

March 23, 2022

Dear Planning Board Members:

My wife, Danielle, and I are excited to develop the property at 261 Orchard St into our new home. We desire to live in a single family home, in a quiet neighborhood within a caring community. The design of our proposed home would support our wish to grow a larger family and accommodate our elderly parents who come regularly to visit us.

The structure on the site has been vacant for many, many years and is in a state of extreme disrepair; currently the house is truly an eyesore within a very nice neighborhood. With the new residence we are proposing, we aim to meet the needs of our growing family while replacing the existing dilapidated house with one that will enhance the immediate area. We believe the design will improve the view towards the property for the abutting neighbors, neighbors from across the street, and people walking or driving by the property. Our priority has been to keep a similar form and orientation to that of the existing house and the abutting homes. We have deliberately chosen a simple, unadorned style which we believe will complement the character of the neighborhood. As viewed from Orchard Street, the style can be described as Modern American Farmhouse Style. In keeping with the more traditional American Farmhouse Style, the main section of the house is to be clad in traditional clapboards, and the gabled roofs are to be an attractive, durable standing seam metal roofing system.

While the proposed house is larger than the existing, it is smaller than some of the homes in the vicinity. The use of compact forms and simple, clean detailing and the placing of a large portion of the volume at the rear, minimally visible from Orchard Street, is meant to moderate the overall massing of the building.

Regarding the lot, the two nonconforming items are the Lot Area and Lot Frontage; for both Existing and Proposed, the zoning setbacks and other requirements are met. The proposed siting of the structure is such that the front of the house is 4 feet further back from the current location; the objective being to provide a bit more open space on the public side, allowing for a welcoming covered entryway and stair as well as to protect the large tree at the front left of the house. Along the east side, we are also proposing a bit wider space between the house and the property line. Finally, with regards to landscaping, our proposal is to retain all of the mature trees as possible except for the 2 norwegian maples.

We chose Belmont as it is a desirable location to live not only because of its excellent community but also because we have a strong family history within the town. Danielle's extended maternal family has many connections in Belmont. Her great grandfather, Rev. D. Joseph Imler, led the organization of the Belmont Methodist Church (known today as Belmont-Watertown United Methodist Church) in 1921. The address 417 Common Street named "Imler House" was named after him. Rev. Imler was the minister at BMC for 38 years and raised 4 children in Belmont. (Danielle's grandmother, Jean Imler Dyer graduated from Belmont High School). Her grandparents and her parents were married at Belmont Methodist Church and Danielle and her older sister were both baptized there as well.

Sincerely,
Robert McAuley

Landscape Plan

We plan to make minimal changes to current landscape design. All current trees, the current driveway and small shed/garage in the back will remain as is. Please refer to plot plan with reference points in addition to this list.

- The driveway will remain in the same location. It will be paved with asphalt.
-
- The garage will remain in the same location.
-
- Tree in front of garage will remain in same location
-
- Front walkway will be brick pavers
-
- Front tree left will remain
-
- Exit from basement will be blue stone
-
- Tree adjacent to Norwegian Maples will remain
-
- Two Norwegian Maples will be removed
-
- Four trees left to garage will remain
-
- All other areas will be grass

New Residence at 261 Orchard St

261 Orchard St Belmont, MA 02478

GENERAL ENERGY CONSERVATION NOTES:

- PROJECT MUST COMPLY WITH CURRENT EDITION OF THE MASSACHUSETTS RESIDENTIAL BUILDING CODE [9TH EDITION (2015 IRC, 2018 IECC & MA AMENDMENTS)].
- BUILDING ENVELOPE: ENTIRE BUILDING ENVELOPE TO RECEIVE INSULATION AND VAPOR BARRIER (ON WARM SIDE) THAT MEETS OR EXCEEDS THE BUILDING CODE THERMAL REQUIREMENTS. WHERE CLOSED CELL SPRAY FOAM INSULATION IS USED, A SEPARATE VAPOR BARRIER WILL NOT BE INSTALLED.
 PROVIDE AT MINIMUM:
 - FENESTRATION U-FACTOR: 0.30
 - SKYLIGHT U-FACTOR: 0.55
 - CEILING R-FACTOR: 49
 - WOOD FRAME WALL R-VALUE: 20 OR 13 + 5 (CONT)
 - MASS WALL R-VALUE: 13/17.
 - FLOOR R-VALUE: 30 (OR INSULATION SUFFICIENT TO FILL THE FRAMING CAVITY; R-19 MIN).
 - BASEMENT WALL R-VALUE: 15 CONT/OR 19 CAVITY.
 - SLAB R-VALUE/DEPTH: 10; 2 FT.
 - CRAWL SPACE WALL R-VALUE: 15/19.
- ALL PLUMBING TO BE SEPARATED FROM CRAWLSPACE BY MIN R30 INSULATION.
- SEAL SUBFLOOR, INCLUDING HOLES FOR WIRING AND PLUMBING WITH FOAM INSULATION PRIOR TO INSTALLING FLOOR INSULATION.
- ALL INSTALLED INSULATION SHALL BE LABELED; OR THE INSTALLED R-VALUES PROVIDED. BLOWN INSULATION MARKED EVERY 300 SF.
- ALL INSULATION TO BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS.
- ENVELOPE AIR LEAKAGE: AIR BARRIER AND THERMAL BARRIER INSTALLED PER MANUFACTURER'S INSTRUCTIONS.

MATERIALS & SYSTEMS GENERAL NOTES:

- ALL SITE DESIGN, INCLUDING GRADING, DRIVEWAY, PATHS, PATIO, AND PLANTINGS BY OTHERS (NIC).
- ALL STRUCTURAL DESIGN AND DRAWINGS, INCLUDING FOUNDATION AND FLOOR & ROOF FRAMING PLANS TO BE PROVIDED BY OWNER'S STRUCTURAL ENGINEER (NIC).
- MECHANICAL (HVAC), ELECTRICAL, AND PLUMBING SYSTEMS DESIGN BY OTHERS (NIC). SYSTEMS AND EQUIPMENT SELECTED BY OTHERS (NIC).
- ROOFING:
3:12 TO 12:12 SLOPE ROOFS:
 STANDING SEAM METAL ROOF SYSTEM TO BE APPROVED BY OWNER. INSTALL 2 LAYERS OF ICE & WATER SHIELD OVER NEW ROOF SHEATHING AS REQUIRED BY CODE. DO NOT INSTALL ICE & WATER SHIELD OVER ENTIRE ROOF IF SPRAY-ON INSULATION IS INSTALLED IN BETWEEN ROOF RAFTERS; INSTALL 2 LAYERS OF 30# FELT INSTEAD.
LOW SLOPE ROOFS:
 EPDM ROOF SYSTEM
 ALTERNATE: MINERAL SURFACED ROLL ROOFING SYSTEM.

