022
DRAWN BY: STAFF, CL
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4 PROPOSED ATTIC PLAN
1/4"=1'-0"



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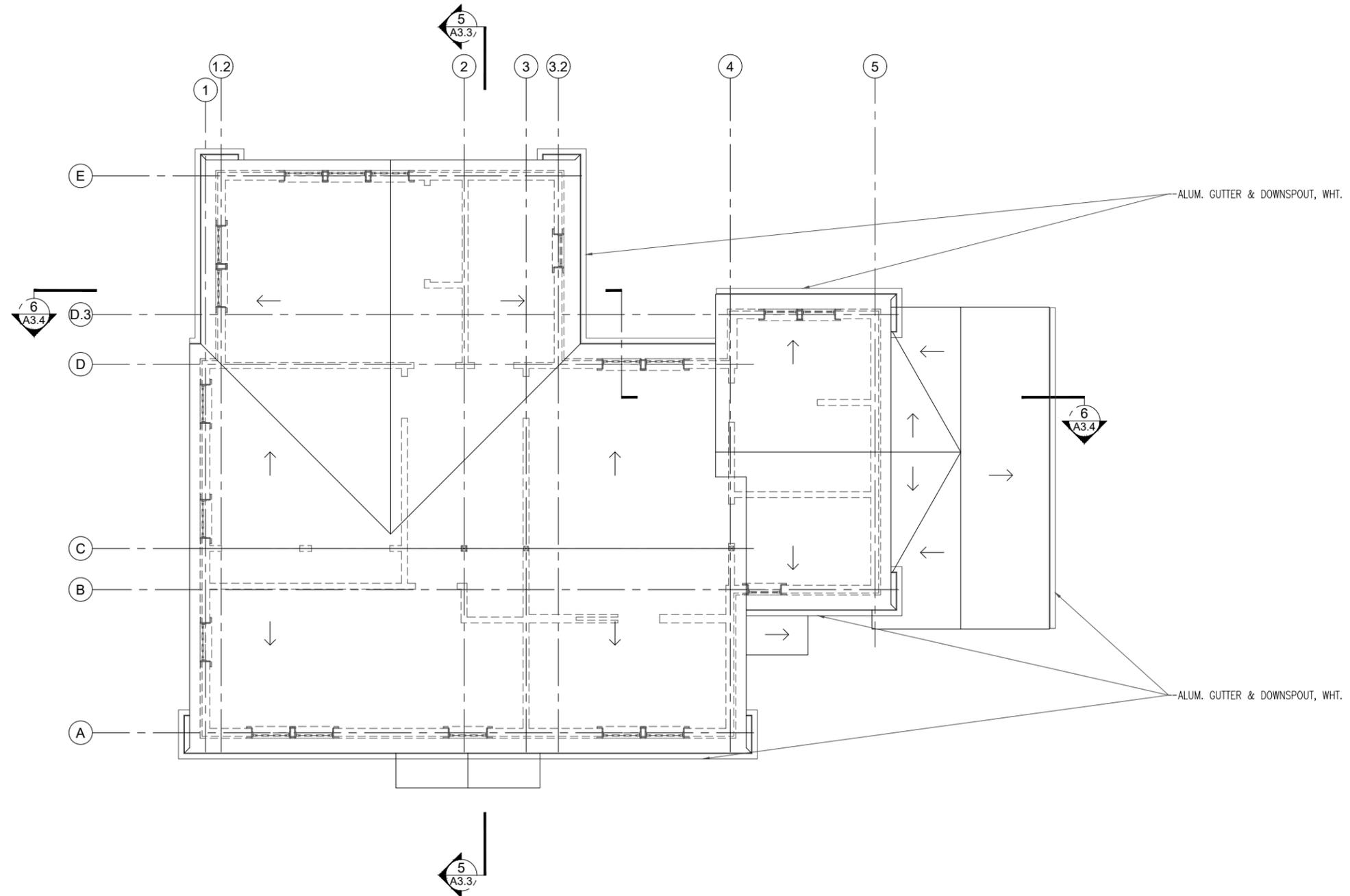
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Chi-Ming Lee
CHI-MING LEE, AIA ARCHITECT

PROPOSED ROOF PLAN

SCALE: 1/4"=1'-0"
DATE: JANUARY 11, 2022
DRAWN BY: STAFF, CL
CHECKED BY: CL



5 PROPOSED ROOF PLAN
1/4"=1'-0"



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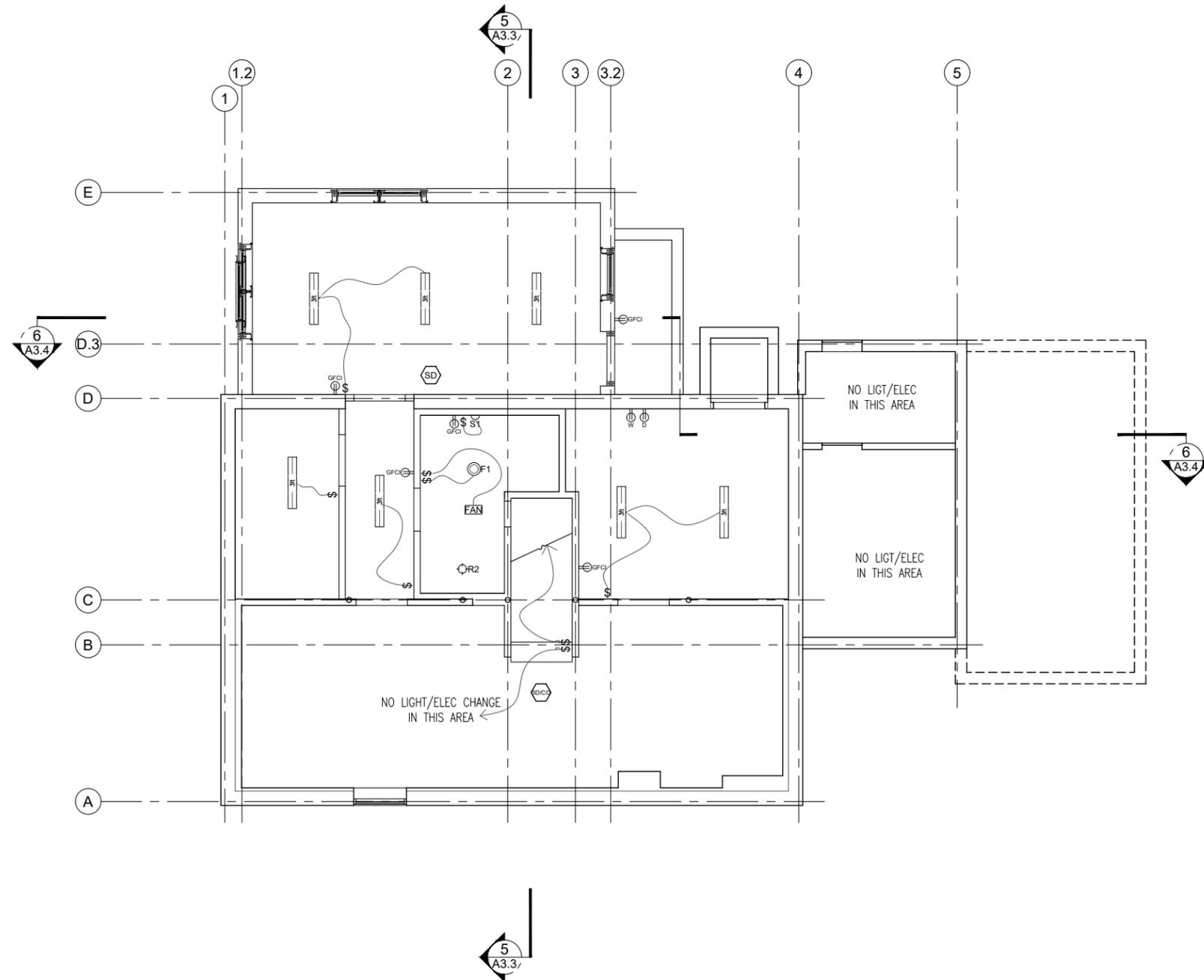
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1/11/2022	PERMIT SET