 COMPLY WITH ALL RESIDENTIAL BUILDING CODE CHAPTER 9 REQUIREMENTS.
- INSTALL SNOW BARS AND/OR SNOW GUARDS AT NEW ROOF TO PREVENT FALLING SNOW/ICE. TYPE, NUMBER, AND SIZE TO BE APPROVED BY OWNER.

- ALL KITCHEN CABINETS & COUNTERTOPS, BATHROOM VANITIES, PLUMBING FIXTURES, ELECTRICAL/LIGHTING FIXTURES AND EQUIPMENT, AND APPLIANCES TO BE SELECTED BY OWNER.
- EXTERIOR STAIRS: PT FRAMING; COMPOSITE DECKING; COMPOSITE TRIM.
- EXTERIOR RAILINGS: WOOD/METAL/SS. GUARDRAILS: 42" AFF, UNO; STAIR HANDRAILS: 34" VERT FROM NOSING.
- INSTALL FULL HEIGHT SOUND BATTS IN ALL INTERIOR PARTITIONS SEPARATING ROOMS. SOUND ATTENUATION BATTS IN FLOOR FRAMING AT OWNER'S OPTION.
- ALL EXTERIOR GLAZING TO BE CLEAR, INSULATED GLASS, UNO. ALL DOORS & WINDOWS SHALL HAVE SAFETY GLASS AT CODE REQUIRED LOCATIONS.
- PROVIDE TEMPERED GLASS AT ALL FOLLOWING LOCATIONS:
 - ANY DOOR HAVING GLAZED LITE(S).
 - ANY WINDOW OR GLAZED LITE BEHIND A DOOR SWING.
 - ANY GLAZED UNITS NEAR A POSSIBLE SLIP AND FALL SITUATION.
 - ANY GLAZING WITHIN 36" (HORIZONTALLY) OF WALKING SURFACES.
 - ANY GLASS IN A TUB OR SHOWER.
 - ANY GLASS CLOSER THAN 18" TO THE FLOOR.
 - ANY GLASS ALONG A STAIRWAY.
- BEDROOMS TO HAVE WINDOWS WITH OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING. (DOUBLE HUNG WINDOWS MIN NET CLEAR OPENING OF 3.3 SF; MIN NET CLEAR OPENING DIMENSIONS SHALL BE 20" BY 24" IN EITHER DIRECTION).
- ALL 2ND FLOOR & ATTIC WINDOWS TO PROVIDE WINDOW FALL PROTECTION COMPLYING WITH MA RESIDENTIAL CODE SECTION R312.2.
- WALL SIDING: TYPE A & TYPE B TO BE SELECTED BY OWNER.
- INTERIOR DOORS: TYPE, FINISH AND COLOR TO BE SELECTED BY OWNER.
- EXTERIOR DOORS: DOOR, DOOR FRAME AND GLAZING PERFORMANCE TO MEET ENERGY CODE REQUIREMENTS. FULLY WEATHERSTRIPPED. DOOR TYPES, FINISHES AND COLORS TO BE SELECTED BY OWNER.
- WINDOWS: WINDOWS AND GLAZING PERFORMANCE TO MEET CODE REQUIREMENTS. TYPES, FINISHES AND COLORS TO BE SELECTED BY OWNER.
- USE PRESSURE TREATED LUMBER WHEREVER WOOD IS IN CONTACT WITH MASONRY OR CONCRETE.

INTERIOR FINISHES GENERAL NOTES:

- SPECIFIC FINISHES AND COLORS TO BE SELECTED BY OWNER.
- FINISH AT WALLS & CEILINGS: 1/2" TYPE-X GYPSUM BOARD, SKIM COAT, PAINTED, UNO. GWB TO BE MR (MOISTURE RESISTANT) AT BATHROOMS, AND BASEMENT.

GENERAL NOTES:

- CONTRACTOR TO VERIFY ALL SITE EXISTING CONDITIONS PRIOR TO COMMENCING ANY WORK. OWNER TO INDICATE TREES TO BE RETAINED (AND PROTECTED AS NECESSARY).
- CONTRACTOR TO DETERMINE LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO COMMENCING ANY WORK.
- DIMENSIONS ARE FINISH DIMENSIONS, TYP, UNO.
- ALL EXISTING DIMENSIONS ARE +/-.
- LINES REPRESENTING GRADE IN BUILDING ELEVATIONS DRAWINGS ARE APPROXIMATE. VIF.
- ALL CONSTRUCTION MUST COMPLY WITH 9TH EDITION MA RESIDENTIAL BUILDING CODE AND ALL OTHER APPLICABLE BUILDING CODES.
- ALL OPENINGS TO HAVE STRUCTURAL LINTELS, UNO.
- ENTIRE BUILDING SHALL BE EQUIPPED WITH APPROVED HARD-WIRED SMOKE AND CO DETECTORS/SYSTEM AS REQUIRED BY CODE. THIS INCLUDES SMOKE DETECTOR IN EVERY BEDROOM; COMBINATION SMOKE/CO DETECTOR ON EVERY FLOOR AND WITHIN 10 FEET OF EVERY BEDROOM.
- BATHROOMS AND LAV TO HAVE MECHANICAL VENTILATION PER CODE.
- KITCHEN TO HAVE MECHANICAL EXHAUST ABOVE THE RANGE. COORDINATE EXHAUST CAPACITY AND MAKEUP AIR REQUIREMENTS WITH RANGE SELECTED (BY OTHERS).
- INSTALL FIRE BLOCKING AS REQUIRED BY CODE.
- PROVIDE METAL DRIP EDGE AT ALL ROOF EDGES, UNO.

ABBREVIATIONS:

AFF	ABOVE FINISH FLOOR
CLNG	CEILING
CLR	CLEAR
CNTR	COUNTER
CONC	CONCRETE
CPT	CARPET
DEMO	DEMOLISH, DEMOLITION
EQ	EQUAL
ELEC	ELECTRICAL
EXIST	EXISTING
EXT	EXTERIOR
FIN	FINISH
FL	FLOOR
GC	GENERAL CONTRACTOR
GWB	GYPSUM WALLBOARD
H	HIGH
INSUL	INSULATION
NIC	NOT IN CONTRACT
MX	MATCH EXISTING
OC	ON CENTER
PLWD	PLYWOOD
PT	PRESSURE TREATED (WOOD)
PTD	PAINTED
RO	ROUGH OPENING
SAB	SOUND ATTENUATION BATT
SIM	SIMILAR
SS	STAINLESS STEEL
STL	STEEL
STRUCT	STRUCTURAL, STRUCTURE
TYP	TYPICAL
T&G	TONGUE & GROOVE
UNO	UNLESS NOTED OTHERWISE
VIF	VERIFY IN FIELD

LIST OF DRAWINGS

ARCHITECTURAL:

G0-01	TITLE SHEET
A2-01	SITE PLAN, WALL SECTION & BASEMENT FLOOR PLAN
A2-02	1st & 2nd FLOOR PLANS
A2-03	ATTIC FLOOR PLAN & ROOF PLAN
A3-01	SOUTH & WEST BUILDING ELEVATIONS
A3-02	NORTH & EAST BUILDING ELEVATIONS
A3-03	BUILDING SECTIONS A-A & B-B

STRUCTURAL (NIC):

[BY _____]

S1-01	_____
S1-02	_____

3-17-2022
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 ARCHITECTURE

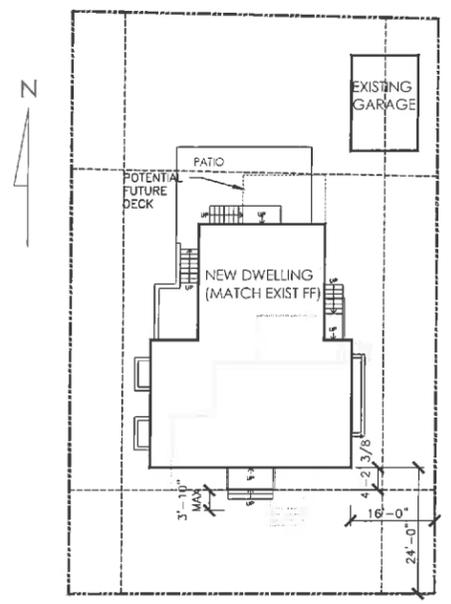
14 Linden Avenue
 Belmont, MA 02478

11-10-2021

G0-01

TITLE SHEET

New Residence at
 261 Orchard St
 261 Orchard Street Belmont, MA 02478

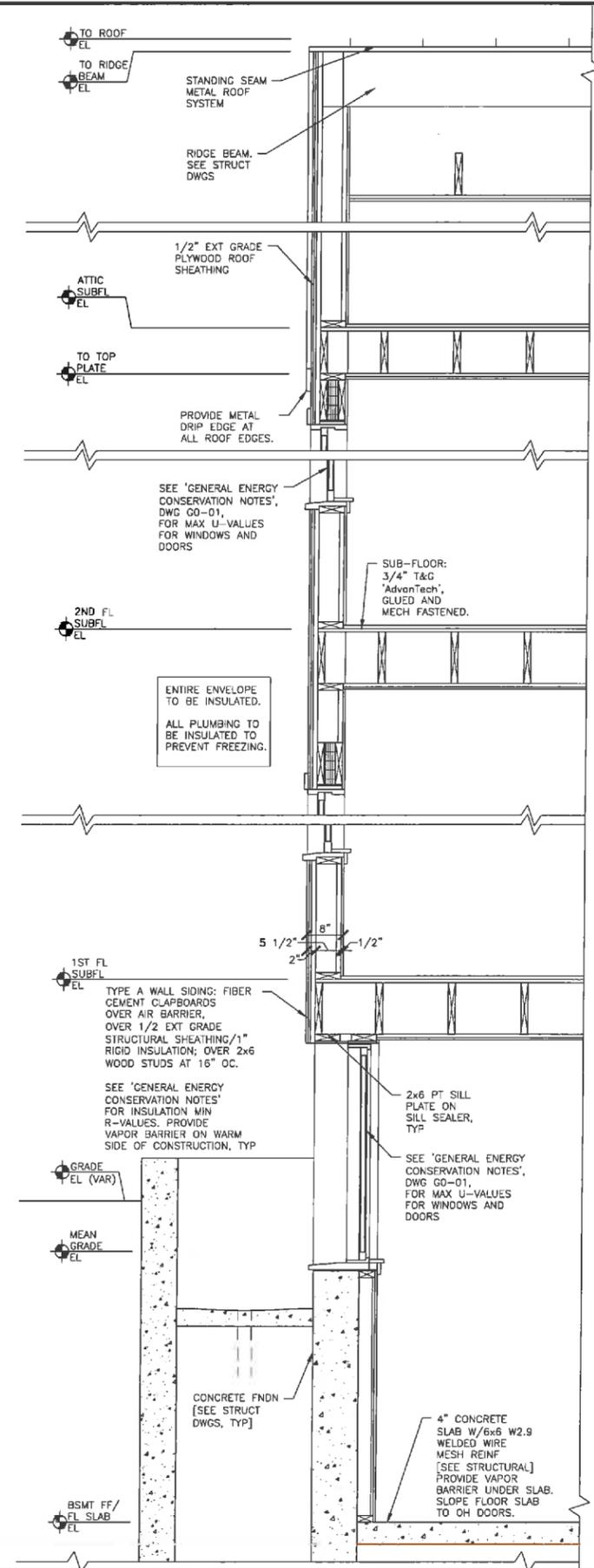


CONCEPTUAL SITE PLAN
[FOR INFORMATION ONLY]