Chi-Ming Lee
CHI-MING LEE, AIA ARCHITECT

BASEMENT REFLECTED
CEILING PLAN

SCALE: 1/4"=1'-0"
DATE: JANUARY 11, 2022
DRAWN BY: STAFF, CL
CHECKED BY: CL



1 BASEMENT REFLECTED CEILING PLAN
1/4"=1'-0"



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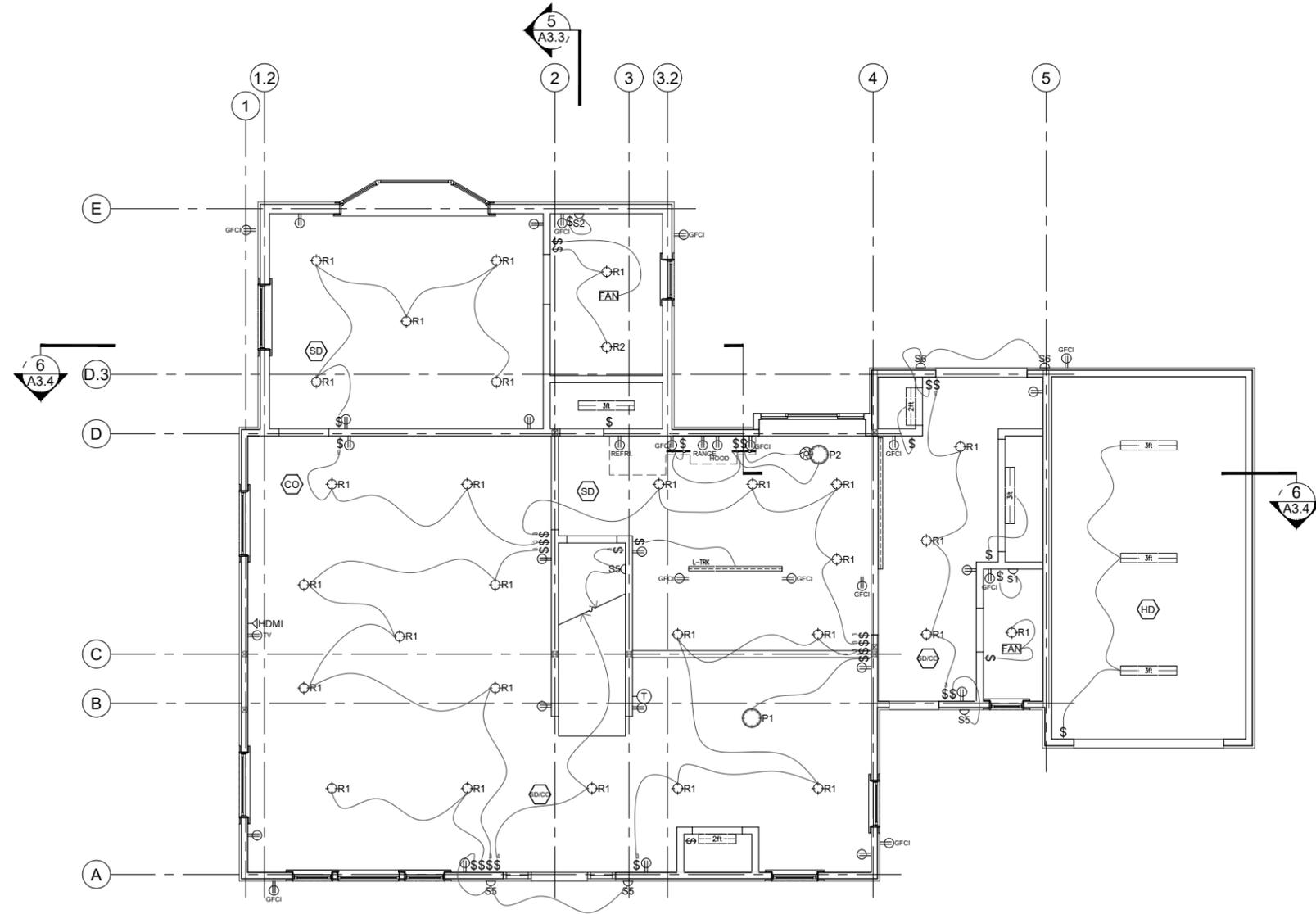
Date	Notes
1/11/2022	PERMIT SET



Chi-Ming Lee
CHI-MING LEE, AIA ARCHITECT

FIRST FLOOR REFLECTED
CEILING PLAN

SCALE: 1/4"=1'-0"
DATE: JANUARY 11, 2022
DRAWN BY: STAFF, CL
CHECKED BY: CL



2 FIRST FLOOR REFLECTED CEILING PLAN
1/4"=1'-0"



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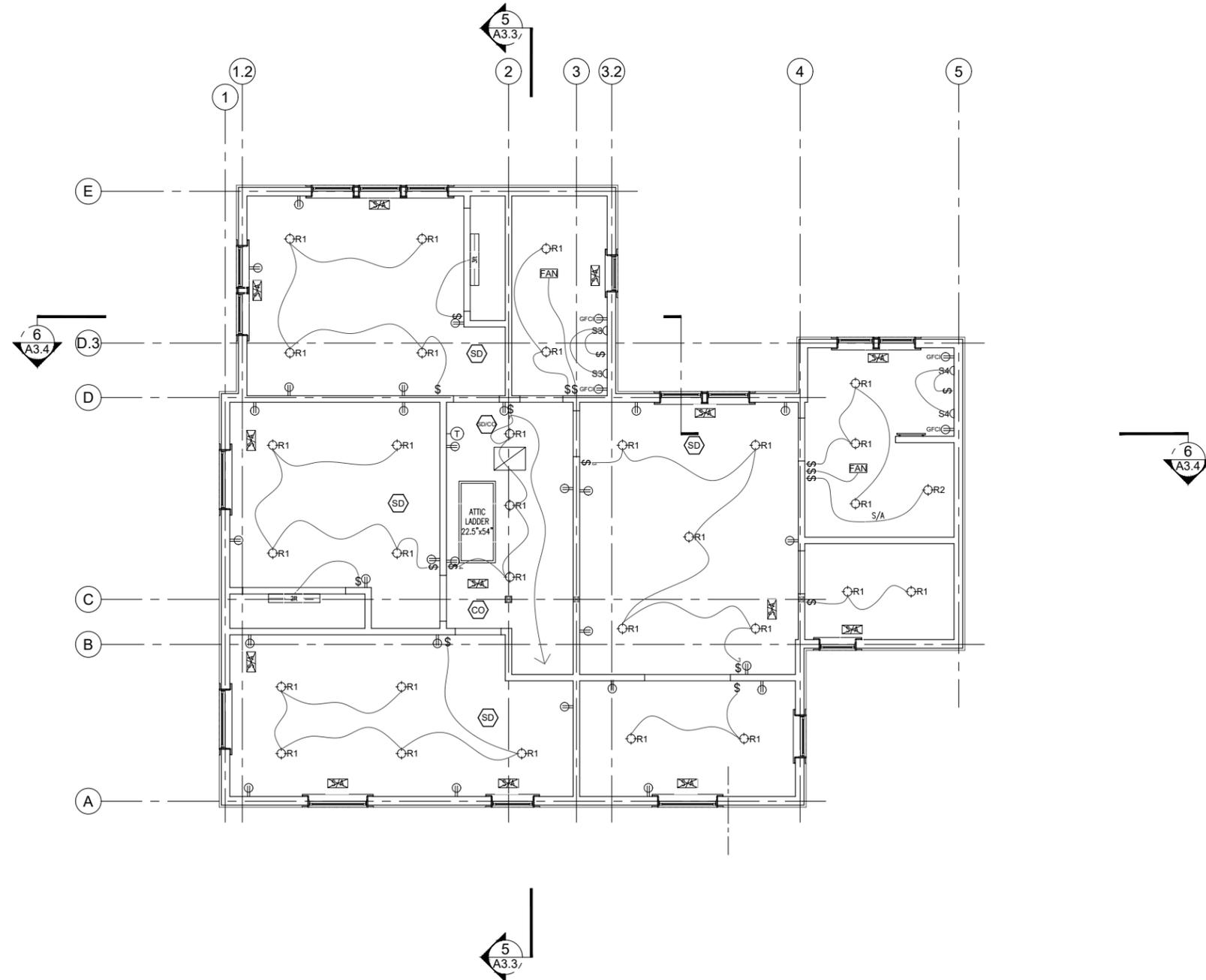
Date	Notes
1/11/2022	PERMIT SET