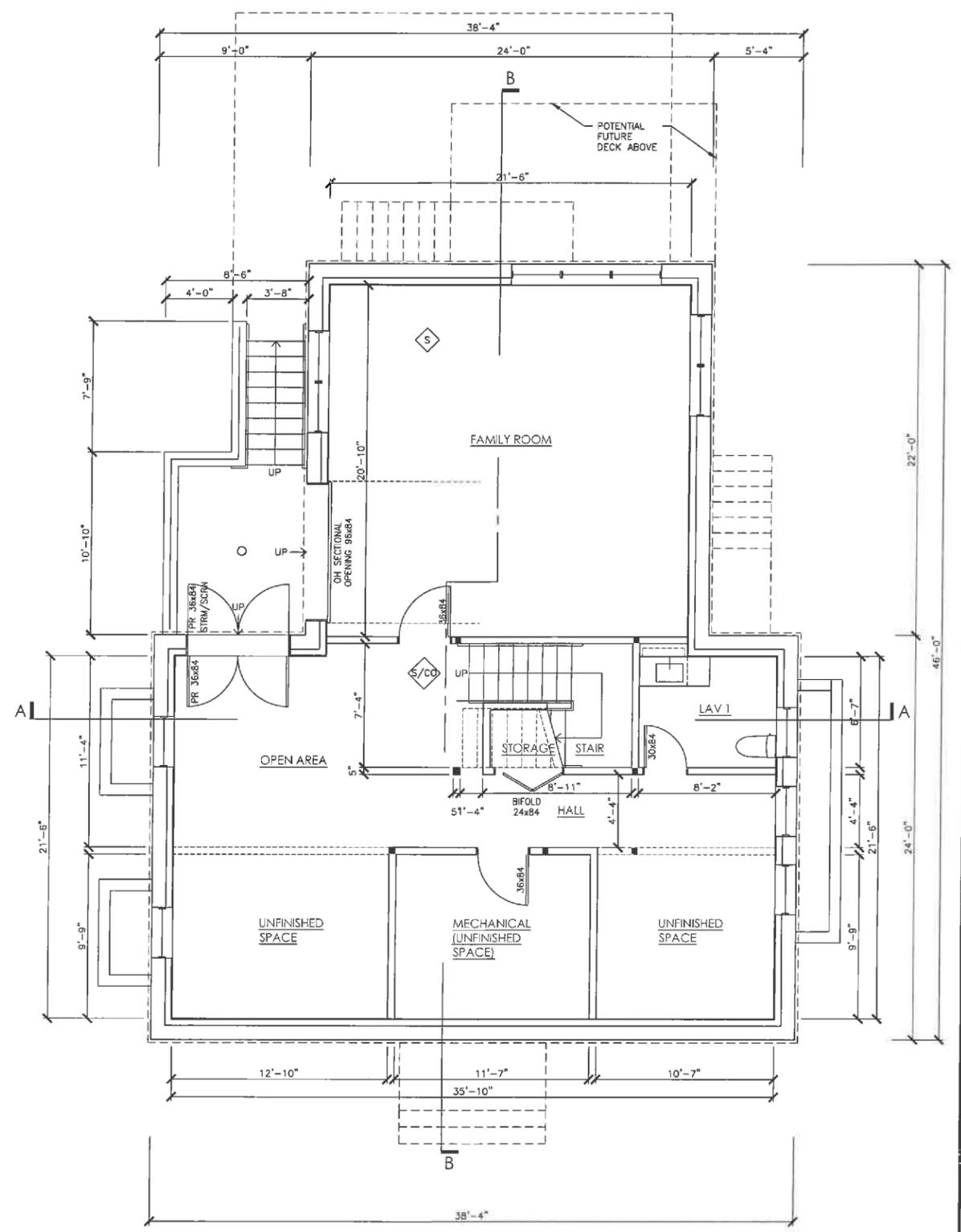
SCALE: 1/16" = 1'-0"

NOTE:
THIS SITE DRAWING IS FOR INFORMATION ONLY. FOR ALL SITE CONDITIONS AND DIMENSIONS REFER TO SURVEY PLAN BY MEDFORD ENGINEERING & SURVEY.

PROPOSED RESIDENCE FLOOR AREA TLA (TOTAL LIVING AREA)	
Attic:	0 TLA
2nd Fl:	1,477 TLA
1st Fl:	1,477 TLA
BSMT:	1,012 TLA
Total:	3,966 TLA
TLA EXCLUDING THE BASEMENT	
Total:	2,954 TLA



TYPICAL WALL SECTION
SCALE: 3/4" = 1'-0"
0' 4" 12" 16"



BASEMENT FLOOR PLAN
SCALE: 1/4" = 1'-0"

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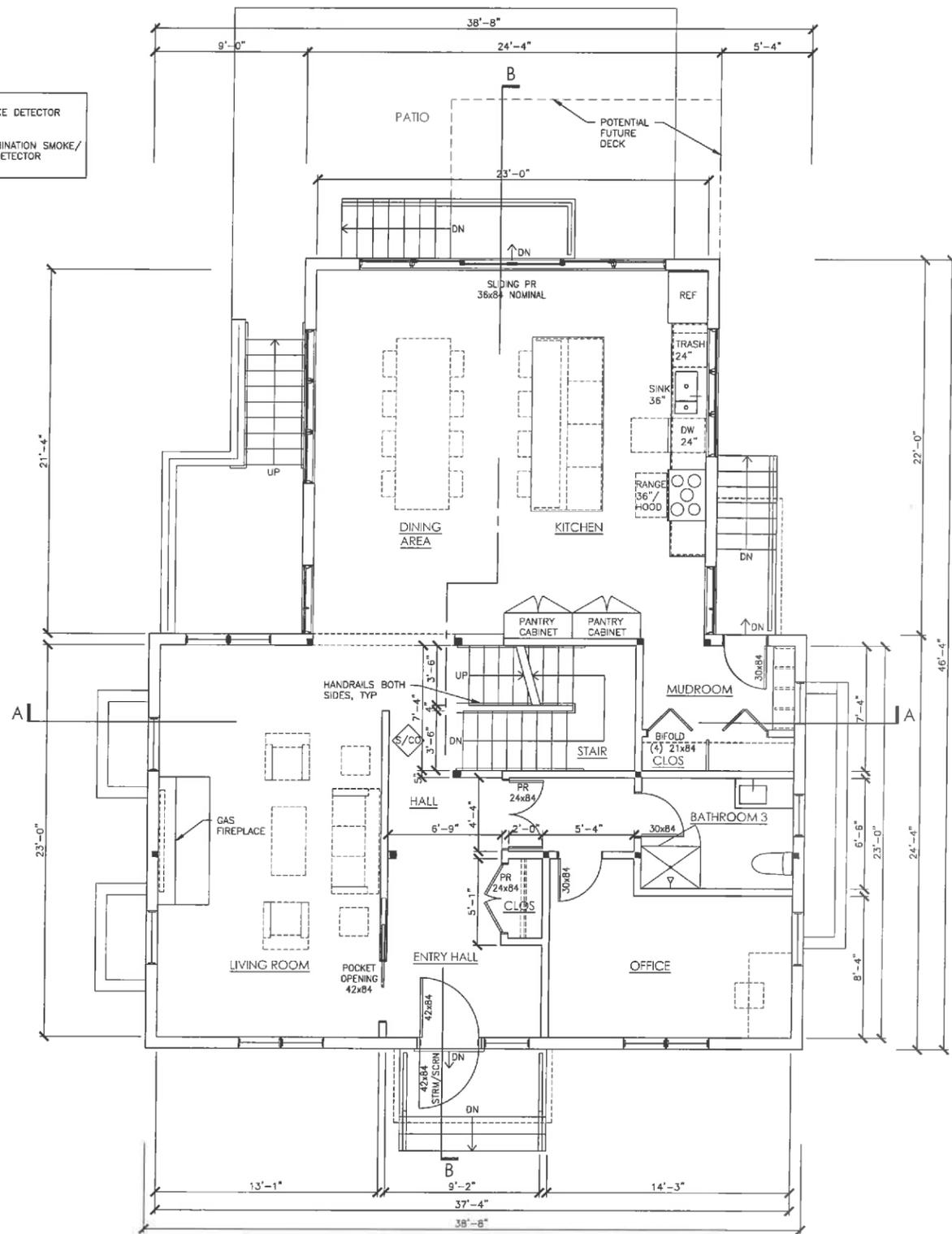
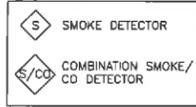
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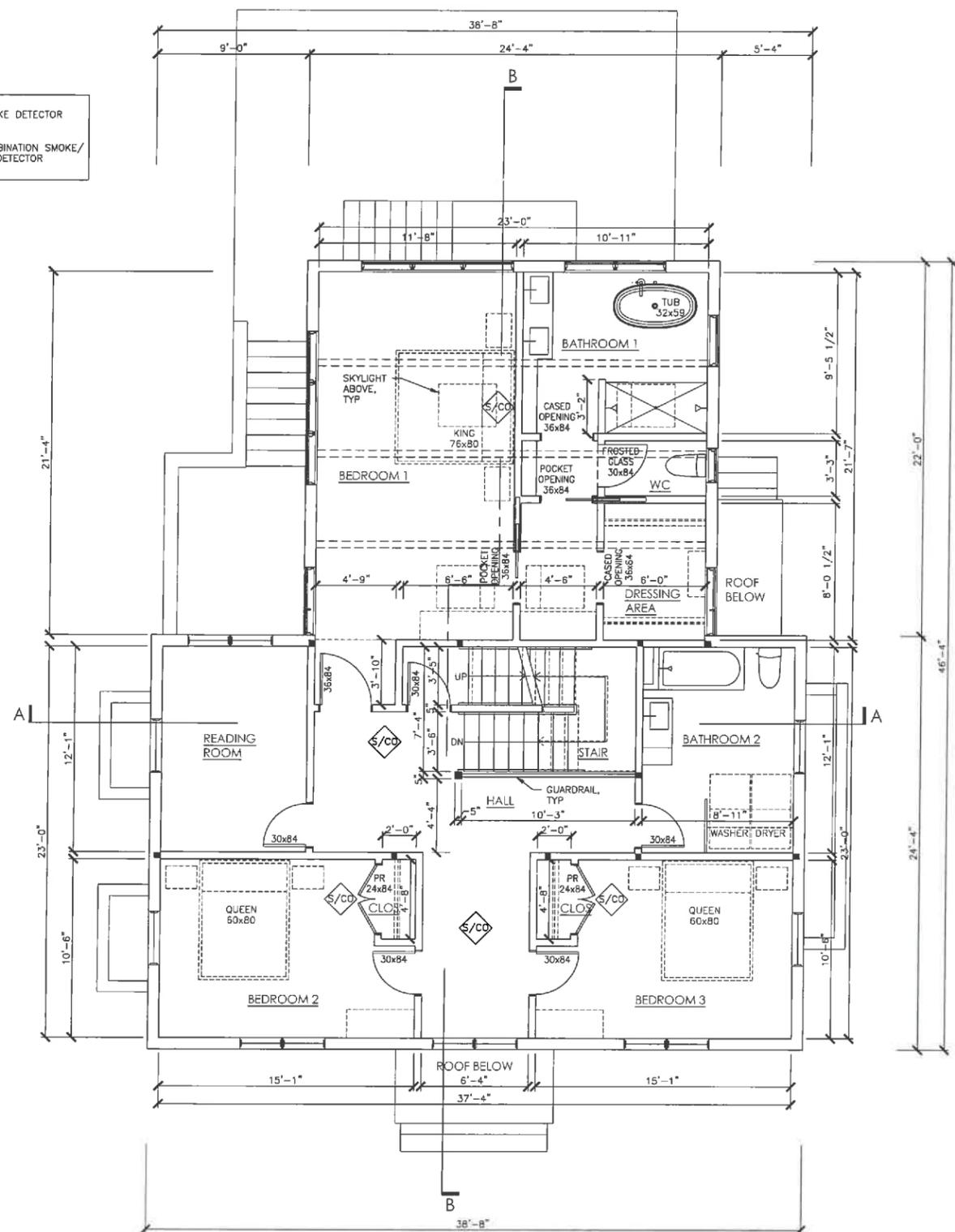
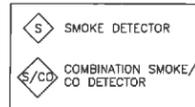
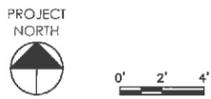
11-10-2021
A2-01