Chi-Ming Lee
CHI-MING LEE, AIA ARCHITECT

SECOND FLOOR REFLECTED
CEILING PLAN

SCALE: 1/4"=1'-0"
DATE: JANUARY 11, 2022
DRAWN BY: STAFF, CL
CHECKED BY: CL



3 SECOND FLOOR REFLECTED CEILING PLAN
1/4"=1'-0"



ARCHITECT:
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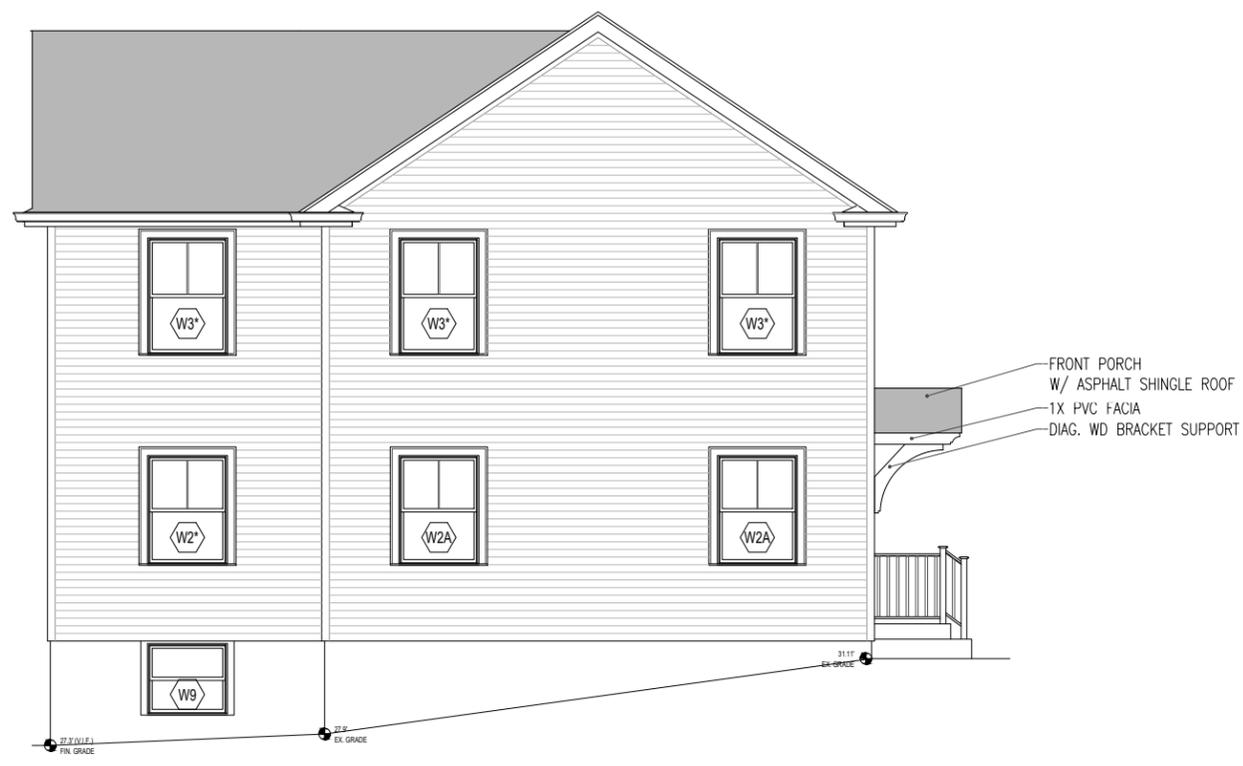


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CHI-MING LEE, AIA ARCHITECT

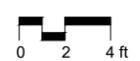
PROPOSED BUILDING
ELEVATIONS

SCALE: 1/4"=1'-0"
DATE: JANUARY 11, 2022
DRAWN BY: STAFF, CL
CHECKED BY: CL

- 59.41' PROP. RIDGE
- 55.05' PROP. BLDG HGT (MID-PT ROOF)
- 50.68' PROP. EAVES
- 42.27' 2ND FIN FLR
- 33.1' 1ST FIN FLR
- 29.7' AVG GRADE PLANE
- 24.75' BSMT CONC FLR



2 PROPOSED SOUTH ELEVATION
1/4"=1'-0"



30-YR ARCH ASPHALT SHINGLE ROOF ON 30# ROOFING FELT W/ ICE-N-WATER SHIELD 5' FROM EAVES & ALL VALEYS ON 5/8" ROOF SHEATHING, TYP.

ALUM GUTTER & DOWNSPOUT WHT. & RETURN AT CORNERS, TYP.

VINYL SIDING COLOR & PATTERN T.B.D. PER OWNER ON 'TYVEK' HOUSE WRAP MOISTURE BARRIER ON 5/8" OSB SHEATHING, TYP.

1X PVC FACIA

PTD. WOOD BRACKET

VINYL WINDOW, TYP.

4 1/2" PVC WINDOW, WHT.

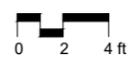
'AZEK' VINYL RAILING

STONE PAVER LANDING/ STAIRS

- 59.41' PROP. RIDGE
- 55.05' PROP. BLDG HGT (MID-PT ROOF)
- 50.68' PROP. EAVES
- 42.27' 2ND FIN FLR
- 33.1' 1ST FIN FLR
- 29.7' AVG GRADE PLANE
- 24.75' BSMT CONC FLR



1 PROPOSED EAST (STREET) ELEVATION
1/4"=1'-0"



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Date	Notes
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Chi-Ming Lee
 CHI-MING LEE, AIA ARCHITECT

PROPOSED BUILDING ELEVATIONS

SCALE: 1/4"=1'-0"
 DATE: JANUARY 11, 2022
 DRAWN BY: STAFF, CL
 CHECKED BY: CL

- 59.41' PROP. RIDGE
- 55.05' PROP. BLDG HGT (MID-PT ROOF)
- 50.68' PROP. EAVES
- 42.27' 2ND FIN FLR
- 33.1' 1ST FIN FLR
- 29.7' AVG GRADE PLANE
- 24.75' BSMT CONC FLR



4 PROPOSED NORTH ELEVATION
 1/4"=1'-0"

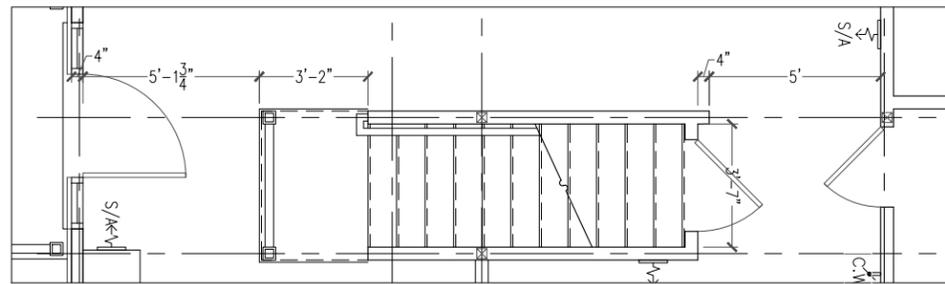
30-YR ARCH ASPHALT SHINGLE ROOF ON 30# ROOFING FELT W/ ICE-N-WATER SHIELD 5' FROM EAVES & ALL VALEYSON 5/8" ROOF SHEATHING, TYP.

- 59.41' PROP. RIDGE
- ALUM GUTTER & DOWNSPOUT WHT. & RETURN AT CORNERS, TYP.
- 55.05' PROP. BLDG HGT (MID-PT ROOF)
- 4" PVC CORNER TRIM
- BAY WINDOW W/ ASPHALT SHINGLE ROOF
- VINYL SIDING
- COLOR & PATTERN T.B.D. PER OWNER
- ON 'TYEK' HOUSE WRAP MOISTURE BARRIER
- ON 5/8" OSB SHEATHING, TYP.
- EXST ROOF TO BE REPAIRED
- EXST GARAGE ROOF/RAFTERS TO BE REPAIRED
- 42.27' 2ND FIN FLR
- EXST WOOD DECK & RAILING TO BE REPAIRED & RE-PAINTED
- 8" CMU RETAINING WALL & 'AZEK' VINYL RAILING
- 33.1' 1ST FIN FLR
- EXST WOOD POST TO BE REPAIRED
- 29.7' AVG GRADE PLANE
- 24.75' BSMT CONC FLR

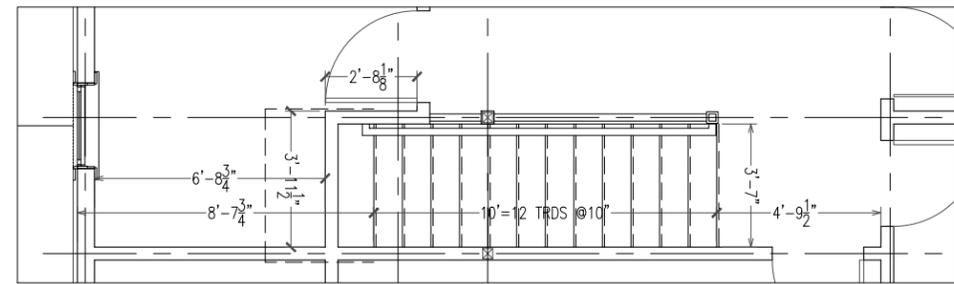


3 PROPOSED WEST ELEVATION
 1/4"=1'-0"

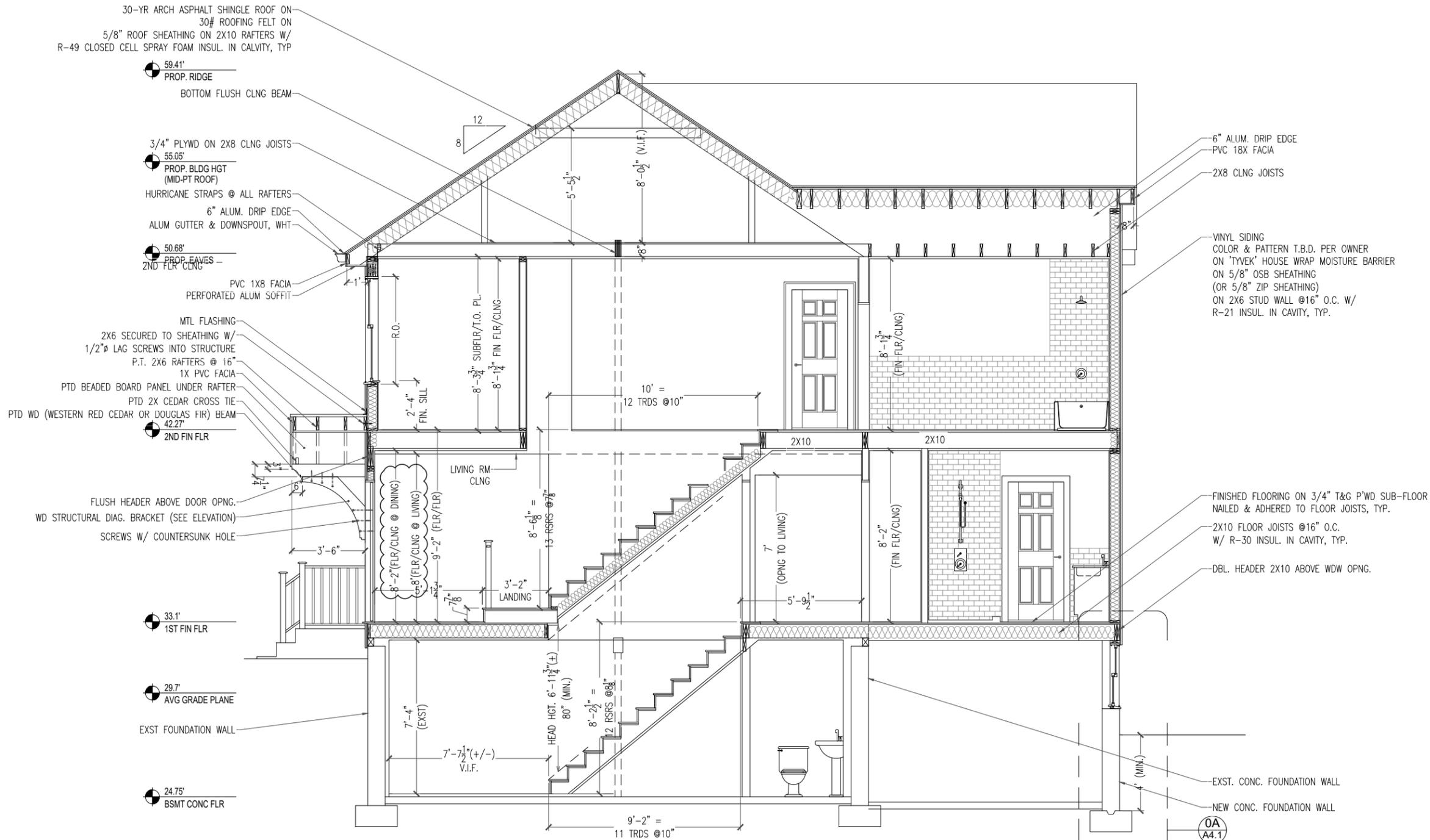
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P. O. Box 66001 Newton, Massachusetts 02466
PH: 617.953.9428 EMAIL: OoDDAr@gmail.com