**SITE PLAN,
WALL SECTION &
BASEMENT FLOOR PLAN**

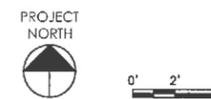
New Residence at
261 Orchard St
261 Orchard Street Belmont, MA 02478



1st FLOOR PLAN
SCALE: 1/4" = 1'-0"



2nd FLOOR PLAN
SCALE: 1/4" = 1'-0"



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SOUTH BUILDING ELEVATION
 SCALE: 1/4" = 1'-0"
 0' 2' 4'



WEST BUILDING ELEVATION
 SCALE: 1/4" = 1'-0"
 0' 2' 4'

ALL 2ND FLOOR & ATTIC FLOOR BEDROOM WINDOWS TO HAVE CODE COMPLIANT EMERGENCY RESCUE CLEAR OPENING

TYPE A WALL SIDING: FIBER CEMENT CLAPBOARDS
 FIBER CEMENT TRIM

TYPE B WALL SIDING: FIBER CEMENT SHIPLAP WITH MITERED CORNERS, TYP. UNO

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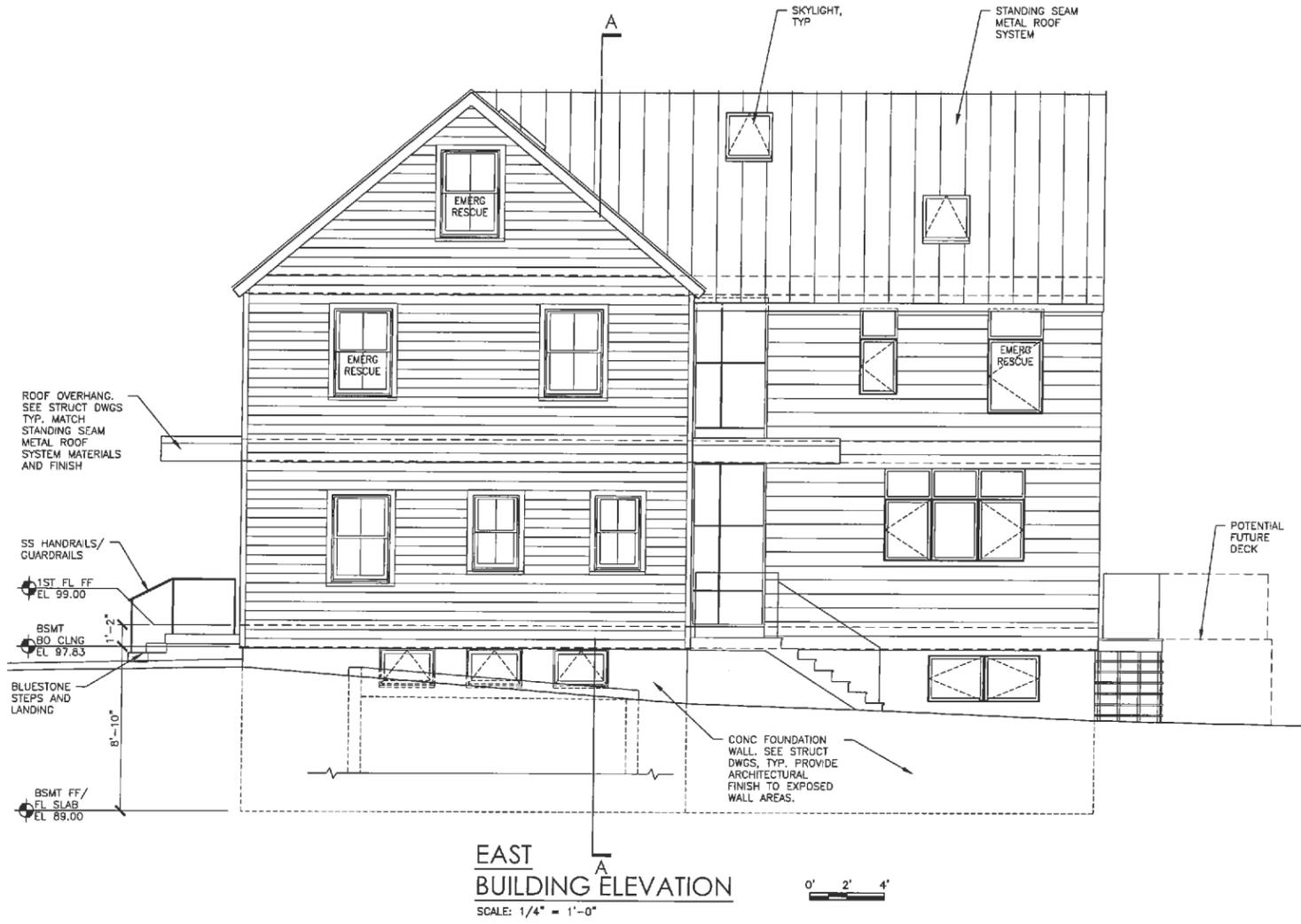
SOUTH & WEST BUILDING ELEVATIONS