5A ENLARGED STAIRS
3/8"=1'-0" (1ST FLOOR)



5B ENLARGED STAIRS
3/8"=1'-0" (2ND FLOOR)



5 SECTION A-A
3/8"=1'-0"



JIANG RESIDENCE
SINGLE FAMILY ADDITION

274 Brighton Street
Belmont, Massachusetts 02478

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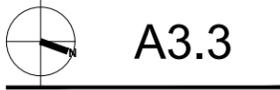
Date	Notes
1/11/2022	PERMIT SET



Chi-Ming Lee
CHI-MING LEE, AIA ARCHITECT

BUILDING SECTION

SCALE: 3/8"=1'-0"
DATE: JANUARY 11, 2022
DRAWN BY: STAFF, CL
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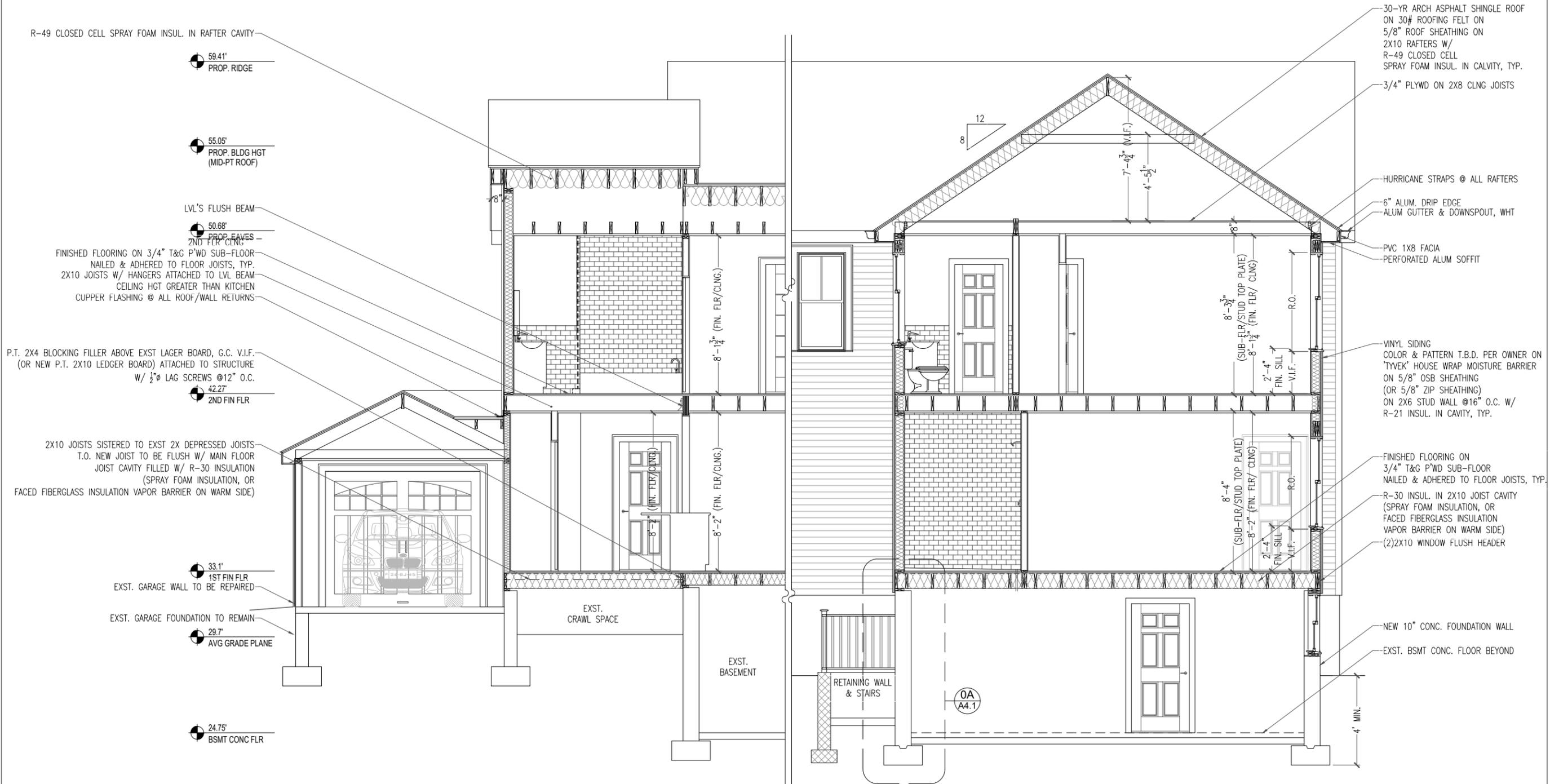
Date	Notes
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Chi-Ming Lee
CHI-MING LEE, AIA ARCHITECT

BUILDING SECTION

SCALE: 3/8"=1'-0"
DATE: JANUARY 11, 2022
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6 SECTION B-B
3/8"=1'-0"

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JIANG RESIDENCE
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CHI-MING LEE, AIA ARCHITECT

FRAMING NOTES, FOUNDATION PLAN & DETAILS

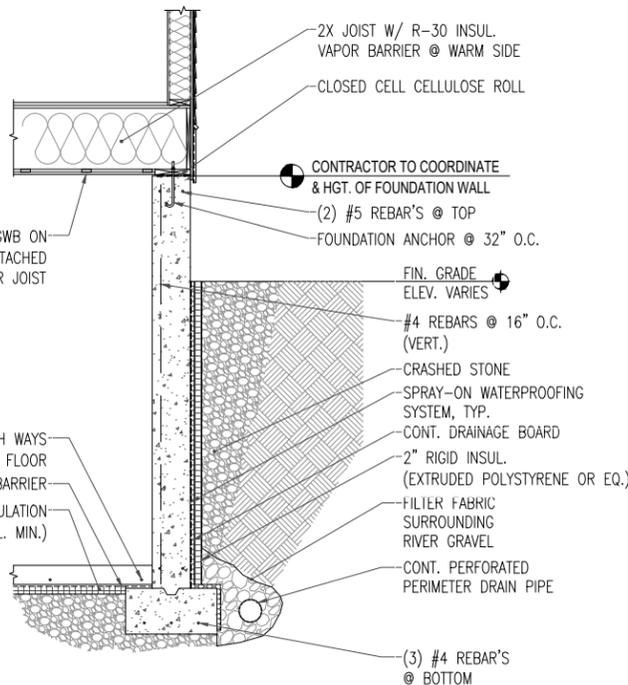
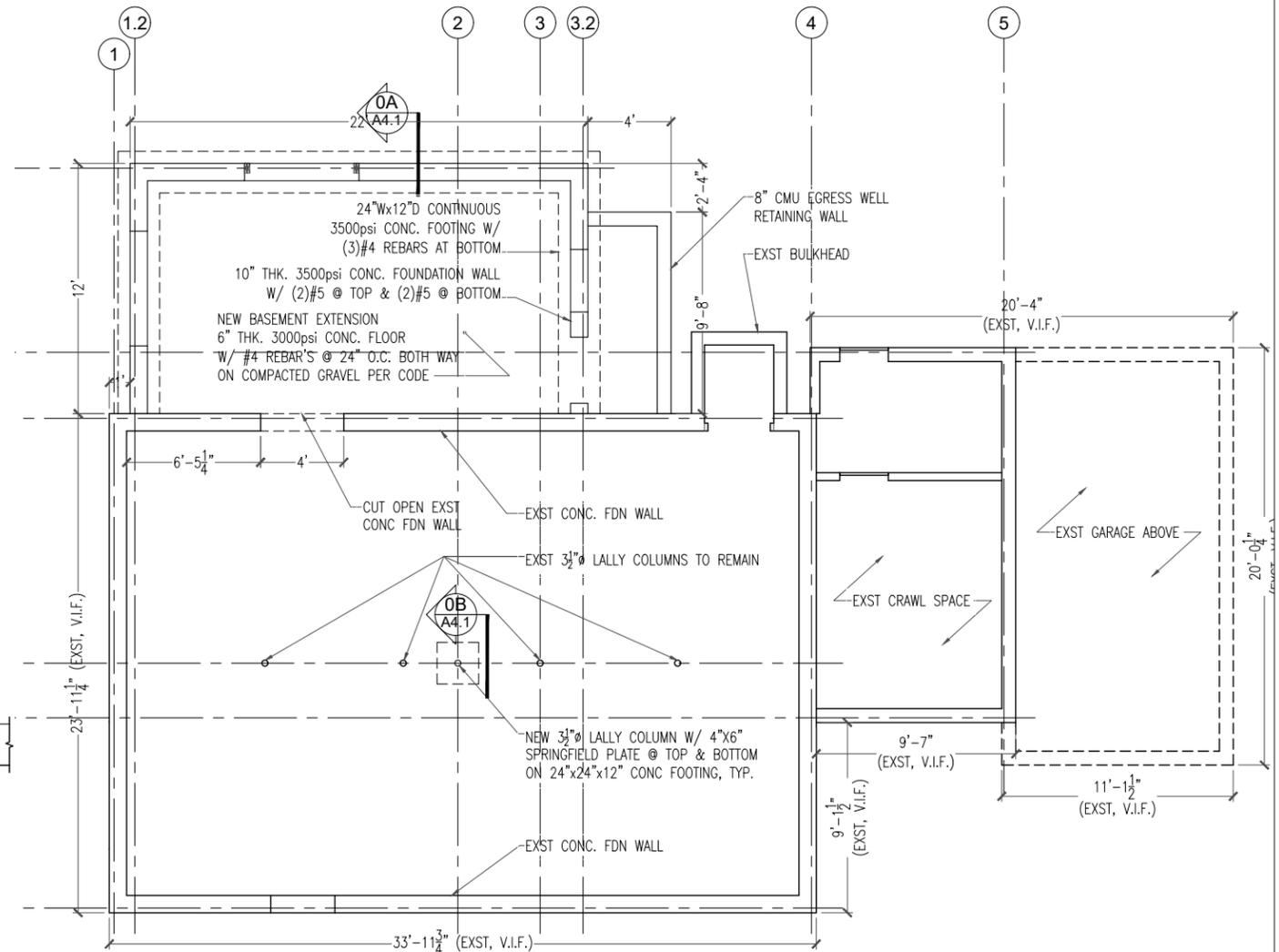
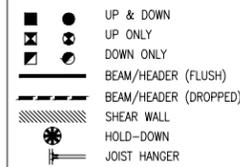
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 CHECKED BY: CL



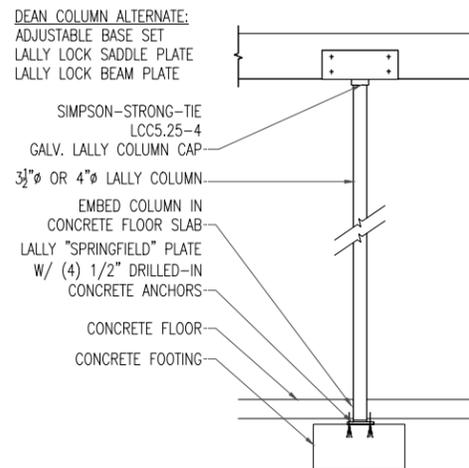
FRAMING NOTES:

- ALL FRAMING AND CONSTRUCTION SHALL CONFORM TO THE STATE BUILDING CODE 780 CMR 9TH EDITION AND OTHER APPLICABLE CODES AND REGULATIONS.
- ALL WOOD FRAMING MEMBERS SHALL BE SPRUCE-PINE-FIR (OR BETTER) W/ THE FOLLOWING MINIMUM GRADES:
 - JOISTS (U.N.O.), RAFTERS, SOLID AND BUILT-UP BEAMS, WALL STUDS, SOLID WOOD POST, AND LINTELS: NO.2 OR BETTER (U.N.O.).
 - SILLS, PLATES, BLOCKING & NAILERS: STUD GRADE.
- WOOD SITS BENEATH ALL INTERIOR/EXTERIOR BEARING WALLS AND ALL MEMBERS EXPOSED TO WEATHER & MOISTURE SHALL BE GRADE #2 DOUGLAS-FIR, HEM-FIR OR BETTER, PRESSURE TREATED WITH PRESERVATIVE IN ACCORDANCE WITH AMERICAN WOOD-PRESERVERS' ASSOCIATION STANDARDS:
 - DECKING, RAILINGS, JOISTS, AND BEAMS MUST BE TREATED TO A CATEGORY UC3B.
 - POSTS AND OTHER WOODS LOCATED ON, IN OR IN CONTACT WITH GROUND MUST BE A CATEGORY UC4B.
 - ANY WOOD LESS THAN 6 INCHES ABOVE GROUND OR IN CONTACT WITH CONCRETE MUST BE A CATEGORY UC4A.
- ALL NAILS USED TO FASTEN THE DECK WOODS SHALL BE COMMON GALVANIZED OR BETTER.
- ALL ENGINEERED LUMBER TO BE SPECIFIED AND SIZED BY LUMBER MANUFACTURER. ALL BEARING LENGTH OF LVL'S AND NAILING, FASTENING SCHEDULE SHALL BE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
- ALL HEADERS TO BE 2X10 WITH 1/2" CDX PLYWOOD SPACER UNLESS NOTED OTHERWISE.
- ALL EXTERIOR WALLS TO BE 2X6 @ 16" O.C. UNLESS NOTED OTHERWISE.
- ALL SUB-FLOOR TO BE 3/4" T&G PLYWOOD, GLUED AND SCREWED TYP.
- CONTRACTOR TO VERIFY ALL FRAMING ELEVATION PRIOR TO SETTING TOP PLATES, TYP.
- PROVIDE HEAVY DUTY SIMPSON JOIST HANGER AT ALL BEAMS, FLOORS, AND DECK CONNECTIONS.
- PROVIDE HURRICANE CLIPS AT ALL ROOF TO WALL INTERSECTIONS AND FLOOR TO FLOOR INTERSECTIONS.
- PLYWOOD SHEETS MUST BE CONTINUOUS FROM SILL TO PLATE PER FRAMING REQUIREMENTS FOR HIGH WIND ZONES AND LARGE WALL OPENINGS.
- ALL CONNECTORS IN CONTACT WITH PRESSURE TREATED WOOD OR CONCRETE MUST BE HOT-DIPPED GALVANIZED STEEL.
- PROVIDE SOLID BLOCKINGS AT MID-SPAN OF ALL FLOOR JOIST SPANS AND AT ALL CORNER WALLS.
- ALL BEARING POSTS MUST ALIGN WITH BEAMS BELOW DOWN TO FOUNDATIONS/ FOOTINGS.
- ALL COLLAR TIES TO BE 2X6 @ 16" O.C. UNLESS NOTED OTHERWISE.
- GENERAL CONTRACTOR TO PROVIDE GENERAL WALL BLOCKINGS FOR ALL HANDRAILS, TOILET ACCESSORIES, MILLWORK AND OTHER MISC. ITEMS, TYP.
- CUTTING, NOTCHING, OR DRILLING THROUGH FLOOR & ROOF FRAMING MEMBERS TO CONFORM TO BUILDING CODE FOR ALLOWABLE PARAMETERS.

POST SYMBOLS ON PLANS



OA FOUNDATION WALL DETAIL
 1/2"=1'-0"



OB COLUMN FOOTING DETAIL
 1/2"=1'-0"

1 FOUNDATION PLAN
 1/4"=1'-0"



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JIANG RESIDENCE
SINGLE FAMILY ADDITION

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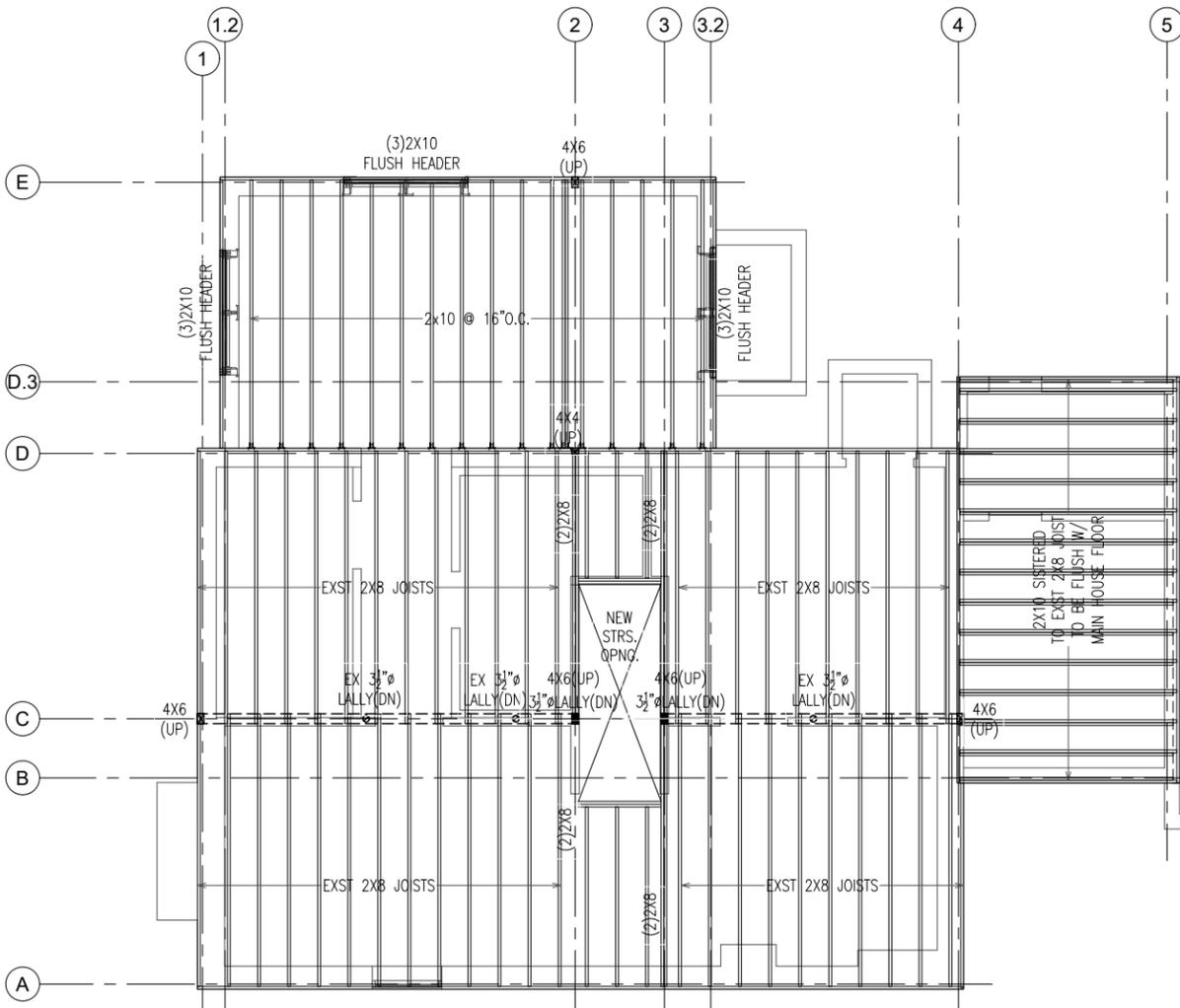
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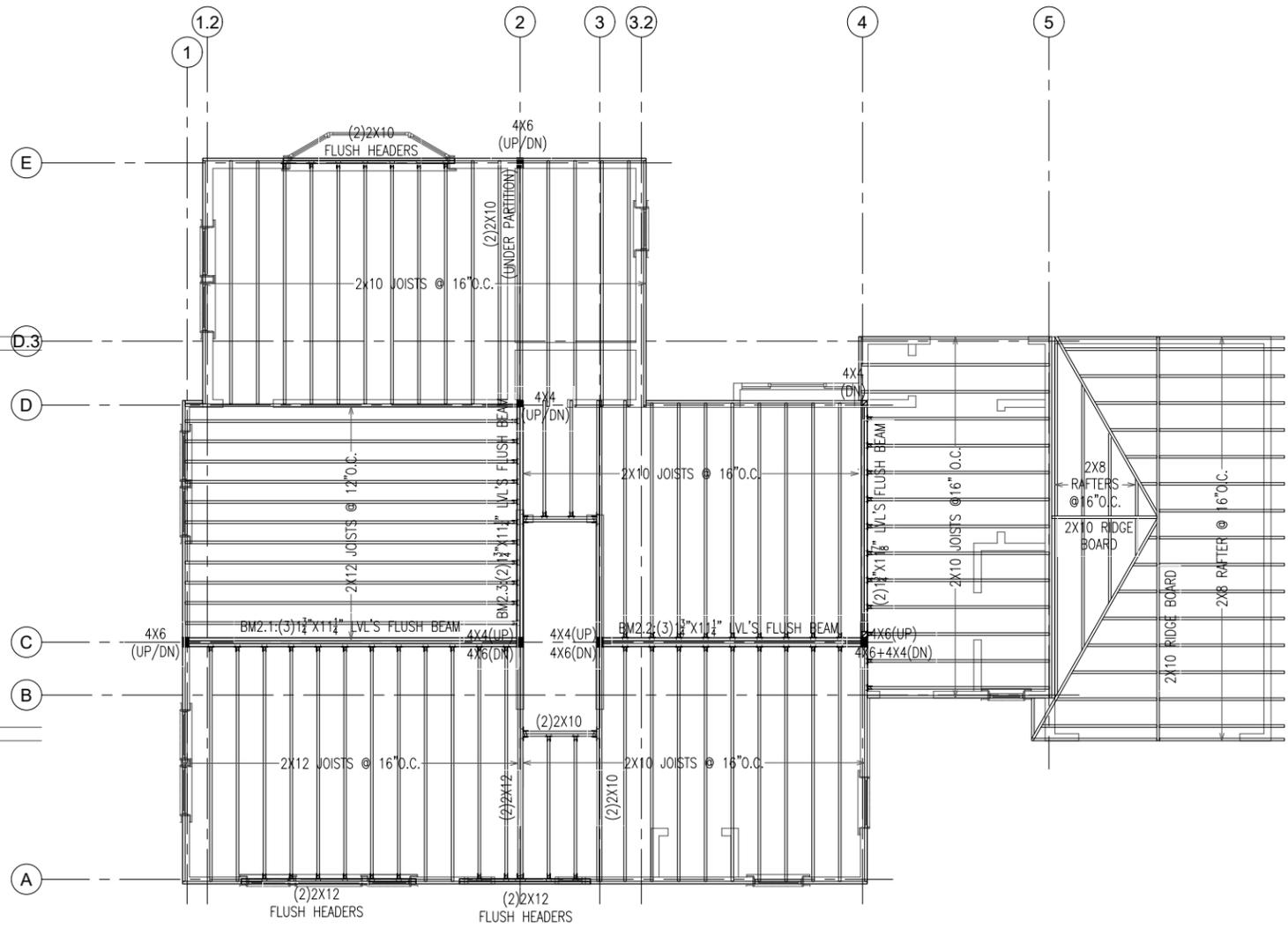
Chi-Ming Lee
CHI-MING LEE, AIA ARCHITECT

FRAMING PLANS

SCALE: 1/4"=1'-0"
DATE: JANUARY 11, 2022
DRAWN BY: STAFF, CL
CHECKED BY: CL



2 FIRST FLOOR FRAMING PLAN
1/4"=1'-0"



3 SECOND FLOOR FRAMING PLAN
1/4"=1'-0"



Narrative Statement
(274 Brighton Street addition and remodeling project)

As much as we love the town of Belmont and enjoy the community, our current house is in need of immediate repair and remodeling in order to improve our living condition and to contribute to the quality of the neighborhood.

Project description: extension, remodeling, and 2nd-floor addition to relocate bedrooms away from the outside road, increase living spaces, add bedrooms and home office areas, and to repair the deteriorating parts of the house. This project is a 2nd-floor addition on top of the existing 1-story structure and a new 2-story addition attached to the rear of the existing structure.

Remodeling and addition needs:

1. Bedroom and living room very close to a busy road and the old wooden floor vibrates when vehicles passing by. This is significantly affecting our living condition - a major issue we want to resolve by relocating the bedrooms toward the backyard and by refurbishing the whole house framing, flooring and insulation.
2. We routinely work-from-home and need separate home office areas.
3. My mother is retired and planning to live with us thus additional bedrooms and living spaces are needed.

Repairs:

4. Roof and foundation need major repair.
5. Ceiling with water damage in multiple areas.
6. Garage and drive way require immediate repair.

Potential impacts on the neighborhood: the project plan has been carefully designed by a professional architect in consideration of the prevailing size and layout of the neighborhood houses. The construction work will be managed by a licensed contractor and is expected to neither generate excessive traffic, parking, noise or density impacts on the abutters, nor create other detrimental effects on the neighborhood. The external design and color of the new house will be in keeping with the character of the neighborhood. Overall, the proposed project would make positive contribution to the community and help to improve the neighborhood value.



Dawei Jiang and Linlin Zhao
617-894-5183
dawei7780@gmail.com

Jan 8, 2022

Neighbor's Support Letter

(RE: 274 Brighton Street addition and remodeling project)

I am a neighbor of Dawei Jiang (David) and Linlin Zhao (Linda) at 274 Brighton Street. They have lived here since 2017 and are responsible and considerate residents.

Their current house is a one-story ranch built in 1950 on the side of a very busy road. In addition to the street noise throughout the day, it is noticeable that many parts of their house are in need of repair and renovation. They also need more living spaces and extra rooms for their growing family.

Therefore, I support their house addition and remodeling project as I can understand their need to add more spaces for bedrooms and home offices, and to improve their overall living condition.



268 Brighton Street
Belmont, MA 02478

Jan. 8, 2022

Neighbor's Support Letter
(RE: 274 Brighton Street addition and remodeling project)

I am a neighbor of Dawei Jiang (David) and Linlin Zhao (Linda) at 274 Brighton Street. They have lived here since 2017 and are responsible and considerate residents.

Their current house is a one-story ranch built in 1950 on the side of a very busy road. In addition to the street noise throughout the day, it is noticeable that many parts of their house are in need of repair and renovation. They also need more living spaces and extra rooms for their growing family.

Therefore, I support their house addition and remodeling project as I can understand their need to add more spaces for bedrooms and home offices, and to improve their overall living condition.

Claine Dalakis 1/8/22

287 Brighton Street
Belmont, MA 02478

Neighbor's Support Letter
(RE: 274 Brighton Street addition and remodeling project)

I am a neighbor of Dawei Jiang (David) and Linlin Zhao (Linda) at 274 Brighton Street. They have lived here since 2017 and are responsible and considerate residents.

Their current house is a one-story ranch built in 1950 on the side of a very busy road. In addition to the street noise throughout the day, it is noticeable that many parts of their house are in need of repair and renovation. They also need more living spaces and extra rooms for their growing family.

Therefore, I support their house addition and remodeling project as I can understand their need to add more spaces for bedrooms and home offices, and to improve their overall living condition.

280 Brighton Street
Belmont, MA 02478

YUMEI ZHANG

Yumei Zhang

1/8/2022

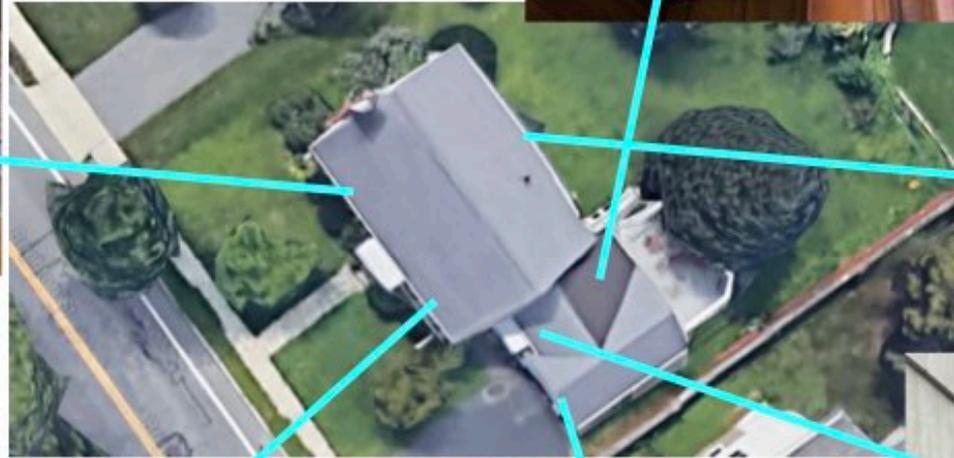
274 Brighton Street addition and remodeling project



1. Bedroom and living room very close to a busy road



5. Ceiling with water damage in multiple areas



4. Roof and foundation need major repair



2. 3. Home offices and more living spaces needed



6. Garage and drive way require urgent repair



Landscape Plan

274 Brighton Street addition and remodeling project