11-10-2021
A3-01

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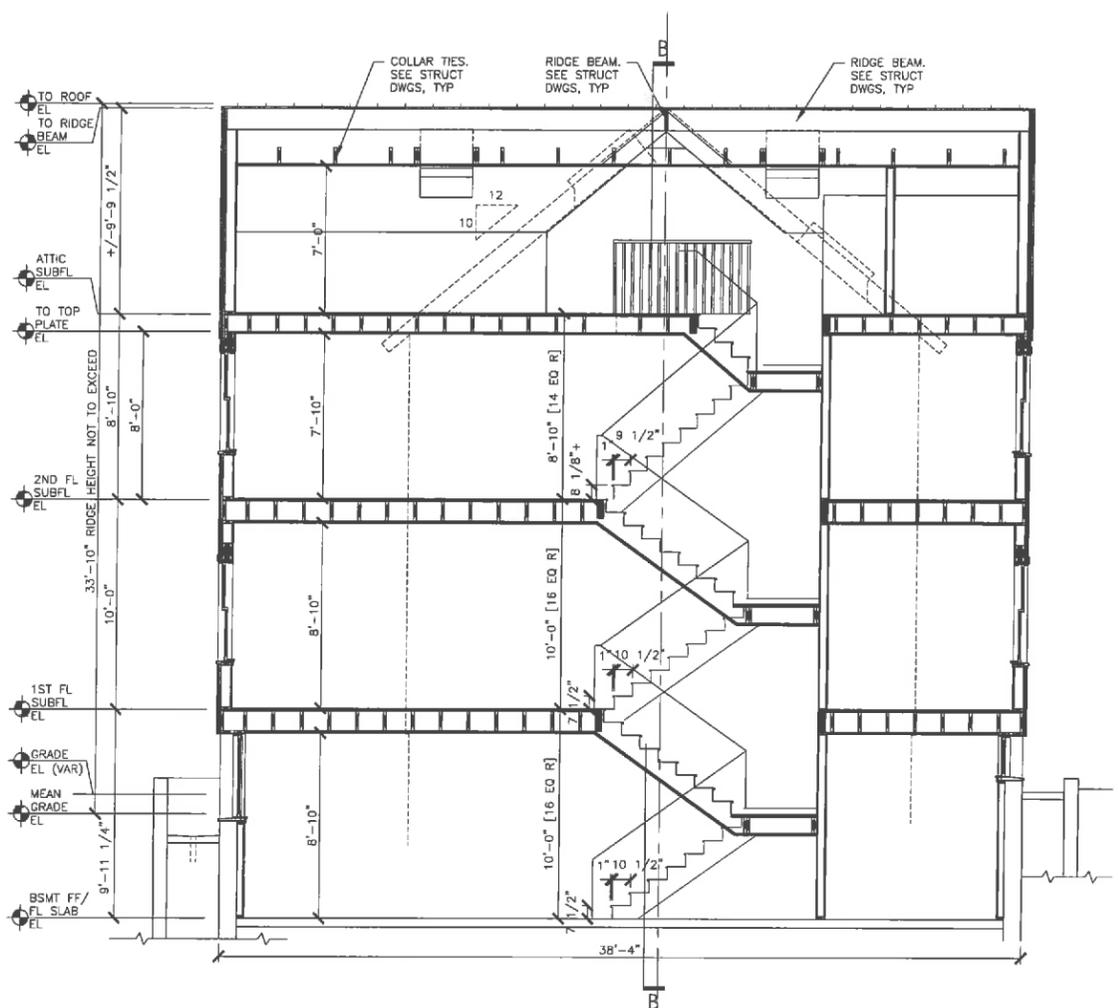
**NORTH
 BUILDING ELEVATION**
 SCALE: 1/4" = 1'-0"



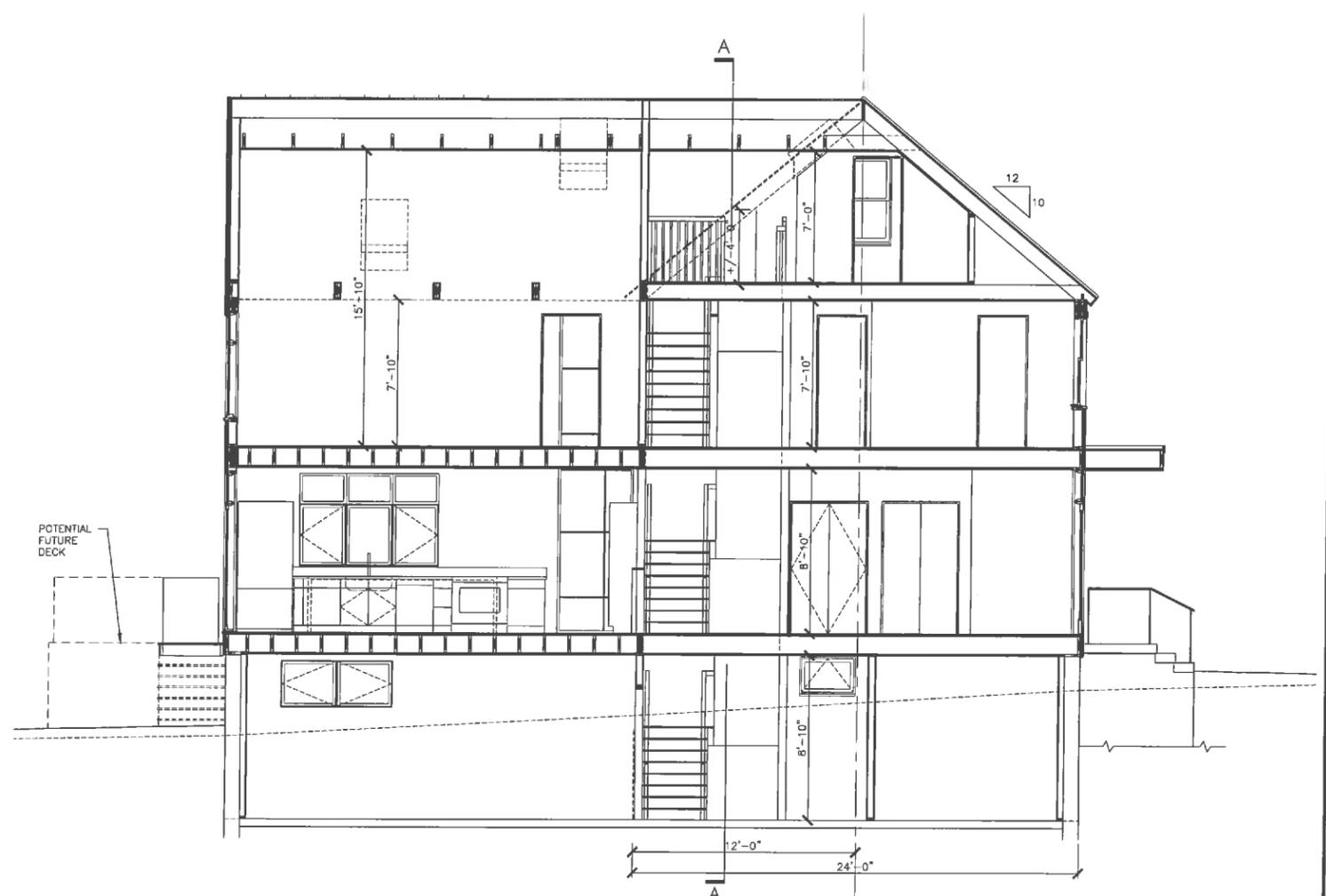
**EAST
 BUILDING ELEVATION**
 SCALE: 1/4" = 1'-0"

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**BUILDING SECTION A-A
(LOOKING NORTH)**
SCALE: 1/4" = 1'-0"



**BUILDING SECTION B-B
(LOOKING EAST)**
SCALE: 1/4" = 1'-0"



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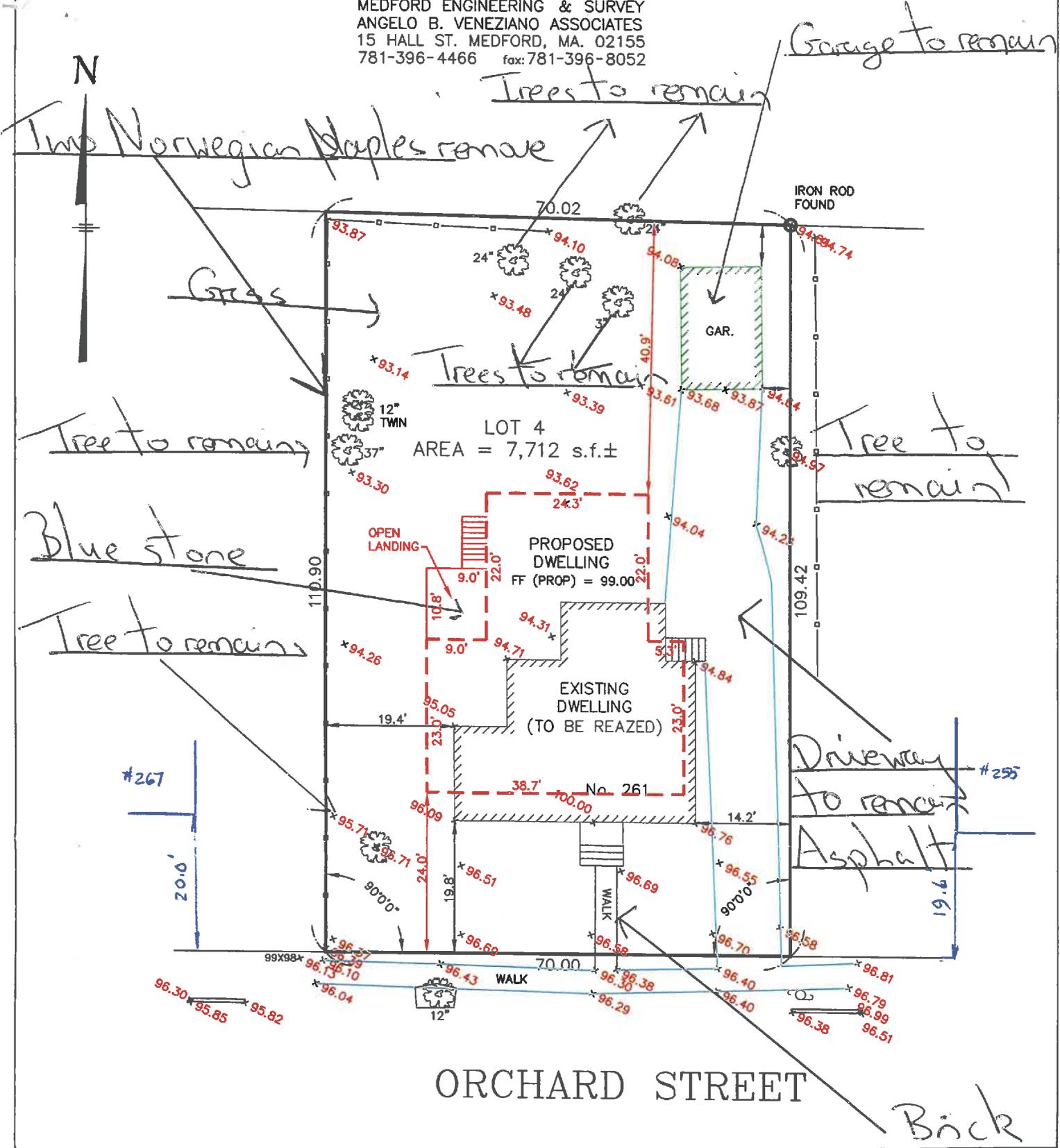
**New Residence at
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261 Orchard Street Belmont, MA 02478**

**BUILDING SECTIONS
A-A & B-B**

11-10-2021
A3-03

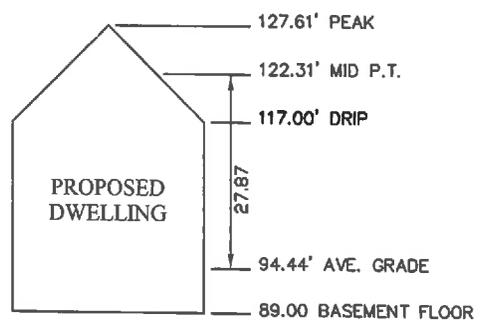
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ARCHITECTURE**
14 Linden Avenue
Belmont, MA 02478

PREPARED BY:
 MEDFORD ENGINEERING & SURVEY
 ANGELO B. VENEZIANO ASSOCIATES
 15 HALL ST. MEDFORD, MA. 02155
 781-396-4466 fax: 781-396-8052



ZONED (SR-C)

ZONING REQUIREMENT	EXISTING	PROPOSED
FRONT: 19.65'	19.7'	24.0'
SIDE: 10'	14.2'	15.3'
REAR: 30'	57.1'	40.9'
MAX. LOT COV.: 25%	15.15%	21.4%
MIN. OPEN SPACE: 50%	63.7%	57.4%



THE PROPERTY IS NOT LOCATED IN AN ESTABLISHED FLOOD HAZARD ZONE ACCORDING TO THE F.I.R.M. OF BELMONT.



DEED REFERENCE: BK 1567 PG 42
 PLAN REFERENCE: 6851A

OWNER: ROBERT MCAULEY
HOUSE NO.: 641
LOC. LOT NO.: 4
APP. NO.:
DATE: JANUARY 27, 2022
SCALE: 1" = 20'

[Signature]
 RICHARD J. MEDE, JR. - P.L.S.

01/27/2022
 DATE: