



Town of Belmont
Planning Board

APPLICATION FOR A SPECIAL PERMIT

Date: 4-14-22

Planning Board
Homer Municipal Building
19 Moore Street
Belmont, MA 02478

To Whom It May Concern:

Pursuant to the provisions of Massachusetts General Laws, Chapter 40A, Section 9, as amended, and the Zoning By-Law of the Town of Belmont, I/we the undersigned, being the owner(s) of a certain parcel of land (with the buildings thereon) situated on STCAMORE ST. Street/Road, hereby apply to your Board for a **SPECIAL PERMIT** for the erection or alteration on said premises or the use thereof under the applicable Section of the Zoning By-Law of said Town for A Single Family 4 bedroom 3 Full and 1 half bath Colonial style home, approx 2000 sq ft above ground and 1000 sq ft below grade each 2 story with one car detached garage on the ground that the same will be in harmony with the general purpose and intent of said Zoning By-Law.

Signature of Petitioner

Robert F. Calnan

Print Name

ROBERT F. CALNAN

Address

166 CIRCLE DRIVE
WALTHAM MA.

Daytime Telephone Number

781 844 8702

August 20, 2014

Lexington Sycamore LLC

166 Circle Drive
Waltham, MA 02451

IMPACT STATEMENT

April 14, 2022

Dear Planning Board Members

70 Lexington Street is currently a single-family residence, colonial style home, built in 1890. This older outdated home sits on a 11,138 square foot lot in the GR district.

At this time we would like to present to the Board a proposal to subdivide into 2 lots consisting of 5827 and 5311 square feet each and improve the two lots with two single family 4 bedroom, 3 full and 1 half-bath colonial style homes of approx. 2000 square feet above ground and 1000 square feet below grade each in a 2-story residence. The new homes will also be professionally landscaped with a 1-car garage.

Upon our research, these homes to be built will blend in nicely with the existing neighboring homes.

Currently the neighborhood consists of a mix of single-family homes, 2 unit buildings and townhomes. We have kept the homes to a modest size as not to overwhelm the neighborhood and to be consistent with the neighboring abutters.

We have provided photos of the surrounding residences along with public records for your review. As you can see, these new homes will blend in with the character of the neighborhood and will not adversely impact the areas look.

We are looking forward to working with the board again on a successful project with the board's approval.

Thank you,

Donald Cusano
Donbuiltit@yahoo.com

And

Robert Calnan
BobCalnan@hotmail.com



OFFICE OF COMMUNITY DEVELOPMENT
TOWN OF BELMONT

19 Moore Street
Homer Municipal Building
Belmont, Massachusetts 02478-0900

Telephone: (617) 993-2650 Fax: (617) 993-2651

Building Division
(617) 993-2664
Engineering Division
(617) 993-2665
Planning Division
(617) 993-2666

April 8, 2022

Bob Calnan
166 Circle Drive
Waltham, MA

RE: Denial to Construct Two Single-Family Dwellings

Dear Mr. Calnan,

The Office of Community Development is in receipt of your building permit application for your proposal for the construction of two single family dwellings at 70 Lexington Street located in the General Residence Zoning District.

Your application has been denied because it does not comply with the Zoning By-Law. More specifically, your application does not conform to Section 6D.6 of the Zoning By-Law, which requires a Special Permit to construct two single-family homes as an alternative to a two-family dwelling.

The 70 Lexington Street existing single family dwelling is currently in the 12 month demolition delay process and it expires on June 7, 2022.

You may alter your plans to conform to the current Town of Belmont Zoning By-Law and resubmit for a building permit, or you may request one (1) Special from the Planning Board. If you choose this option, please contact the Office of Community Development to schedule an appointment with Robert Hummel, Senior Planner at (617) 993-2650 in order to begin the process. The proposed plans didn't include any Gross Floor Area calculations. Please submit those calculations prior meeting with Town Staff.

Sincerely,
Glenn R. Clancy, P.E.
Inspector of Buildings

Zoning Compliance Check List (Registered Land Surveyor)

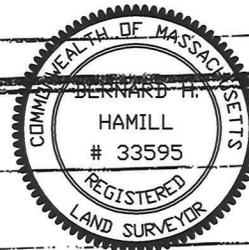
Property Address: 72 SYCAMORE ST.

Zone: GR

Surveyor Signature and Stamp: _____

Date: 3/26/22

	REQUIRED	EXISTING	PROPOSED
Lot Area	4000	N/A	5827
Lot Frontage	45	N/A	65
Floor Area Ratio	---	---	---
Lot Coverage	25%	N/D	22.4%
Open Space	40%	N/D	64.8%
Front Setback	20	N/D	17.8 (AVE)
Side Setback R	10	N/D	---
Side Setback L	10	N/D	12
Rear Setback	20	N/D	40
Building Height	32	N/D	25.9
Stories	2.5	2.5	2.5
½ Story Calculation	99.1 (RIDGE ELEV) - 88.7 (SOFFIT ELEV)/2=5.2 FT (AVE. ROOF) (88.7+5.2) - 68.03 (AVE GRADE)=25.87 FT (HEIGHT)		



NOTES:

Bernard H. Hamill
 26 March 2022

72

PLOT PLAN SYCAMORE STREET BELMONT, MA

72 SYCAMORE ST.
COVERAGE

30% OF 5827 SF = 1748 SF
PRO. HOUSE + GARAGE = 1308 SF OR 22.45%
DRIVEWAY AREA = 753 SF OR 12.93%
OPEN SPACE = 64.62%

AVE. YARD SETBACK

SYCAMORE $(7.9 + 20)/2 = 13.95$ FT
LEXINGTON ST. $(13.8 + 20)/2 = 16.9$ FT

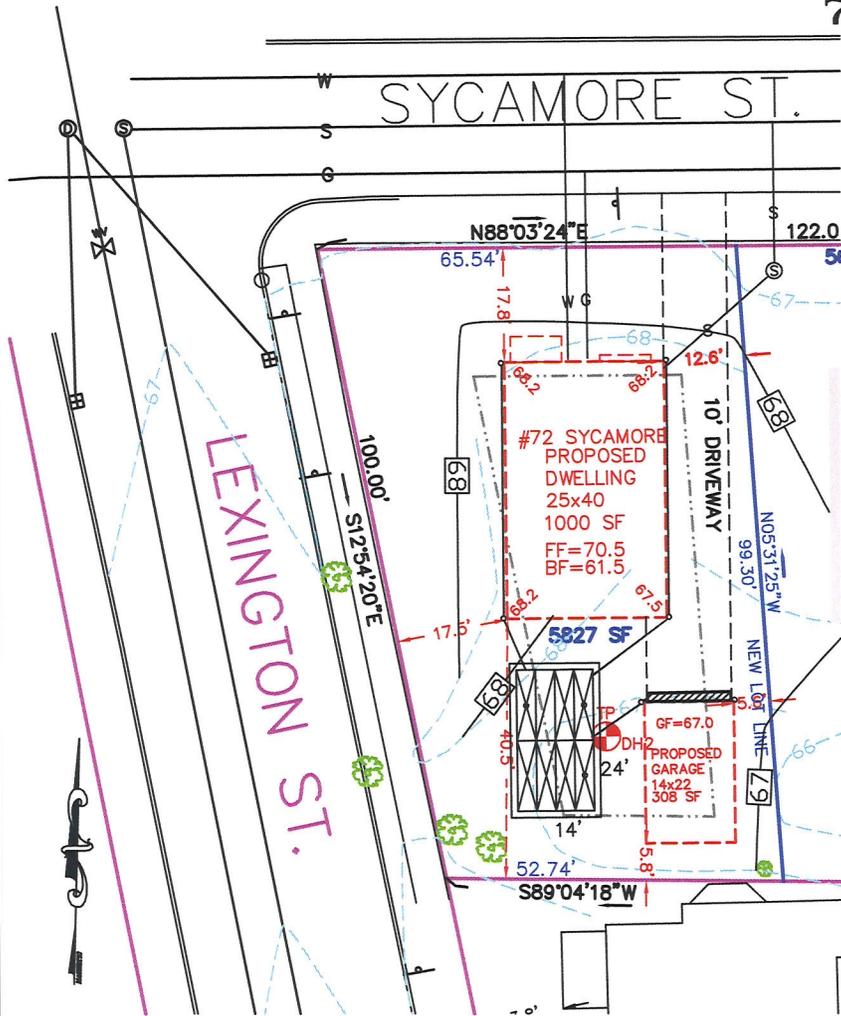
EXISTING 2 FAMILY DWELLING
70 LEXINGTON ST.

OWNER: LEXINGTON SYCAMORE LLC
LOCATION: 72 SYCAMORE ST., BELMONT, MA

APPLICATION #: _____



Bernard H. Hamill



SITE PLAN
SCALE: 1" = 30 FT

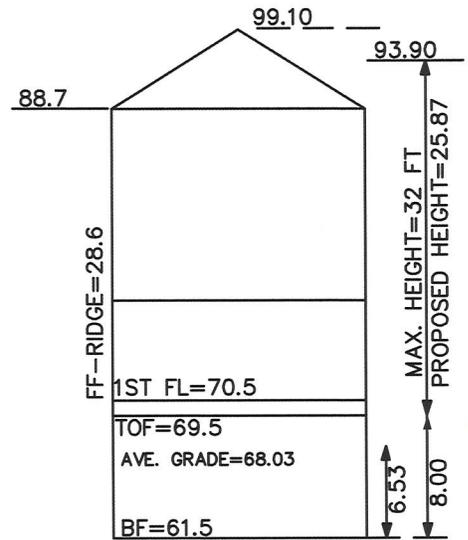
GRAPHIC SCALE



(IN FEET)

1 inch = 30 ft.

EXISTING DWELLING NOT SHOWN.
ZONING DISTRICT: R



HOUSE PROFILE
NTS

FOUNDATION BELOW GRADE
40% MIN.
PERCENTAGE BELOW GRADE
= 6.53 FT / 8.0 FT = 81%

DATE: 26 MARCH 2022

REFERENCE:

- SUBJECT TO EASEMENTS AND/OR RESTRICTIONS AS SHOWN AND/OR RECORDED.
- ASSESSORS MAP 28 PARCEL 171
- DEED BOOK 79026 PAGE 589 MSRD.
- LC PLAN 12498A MSRD.
- PLAN BOOK 6 PLAN 36 MSRD.
- PLAN 148 OF 1954 MSRD.
- PLAN 1419A OF 1983 MSRD.
- PLAN 920 OF 1972 MSRD.
- PLAN 943 OF 1977 MSRD.
- PLAN 1011 OF 1994 MSRD.

NOTE:

BUILDING LOCATION AND OFFSETS SHOWN ARE SPECIFICALLY FOR ZONING DETERMINATION ONLY AND NOT TO BE USED TO ESTABLISH PROPERTY LINES.

CERTIFICATION:

- PLAN WAS COMPILED FROM EXISTING PLANS IN ACCORDANCE WITH THE TECHNICAL STANDARDS FOR FOUNDATION INSPECTIONS AS ADOPTED BY THE MASSACHUSETTS ASSOCIATION OF LAND SURVEYORS AND CIVIL ENGINEERS.
- A. THE BUILDING CONFORMS TO THE DIMENSIONAL REQUIREMENTS OF THE ZONING BYLAWS OF THE TOWN OF BELMONT, MA. LOT IS "GRANDFATHERED".
- B. THE BUILDING IS NOT IN THE 100 YEAR FLOOD PLAIN. FEMA MAP #2501700414E DATED 4 JUNE 2010.

PREPARED FOR:

LEXINGTON SYCAMORE LLC
166 CIRCLE DR.
WALTHAM, MA

PREPARED BY:

H-STAR ENGINEERING
200 GREENVILLE ROAD
NEW IPSWICH, NH 03071
(978) 973-3078
(EMAIL: HSTAR@ATT.NET)



70







GENERAL NOTES:

1. IBC = INTERNATIONAL BUILDING CODE, 2015 EDITION. SHALL BE ADHERED TO AND FOLLOWED BY ALL CONTRACTORS AND BUILDERS WORKING ON THE JOB INCLUDING REFERENCED AS TO SCOPE, ADMINISTRATION, APPLICATIONS. IT IS IMPORTANT THAT ALL CONTRACTORS BE COGNIZANT OF THE 9TH EDITION BUILDING CODE ADDRESSING THE DESIGN AND INSTALLATION OF BUILDING SYSTEMS THROUGH REQUIREMENTS EMPHASIZING PERFORMANCE AND REGULATIONS THAT SAFEGUARD THE PUBLIC HEALTH SAFETY AND WELFARE IN THE CONSTRUCTION PROCESS OF BUILDING.

IRC = INTERNATIONAL RESIDENTIAL CODE, 2015 EDITION
ALL SINGLE FAMILY HOUSES, TWO FAMILY HOUSES (DUPLEXES) AND BUILDINGS CONSISTING OF THREE OR MORE TOWNHOUSE UNITS SHALL FOLLOW AND ADHERE TO THIS COMPREHENSIVE CODE. ALL BUILDINGS WITHIN THE SCOPE OF THE IRC ARE LIMITED TO THREE STORIES ABOVE GRADE PLANE. THE GENERAL CONTRACTOR AND ALL OTHER CONTRACTORS SHALL PROVIDE FOR AND PERFORM ALL WORKS IN STRICT ACCORDANCE WITH THE IRC 2015 CODE.

2. SUPERVISION AND CONSTRUCTION PROCEDURES:
THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK USING THE CONTRACTOR'S BEST SKILL AND ATTENTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR AND HAVE CONTROL OVER CONSTRUCTION MEANS, TECHNIQUES, SEQUENCES, PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT, UNLESS THE CONTRACT DOCUMENTS GIVE OTHER SPECIFIC INSTRUCTIONS CONCERNING THESE MATTERS.

IF THE CONTRACT DOCUMENTS GIVE SPECIFIC INSTRUCTIONS CONCERNING CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, THE CONTRACTOR SHALL EVALUATE THE JOB SITE SAFETY THEREOF AND, EXCEPT AS STATED BELOW, SHALL BE FULLY AND SOLELY RESPONSIBLE FOR THE JOB SITE SAFETY OF SUCH MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES. IF THE CONTRACTOR DETERMINES THAT SUCH MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES MAY NOT BE SAFE THE CONTRACTOR SHALL GIVE TIMELY WRITTEN NOTICE TO THE OWNER AND ENGINEER AND SHALL NOT PROCEED WITH THAT PORTION OF THE WORK WITHOUT FURTHER WRITTEN INSTRUCTIONS FROM THE ENGINEER. IF THE CONTRACTOR IS THEN INSTRUCTED TO PROCEED WITH THE REQUIRED MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES WITHOUT ACCEPTANCE OF CHANGES PROPOSED BY THE CONTRACTOR, THE OWNER SHALL BE SOLELY RESPONSIBLE FOR ANY RESULTING LOSS OR DAMAGE.

3. ALL CONCRETE SHALL BE A MINIMUM OF 3,000 PSI AT 28 DAYS, 3,500 PSI FOR ALL EXTERIOR CONCRETE WALL, WALKS, SLABS, ETC.
4. ALL FOOTINGS TO REST ON SOLID UNDISTURBED SOIL WITH A MINIMUM CAPACITY OF 1.5 TONS PER SQ. FT. TYPICAL.
5. NO FOOTING SHALL BE PLACED IN WATER.
6. ALL EXTERIOR CONCRETE FOOTINGS CONSTRUCTION SHALL BE CARRIED DOWN A MINIMUM OF 4'-0" BELOW FINISHED EXTERIOR GRADE.
7. ALL FOOTINGS EXCAVATIONS SHALL BE FINISHED BY HAND.
8. MATERIAL ADJACENT TO AND BELOW FOOTING SHALL BE KEPT FROM FREEZING AT ALL TIMES.
9. DOUBLE UP RAFTERS AND JOISTS AROUND ALL OPENINGS.
10. DOUBLE UP JOISTS UNDER ALL PARTITIONS.
11. LVL BEAMS MAY BE USED IN LIEU OF BUILT UP BEAMS, VERIFY ALL BEAMS AND SIZES TYPICAL.
12. GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN FIELD AND VERIFY ALL EXISTING CONDITIONS IN THE FIELD.
13. EXACT GRADES AND ELEVATIONS SHALL BE VERIFIED IN FIELD WITH EXISTING CONDITIONS AND WITH SURVEY-TOPOGRAPHICAL PLAN TYPICAL.
14. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR PROVIDING, FURNISHING AND PROPERLY INSTALLING ALL TEMPORARY SUPPORTS AND BRACING AS NECESSARY TO PREVENT ANY INSTABILITIES DURING CONSTRUCTION. PROPER SUPPORTS, BRACING TEMPORARY SHORING SHALL BE IN PLACE AT ALL TIMES AND ACCORDING TO THE COMMONWEALTH OF MASSACHUSETTS BUILDING CODE, TEMPORARY SHORING MUST NOT REMAIN IN PLACE FOR MORE THAN 180 DAYS AND WILL NEED A PERMIT FROM THE LOCAL AUTHORITY HAVING JURISDICTION. IT IS IMPORTANT TO PROPERLY BRACE, SUPPORT AND SHORE ALL WALLS, PARTITIONS, ROOFS AND OTHER STRUCTURES TO PREVENT ANY INSTABILITY AND/OR COLLAPSE.
15. THE ARCHITECT/ENGINEER ASSUMES NO RESPONSIBILITY FOR THE VALIDITY OF THE SUBSURFACE CONDITIONS DESCRIBED ON THE DRAWINGS, TEST BORINGS, SOIL REPORT OR TEST PIT.
16. THE ENGINEERS IS NOT RESPONSIBLE IN ANY WAY FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, SCHEDULING OF CONSTRUCTION ACTIVITIES-OR FOR JOB SITE SAFETY. THESE DUTIES BELONG WITH THE GENERAL CONTRACTOR WHO HAS CONTROL OF THE JOB SITE AND HAS THE OBLIGATION TO PERFORM AND COORDINATE WITH HIS SUPERINTENDING THE WORK IN ACCORDING TO THE CODE, CONTRACT DOCUMENTS AND ANY HEALTH OR SAFETY PRECAUTIONS REQUIRED BY REGULATORY AGENCIES. THE ENGINEER AND THEIR PERSONNEL HAVE NO AUTHORITY TO EXERCISE ANY CONTROL OVER ANY CONSTRUCTION CONTRACTOR OR THEIR EMPLOYEES IN CONNECTION WITH THEIR WORK OR OR ANY HEALTH OR SAFETY PRECAUTIONS. THE CLIENT AGREES THAT THE GENERAL CONTRACTOR IS SOLELY RESPONSIBLE FOR THE JOB SITE SAFETY AND WARRANTS THAT THIS INTENT SHALL BE CARRIED OUT IN THE CLIENT'S AGREEMENT WITH THE GENERAL CONTRACTOR AND THAT THE ENGINEER WITH THEIR CONSULTANTS BE INDEMNIFIED FOR JOB SITE SAFETY.

17. TYPICAL SMOKE DETECTORS = (S)
HEAT DETECTORS = (H)
CARBON MONOXIDE DETECTORS=(CO)
- ALL UL APPROVED, SMOKE/HEAT DETECTORS SHALL BE IN STRICT ACCORDANCE WITH THE IBC 2015 CODE, ALL AS RELATED TO THE LIFE SAFETY STANDARDS FOR BUILDINGS AS PER THE INTERNATIONAL FIRE CODE.
18. ALL NOTES TYPICAL ALL DRAWINGS.
19. EGRESS/MEANS OF EGRESS SHALL STRICTLY ADHERE AND MEET THE IBC 2015 CODE ITEMS, ALL AS PER SECTION 1030.
20. ALL WINDOW GLASS IS HIGH PERFORMANCE LOW E, MIN. U=0.35 INSULATED GLASS.
21. HANDRAILS AND GUARDS 1607.8.1, CONCENTRATED LOAD 1607.8.1.1
HAND RAILS SHALL BE ABLE TO RESIST A SINGLE CONCENTRATED LOAD OF 200 POUNDS APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE TOP.
"HANDRAILS AND GUARDS SHALL BE DESIGNED TO RESIST A CONCENTRATED LOAD OF 200 POUNDS IN ACCORDANCE WITH SECTION 4.5.1 OF ASCE 7."
22. IT IS IMPORTANT THAT ALL CONTRACTORS VISIT AND BE FAMILIAR WITH THE SITE, THE TOPOGRAPHICAL CONDITIONS, THE LAND, THE ORIENTATIONS, ALL THE EXISTING CONDITIONS IN REFERENCE TO ANY PROPOSED REVISIONS AS MAY BE DESIGNATED ON THE PLANS. THIS INCLUDES ANY EXISTING BUILDING AND OR HOUSE OR MULTIPLE STRUCTURES. IT IS IMPORTANT THAT THE GENERAL CONTRACTOR AND ALL THE CONTRACTORS HAVE A CLEAR UNDERSTANDING OF THE EXISTING CONDITIONS OF THE SITE AND ANY EXISTING BUILDING ALL IN REFERENCE TO THE WORK THAT IS TO BE DONE AND ACCOMPLISHED. SHOULD ANY DISCREPANCIES BE FOUND THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE ENGINEER OF THEIR FINDINGS.

DRAWING LIST

HOUSE

- A-1 FOUNDATION PLAN
- A-2 FIRST FLOOR PLAN
- A-3 SECOND FLOOR PLAN
- A-4 FRONT AND REAR ELEVATIONS
- A-5 RIGHT ELEVATION
- A-6 LEFT ELEVATION
- A-7 BUILDING SECTION
- F-1 FIRST AND SECOND FLOOR FRAMING PLANS
- F-2 ATTIC AND ROOF FRAMING PLANS

GARAGE

- G-1 GARAGE PLANS
- G-2 GARAGE ELEVATIONS
- G-3 GARAGE SECTION AND DETAIL
- G-4 GARAGE FRAMING PLANS

LEGEND

- (S) SMOKE DETECTOR
- (H) HEAT DETECTOR
- (CO) CARBON MONOXIDE DETECTOR
-  CONCRETE
-  BATT INSULATION
-  DOOR
-  GLAZING
- HIDDEN LINE
- R1  RECESSED LIGHT FIXTURE

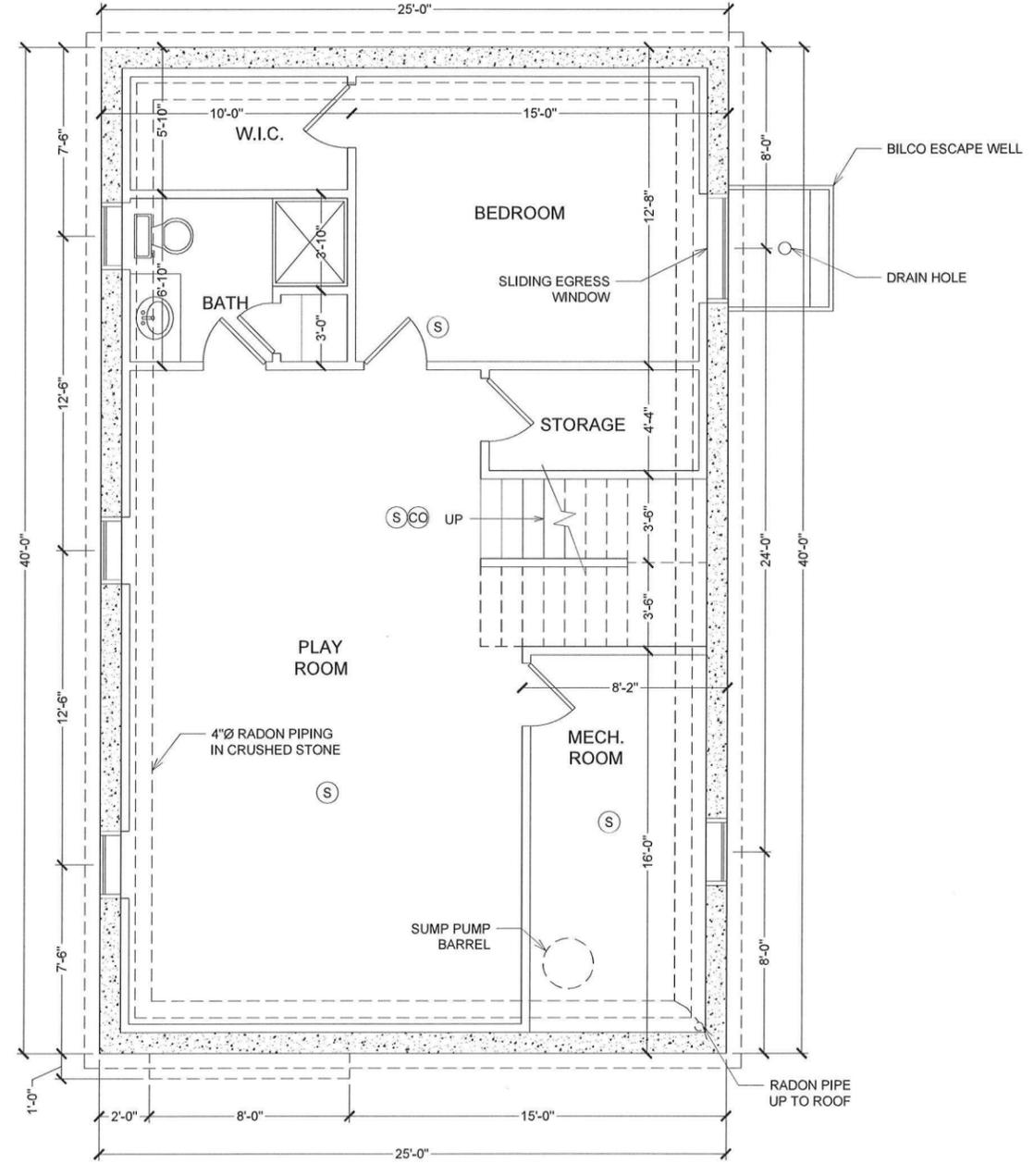
T-1

REVISIONS	DATE

DATE: 2/22/2022
SCALE: 1/4" = 1'-0"
CONSTRUCTION DOCUMENTS

TITLE SHEET

PROJECT: SYCAMORE LEXINGTON LLC.
72 SYCAMORE ST.
BELMONT, MA



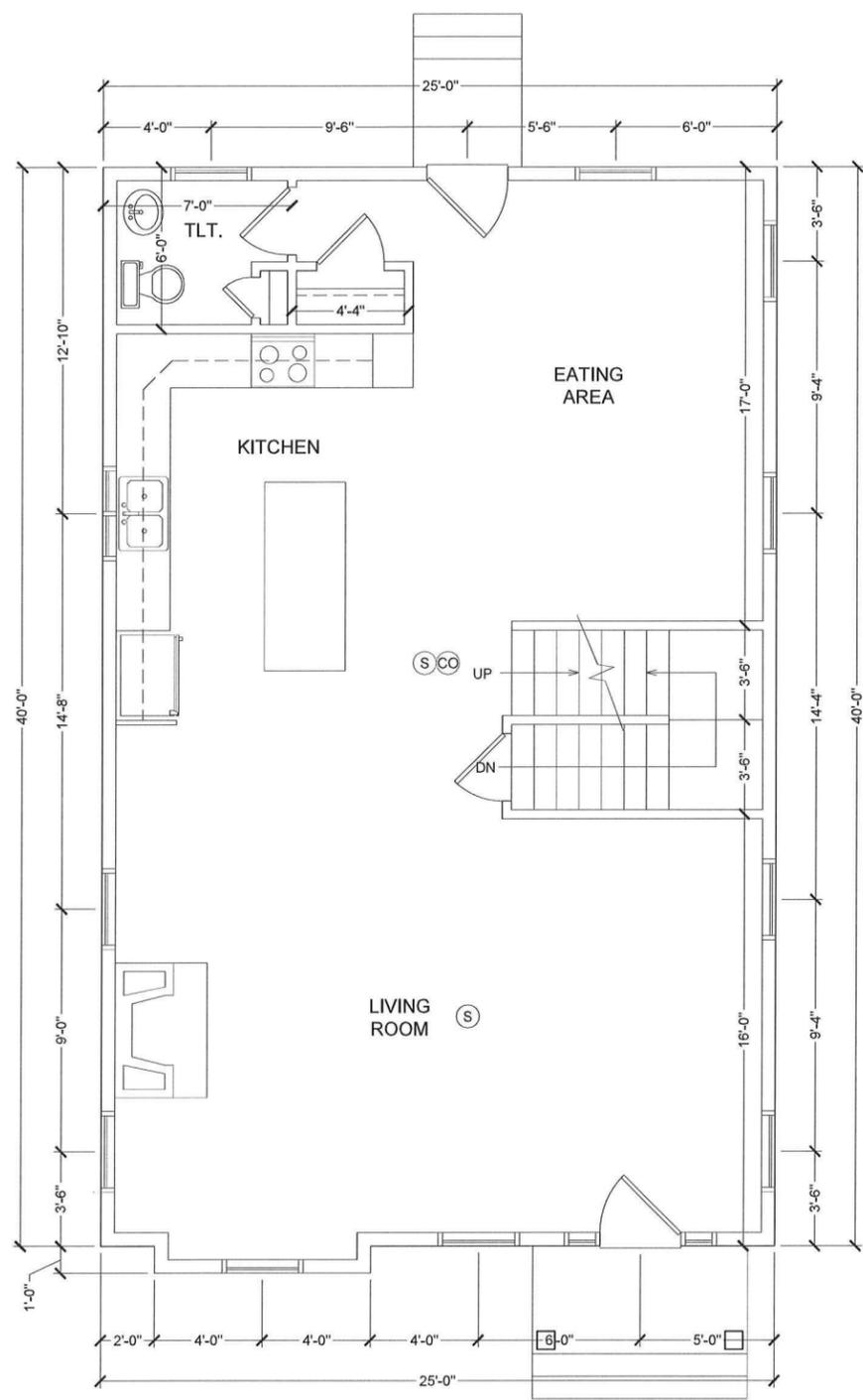
FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

PROJECT: SYCAMORE LEXINGTON LLC.
72 SYCAMORE ST.
BELMONT, MA

**FOUNDATION
PLAN**

DATE: 2/22/2022
SCALE: 1/4" = 1'-0"
CONSTRUCTION DOCUMENTS

REVISIONS	DATE



FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

PROJECT: SYCAMORE LEXINGTON LLC.
72 SYCAMORE ST.
BELMONT, MA

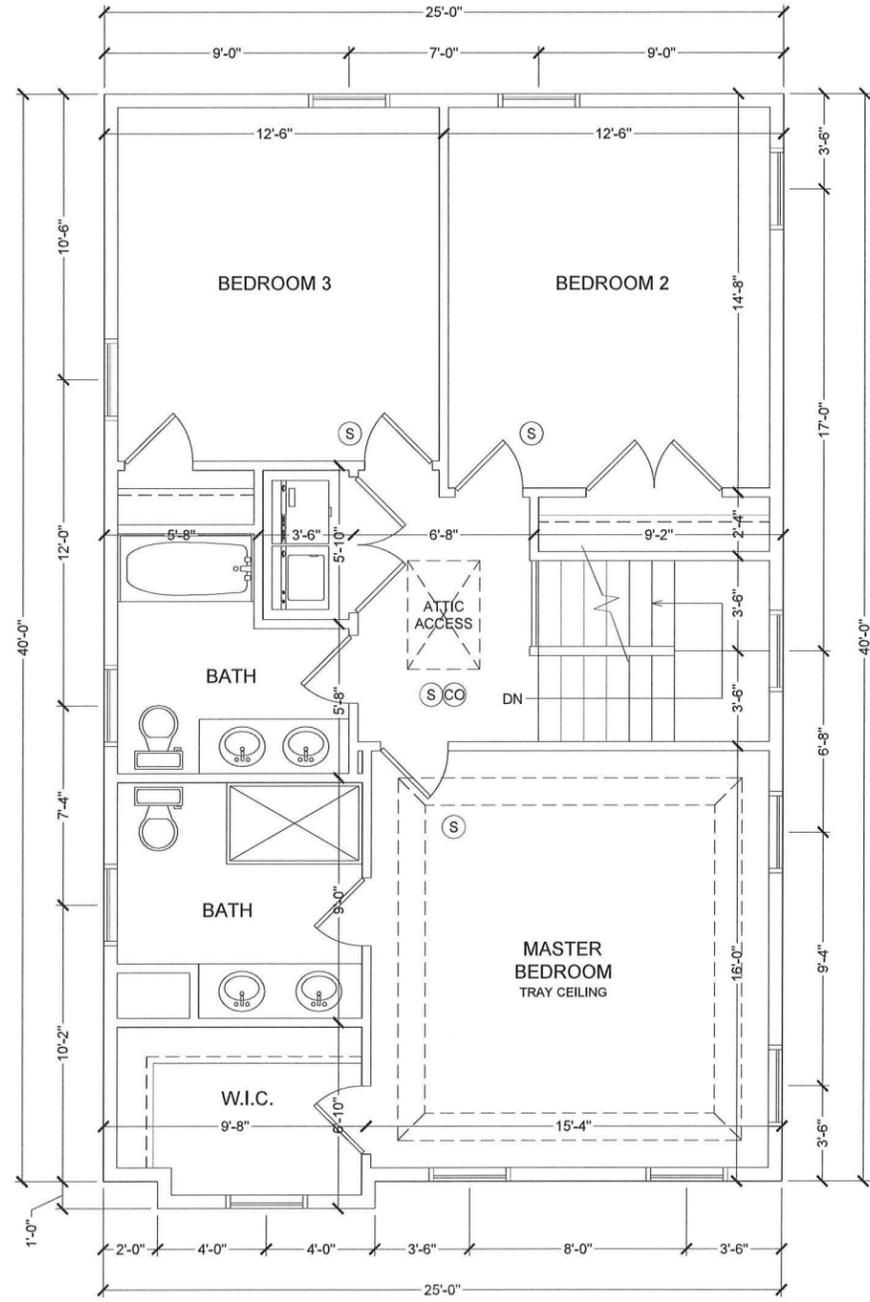
FIRST FLOOR PLAN

DATE: 2/22/2022
SCALE: 1/4" = 1'-0"
CONSTRUCTION DOCUMENTS

REVISIONS

DATE

A-2



SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

PROJECT: SYCAMORE LEXINGTON LLC.
72 SYCAMORE ST.
BELMONT, MA

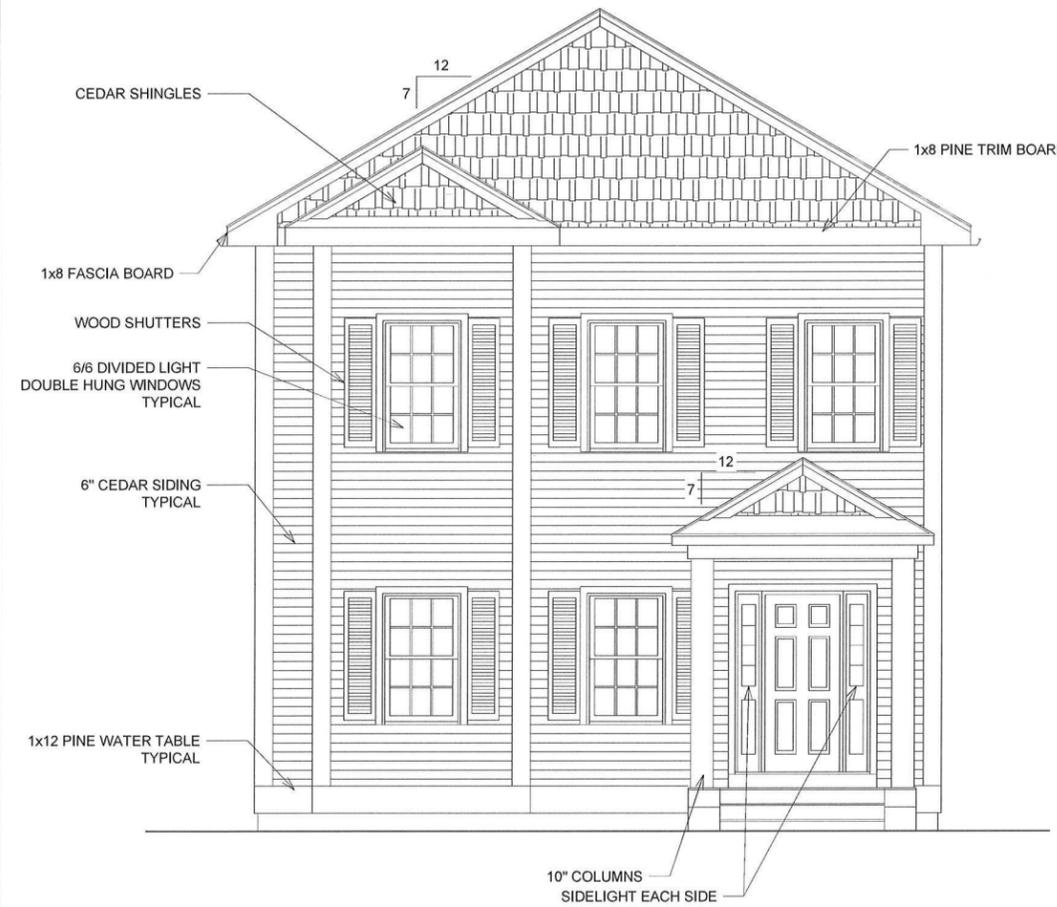
SECOND FLOOR PLAN

DATE: 2/22/2022
SCALE: 1/4" = 1'-0"
CONSTRUCTION DOCUMENTS

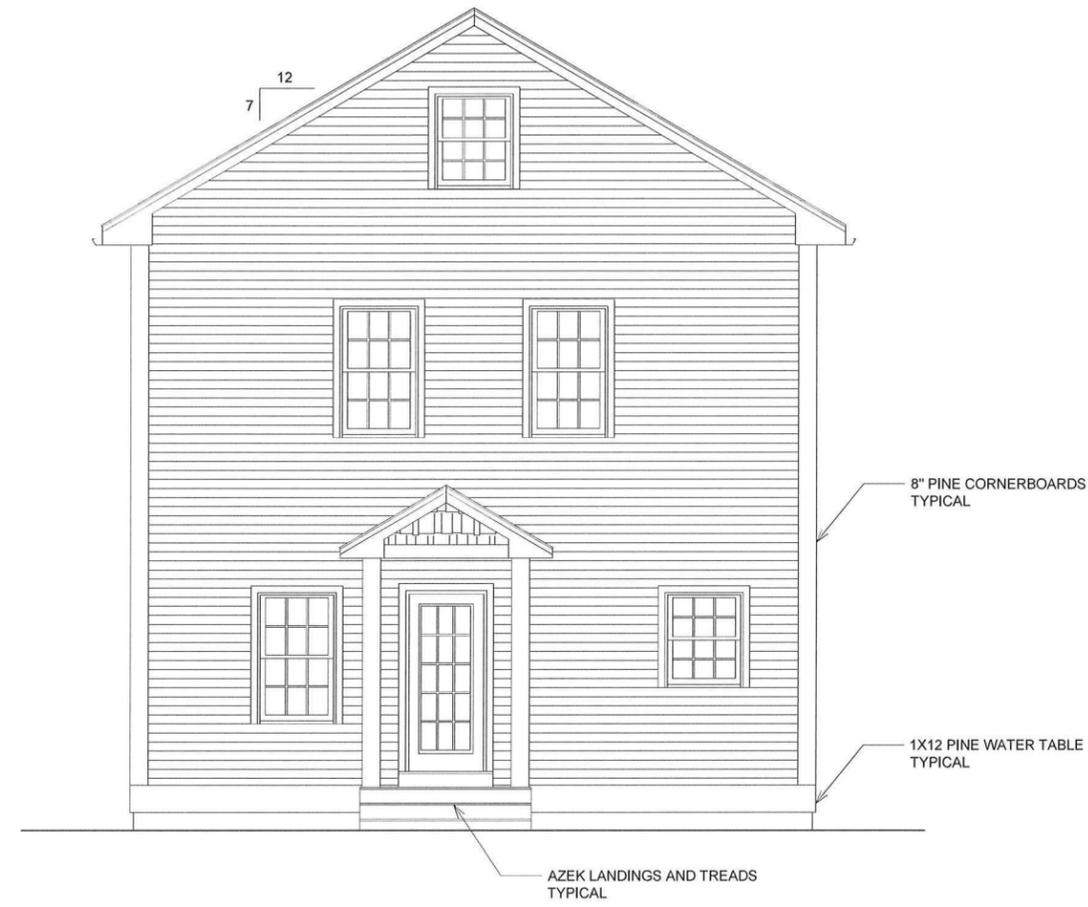
REVISIONS

DATE

A-3



FRONT ELEVATION
SCALE: 1/4" = 1'-0"



REAR ELEVATION
SCALE: 1/4" = 1'-0"

REVISIONS	DATE

DATE: 2/22/2022
SCALE: 1/4" = 1'-0"
CONSTRUCTION DOCUMENTS

**FRONT AND REAR
ELEVATIONS**

PROJECT: SYCAMORE LEXINGTON LLC.
72 SYCAMORE ST.
BELMONT, MA



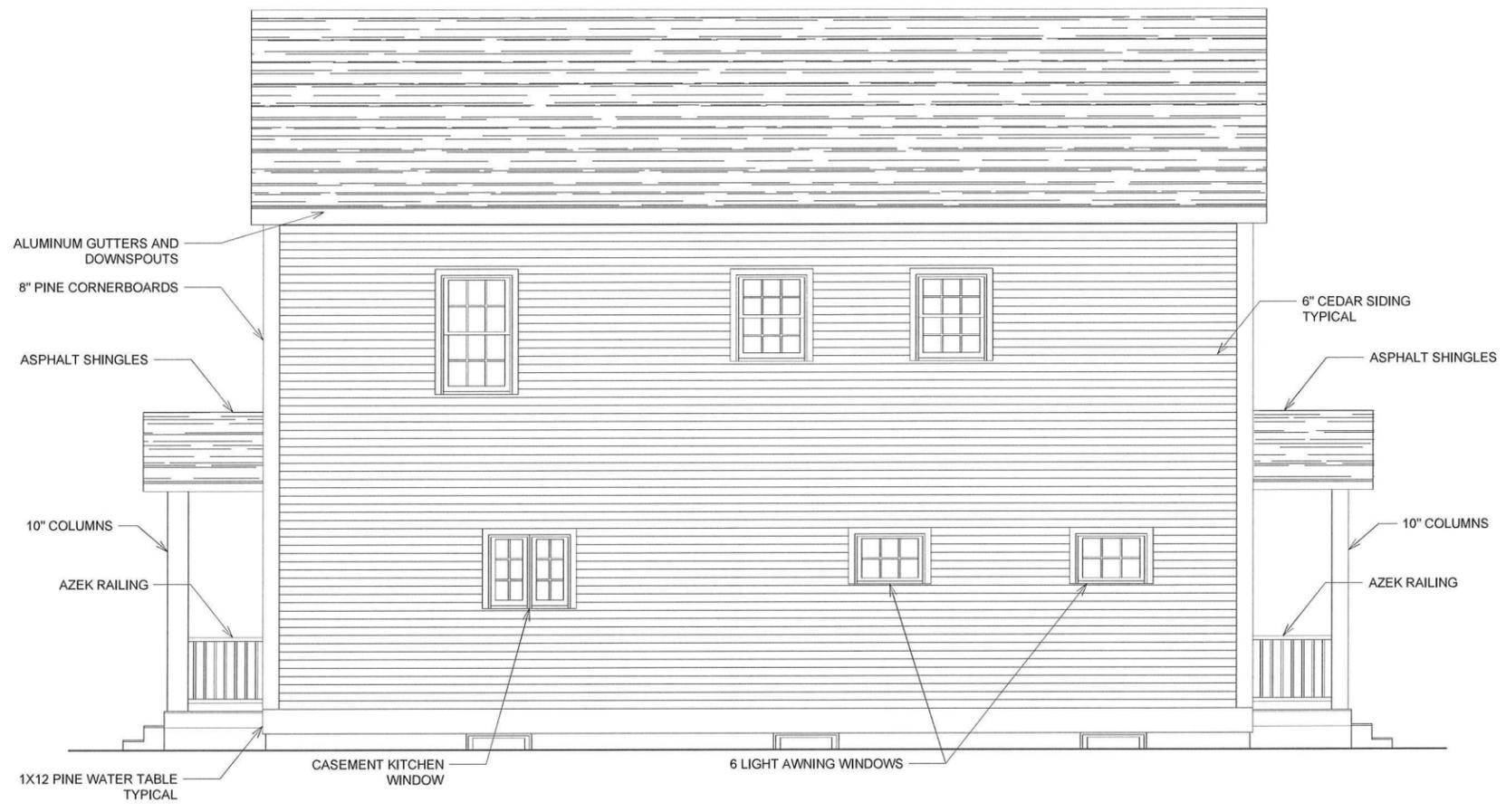
RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

REVISIONS	DATE

DATE : 2/22/2022
SCALE : 1/4" = 1'-0"
CONSTRUCTION DOCUMENTS

**RIGHT
ELEVATION**

PROJECT: SYCAMORE LEXINGTON LLC.
72 SYCAMORE ST.
BELMONT, MA



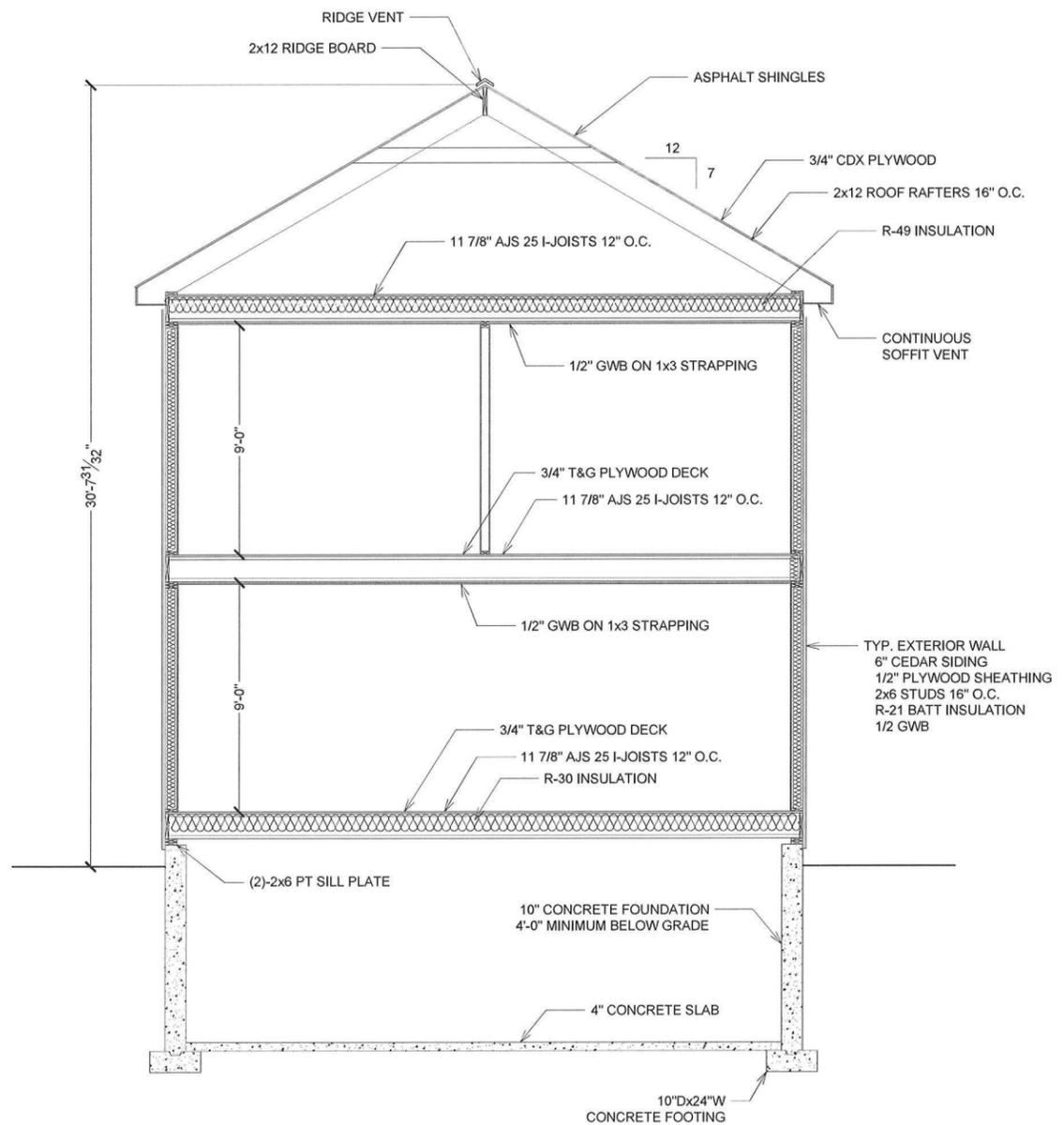
LEFT ELEVATION
SCALE: 1/4" = 1'-0"

REVISIONS	DATE

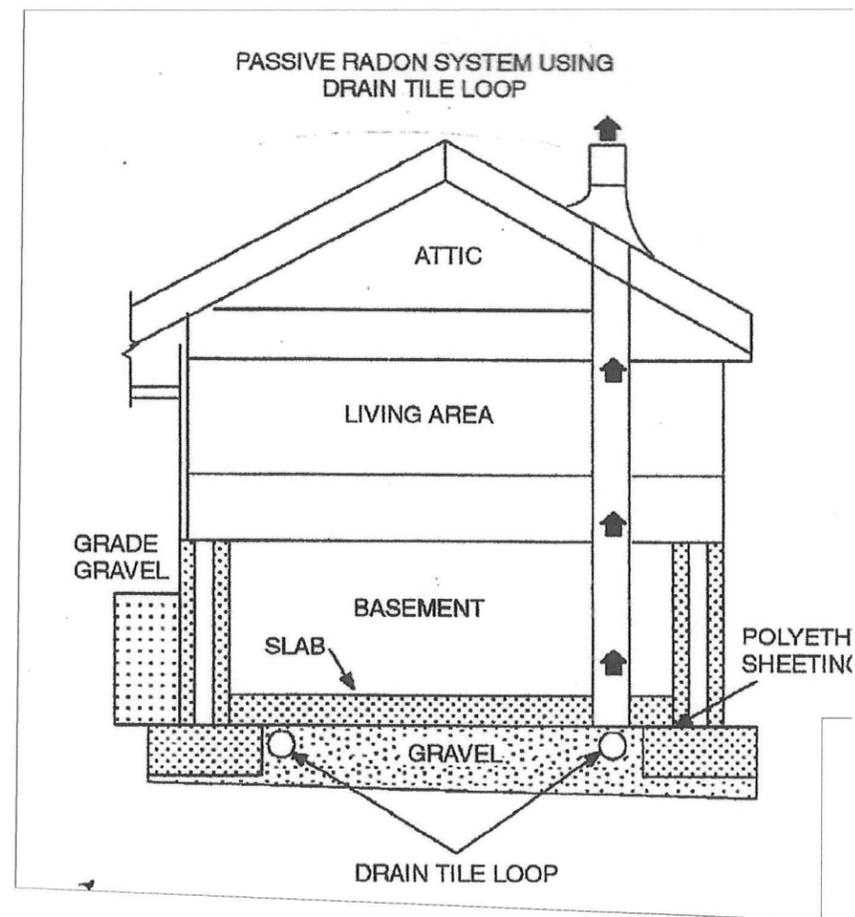
DATE: 2/22/2022
SCALE: 1/4" = 1'-0"
CONSTRUCTION DOCUMENTS

**LEFT
ELEVATION**

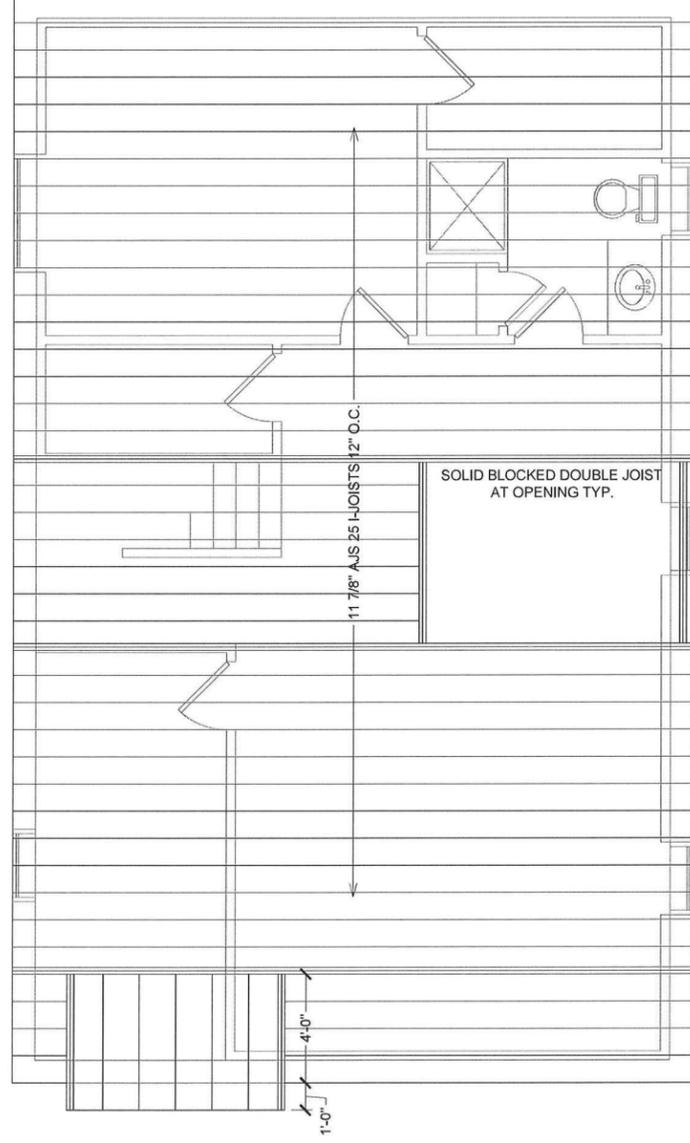
PROJECT: SYCAMORE LEXINGTON LLC.
72 SYCAMORE ST.
BELMONT, MA



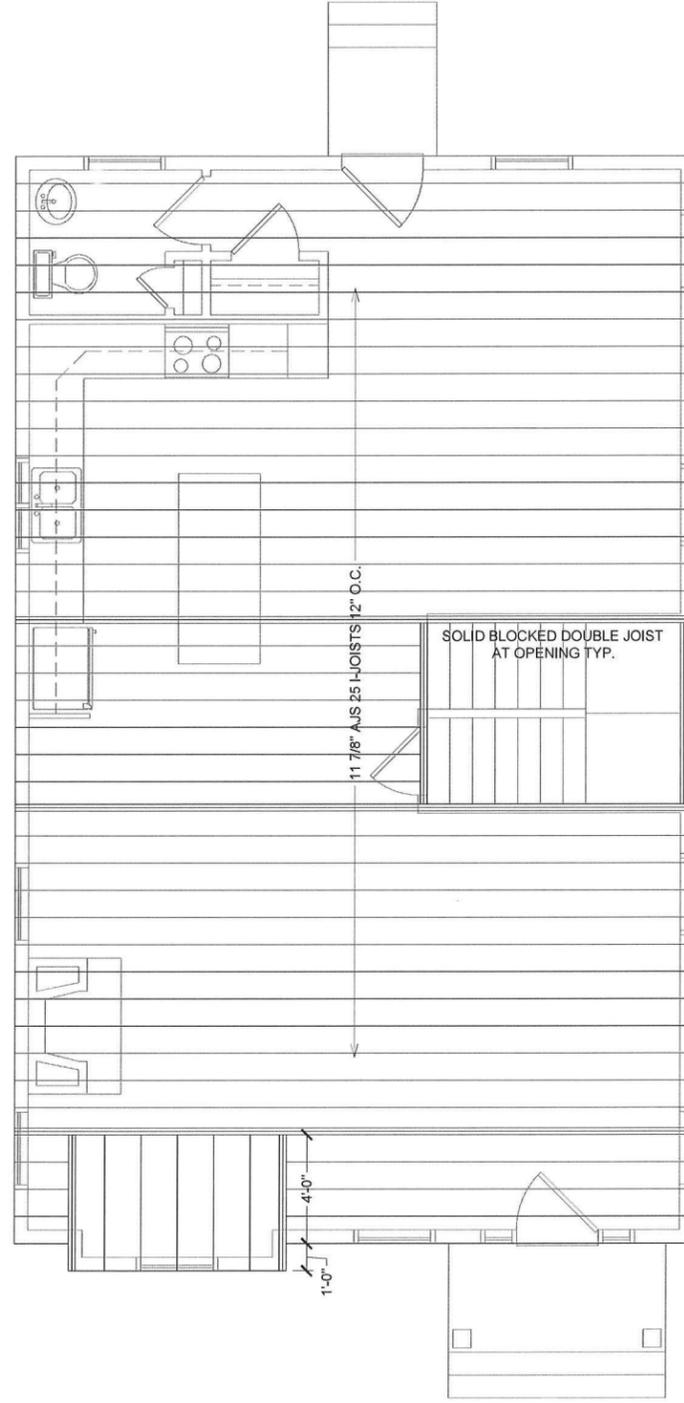
BUILDING SECTION
SCALE: 1/4" = 1'-0"



A-7	
	DATE
	REVISIONS
DATE: 2/22/2022 SCALE: 1/4" = 1'-0"	
CONSTRUCTION DOCUMENTS	
BUILDING SECTION	
PROJECT: SYCAMORE LEXINGTON LLC. 72 SYCAMORE ST. BELMONT, MA	



FIRST FLOOR FRAMING PLAN
SCALE: 1/4" = 1'-0"



SECOND FLOOR FRAMING PLAN
SCALE: 1/4" = 1'-0"

PROJECT: SYCAMORE LEXINGTON LLC.
72 SYCAMORE ST.
BELMONT, MA

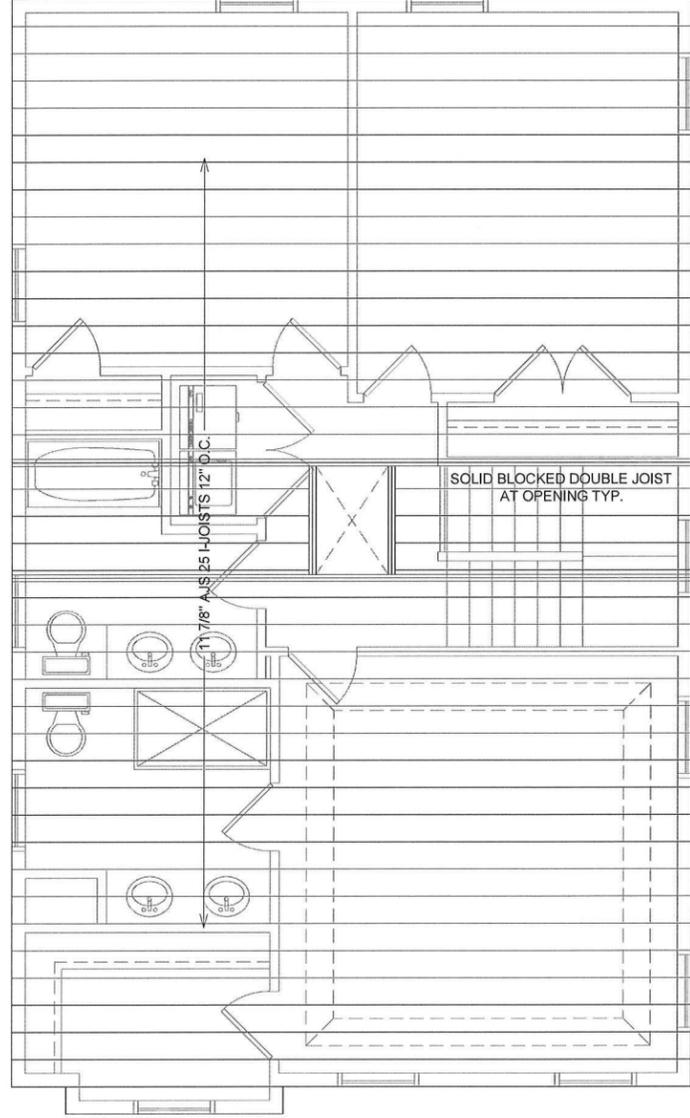
**FIRST AND SECOND
FLOOR FRAMING
PLANS**

DATE: 2/22/2022
SCALE: 1/4" = 1'-0"
CONSTRUCTION DOCUMENTS

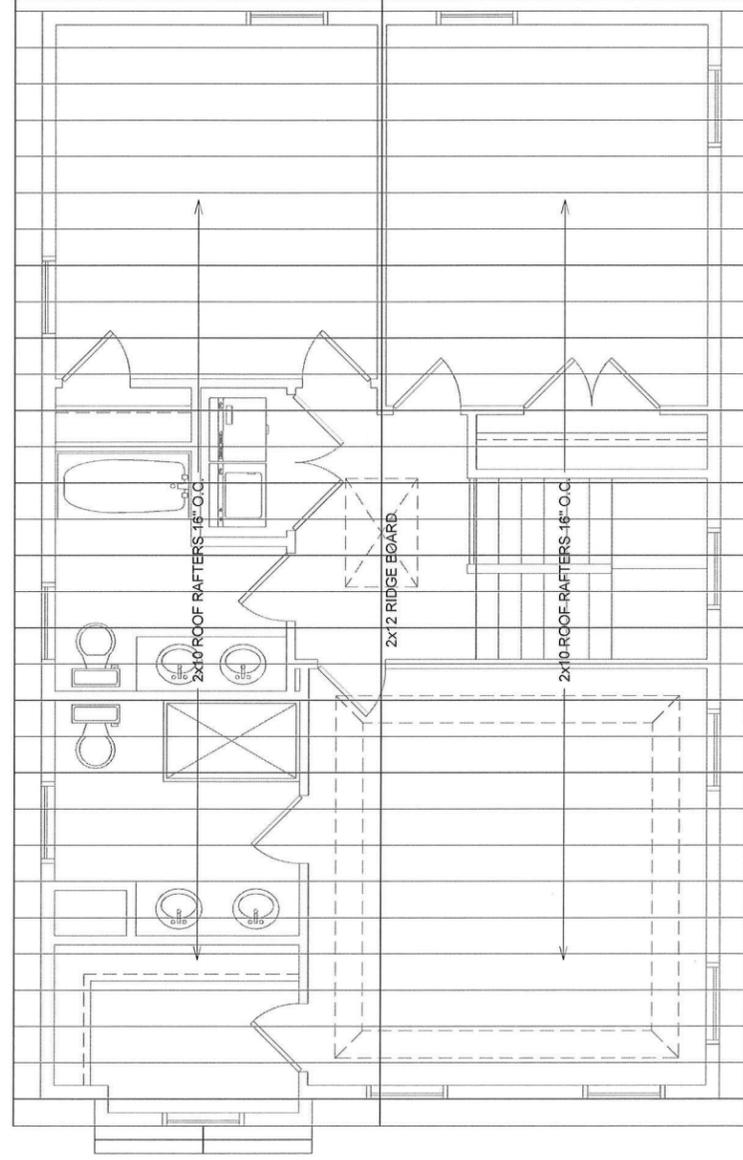
REVISIONS

DATE

F-1



ATTIC FLOOR FRAMING PLAN
SCALE: 1/4" = 1'-0"



ROOF FRAMING PLAN
SCALE: 1/4" = 1'-0"

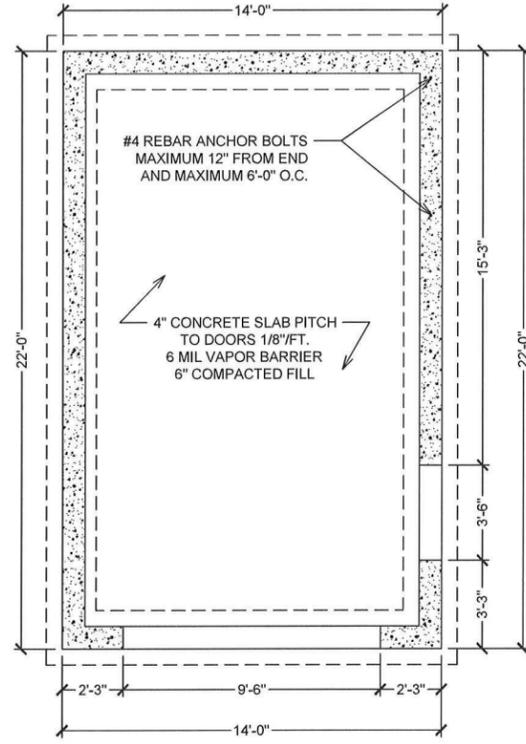
PROJECT: SYCAMORE LEXINGTON LLC.
72 SYCAMORE ST.
BELMONT, MA

**ATTIC AND ROOF
FRAMING PLANS**

DATE: 2/22/2022
SCALE: 1/4" = 1'-0"
CONSTRUCTION DOCUMENTS

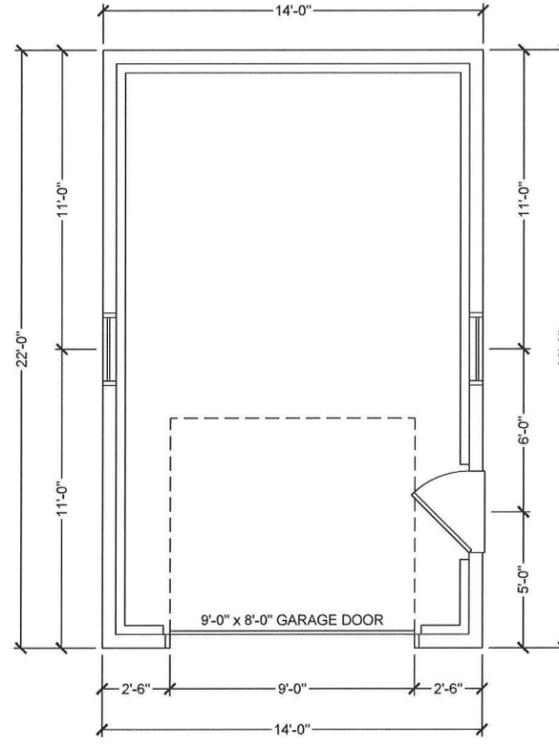
REVISIONS

DATE



FOUNDATION PLAN

SCALE: 1/4" = 1'-0"



FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

PROJECT: SYCAMORE LEXINGTON LLC.
72 SYCAMORE ST.
BELMONT, MA

GARAGE PLANS

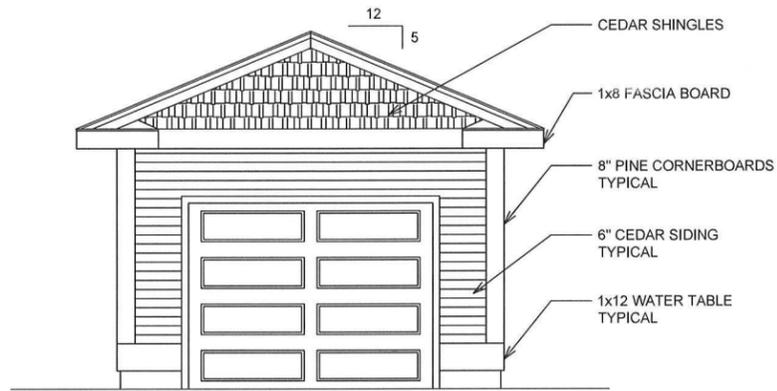
DATE: 2/22/2022
SCALE: 1/4" = 1'-0"

CONSTRUCTION DOCUMENTS

REVISIONS

DATE

G-1



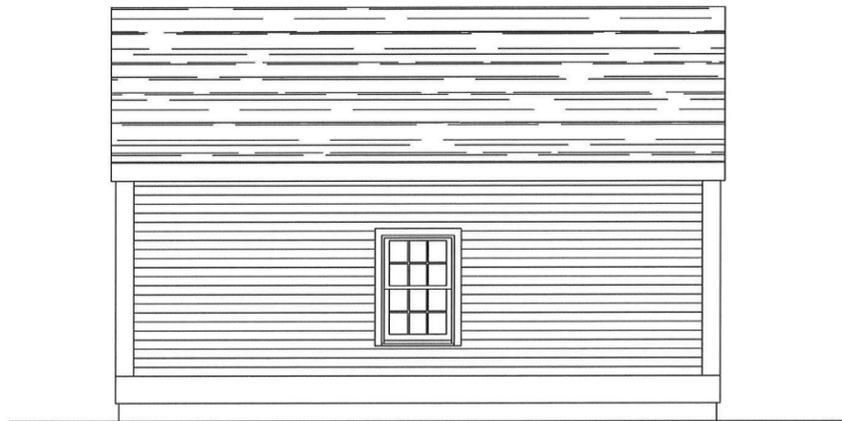
FRONT ELEVATION

SCALE: 1/4" = 1'-0"



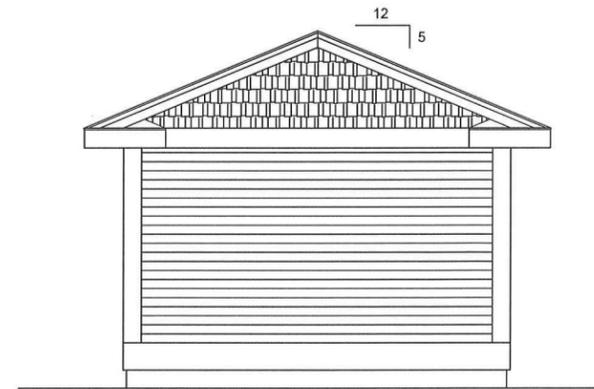
RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



LEFT ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"

G-2	
DATE	
REVISIONS	
DATE : 2/22/2022	CONSTRUCTION DOCUMENTS
SCALE : 1/4" = 1'-0"	
ELEVATIONS	
PROJECT: SYCAMORE LEXINGTON LLC. 72 SYCAMORE ST. BELMONT, MA	

DATE

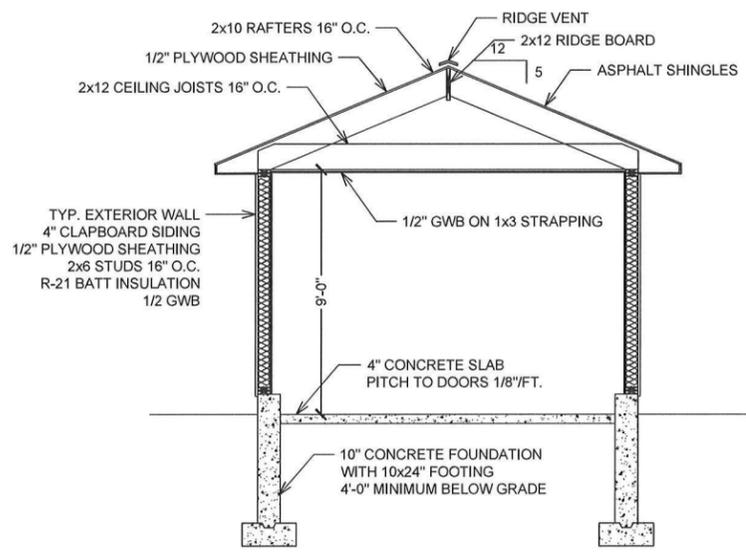
REVISIONS

DATE: 2/22/2022
SCALE: 1/4" = 1'-0"

CONSTRUCTION DOCUMENTS

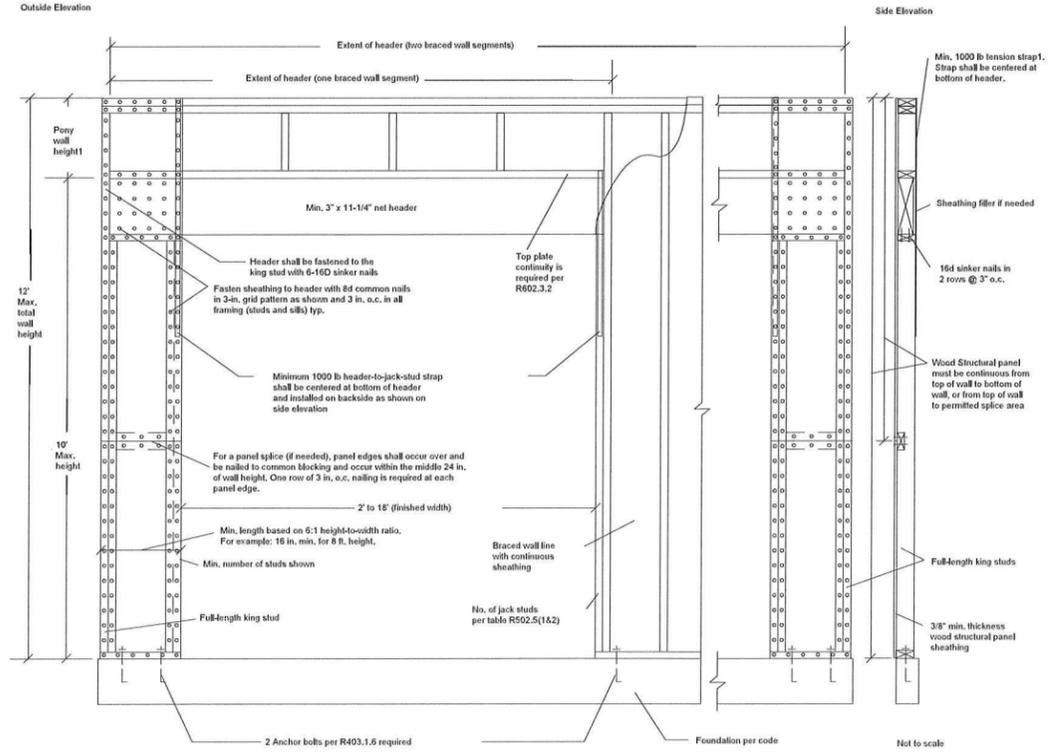
BUILDING SECTION AND DETAIL

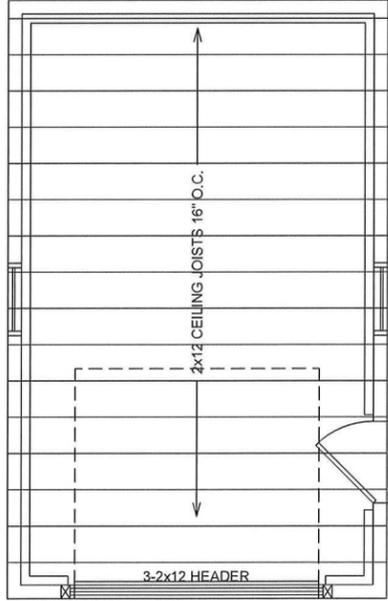
PROJECT: SYCAMORE LEXINGTON LLC.
72 SYCAMORE ST.
BELMONT, MA



BUILDING SECTION
SCALE: 1/4" = 1'-0"

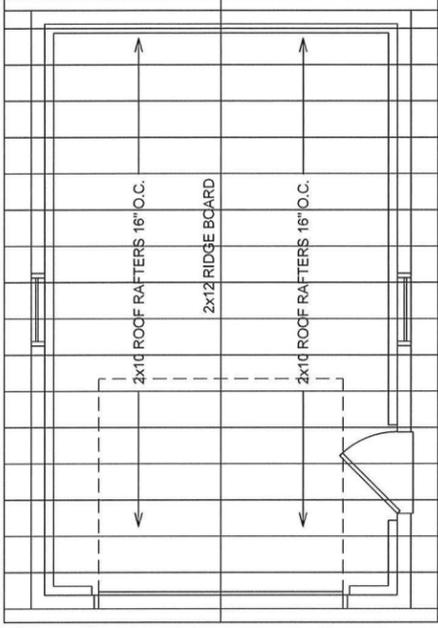
OVER CONCRETE OR MASONRY BLOCK FOUNDATION





CEILING FRAMING PLAN

SCALE: 1/4" = 1'-0"



ROOF FRAMING PLAN

SCALE: 1/4" = 1'-0"

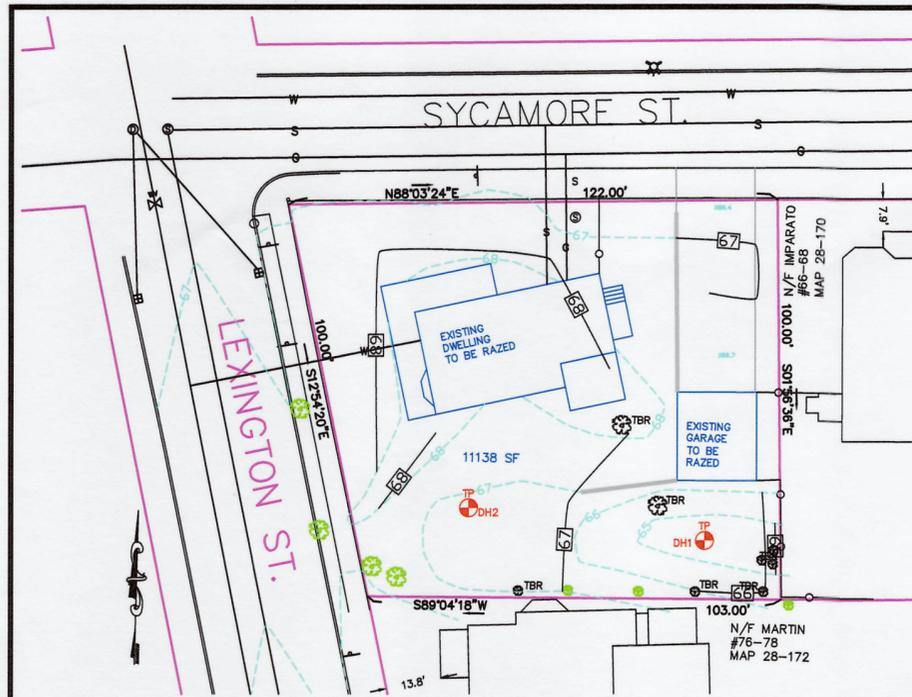
PROJECT: SYCAMORE LEXINGTON LLC.
72 SYCAMORE ST.
BELMONT, MA

**GARAGE
FRAMING PLANS**

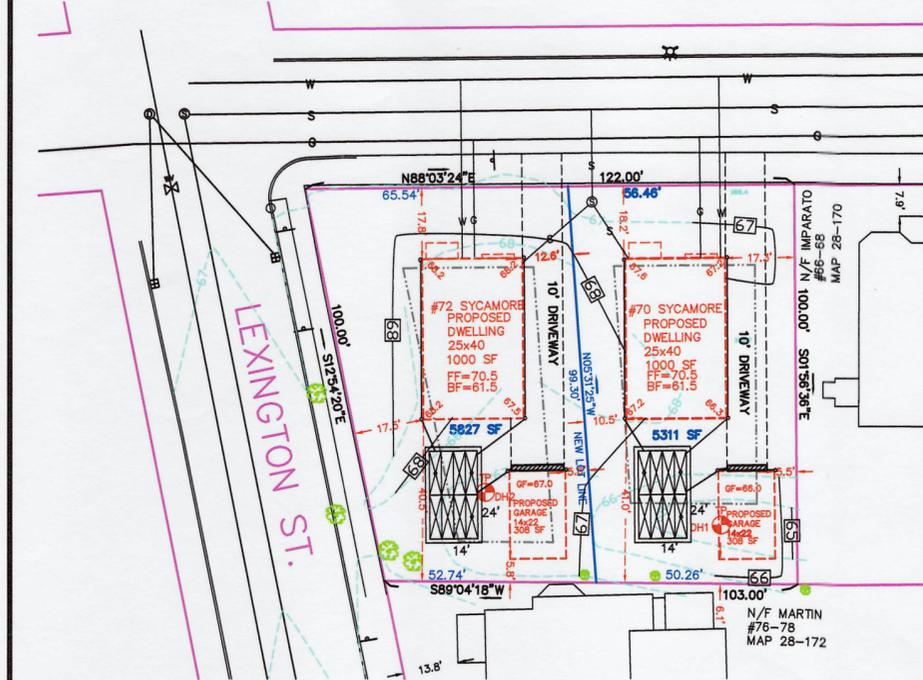
DATE: 2/22/2022
SCALE: 1/4" = 1'-0"
CONSTRUCTION DOCUMENTS

REVISIONS

DATE



EXISTING SITE
1"=30 FT



PROPOSED SITE
1"=30 FT

EXISTING 2 FAMILY DWELLING
70 LEXINGTON ST.

OWNER: 70 LEXINGTON ST. LLC
LOCATION: 70 LEXINGTON ST., BELMONT, MA

70 SYCAMORE ST.
COVERAGE
30% OF 5311 SF = 1593 SF
PRO. HOUSE + GARAGE = 1308 SF OR 24.47%
DRIVEWAY AREA = 715 SF OR 13.47%
OPEN SPACE = 82.06%

72 SYCAMORE ST.
COVERAGE
30% OF 5827 SF = 1748 SF
PRO. HOUSE + GARAGE = 1308 SF OR 22.45%
DRIVEWAY AREA = 753 SF OR 12.93%
OPEN SPACE = 64.62%

AVE. YARD SETBACK
SYCAMORE ST. (7.9 + 20)/2 = 13.95 FT

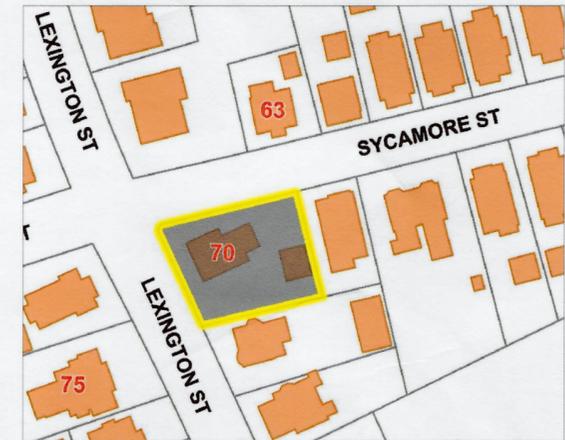
AVE. YARD SETBACK
SYCAMORE ST. (7.9 + 20)/2 = 13.95 FT
LEXINGTON ST. (13.8 + 20)/2 = 16.9 FT

ZONING DISTRICT: GR
ZONING DIMENSIONS

LOT REQUIREMENTS	REQUIRED	EXISTING	PROPOSED SYCAMORE #70	ST. #72
1. AREA (SF/DU) (2 FAMILY)	3500	11138	---	---
AREA (SF) (1 FAMILY)	5000	---	5311	5827
2. WIDTH (FT) (REAR BLDG LINE)	45	---	52	58
3. DEPTH (FT)	---	---	---	---
4. FRONTAGE (FT)	70	100	56	65
5. FRONT SETBACK (SYCAMORE) (FT)	13.95	15.3	18.2	17.8
(LEXINGTON) (FT)	16.90	18.4	---	17.5
6. SIDE SETBACK (FEET)	10	38	10.5	12.3
7. REAR SETBACK (FEET)	20	N/D	41	40
LOT DEPTH (100'+; 20%)	22'	N/D	100	98
8. COVERAGE	30%	18%	24%+	22%+
OPEN SPACE	40%	77%	62%	64%
9. HEIGHT (FEET) MAX.	33	N/D	26.8	25.9
10. STORIES	2.5	2.5	2.5	2.5

PLOT PLAN

70 & 72 SYCAMORE ST. BELMONT, MA



LOCUS PLAN
1"=100 FT

REFERENCE:

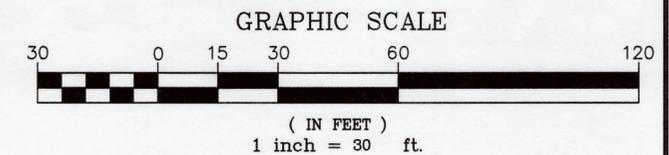
SUBJECT TO EASEMENTS AND/OR
RESTRICTIONS AS SHOWN AND/OR RECORDED.
ASSESSORS MAP 28 PARCEL 171
PLAN 943 OF 1977 MSRD.
PLAN 920 OF 1977 MSRD.
PLAN 1419 OF 1983 MSRD.
DEED BOOK 79026 PAGE 589 MSRD.
PLAN BOOK 6 PAGE 36 MSRD.
PLAN 1011 OF 1999 MSRD.
L.C. PLAN 12498A MSRD.

NOTE:

BUILDING LOCATION AND OFFSETS SHOWN ARE SPECIFICALLY
FOR ZONING DETERMINATION ONLY AND NOT TO BE USED TO
ESTABLISH PROPERTY LINES.

CERTIFICATION:

PLAN WAS COMPILED FROM EXISTING PLANS IN ACCORDANCE
WITH THE TECHNICAL STANDARDS FOR FOUNDATION
INSPECTIONS AS ADOPTED BY THE MASSACHUSETTS
ASSOCIATION OF LAND SURVEYORS AND CIVIL ENGINEERS.
A. THE BUILDING CONFORMS TO THE DIMENSIONAL
REQUIREMENTS OF THE ZONING BYLAWS OF THE TOWN
OF BELMONT, MA. LOT IS "GRANDFATHERED".
B. THE BUILDING IS NOT IN THE 100 YEAR FLOOD PLAIN.
FEMA MAP #2501700414E DATED 4 JUNE 2010.



DATE: 25 MARCH 2022

CERTIFICATION:

I HEREBY CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMITY
WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS
OF THE COMMONWEALTH OF MASSACHUSETTS.
I HEREBY CERTIFY THAT THE PROPERTY LINES SHOWN ON THIS PLAN
ARE THE DIVIDING LINES OF EXISTING OWNERSHIP AND THE LINES OF
THE STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS
OR WAYS ALREADY ESTABLISHED AND THAT NO NEW LINES FOR THE DIVISION OF
EXISTING OWNERSHIP OR FOR NEW WAYS ARE SHOWN.



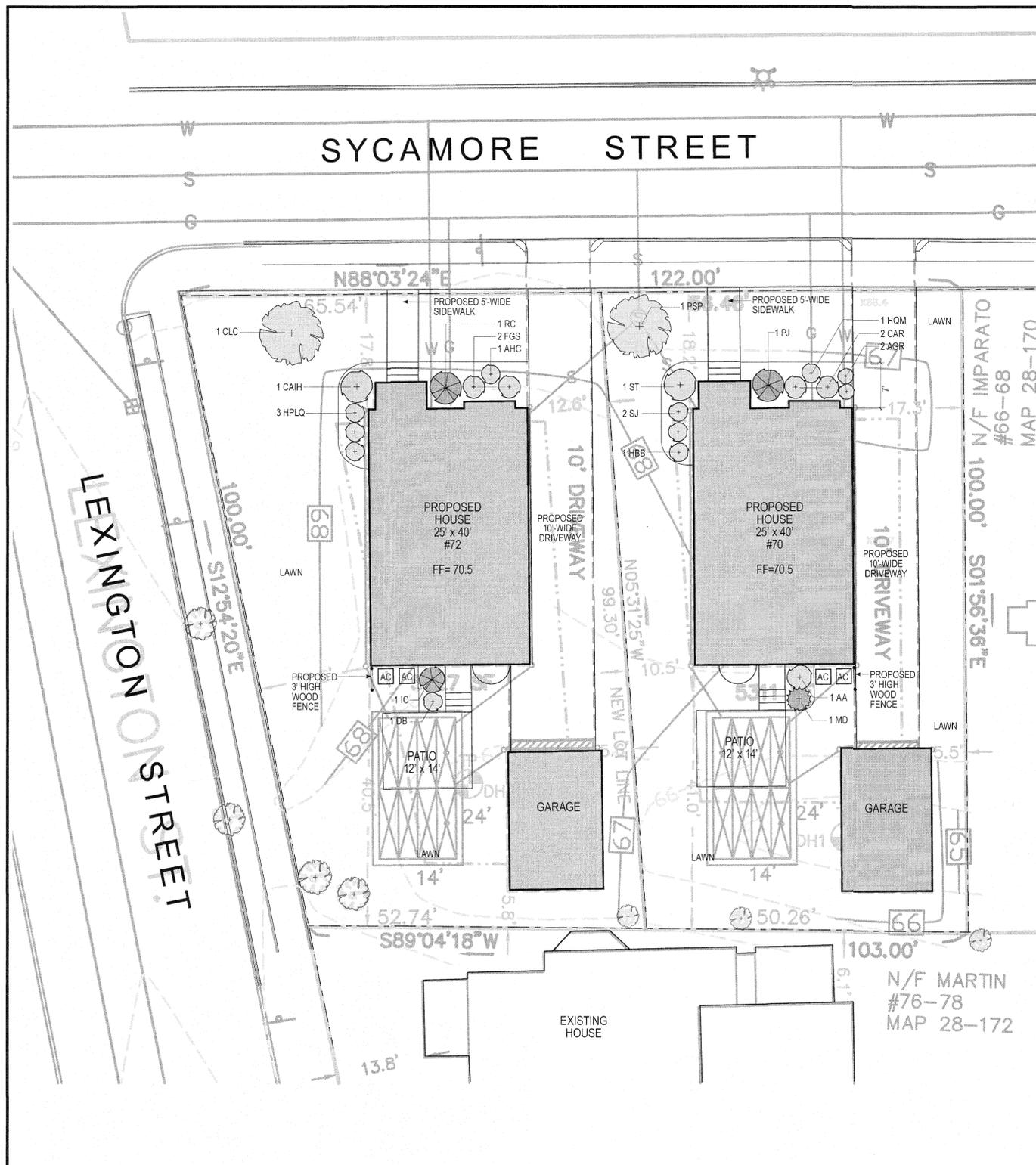
Bernard H. Hamill

PREPARED FOR:

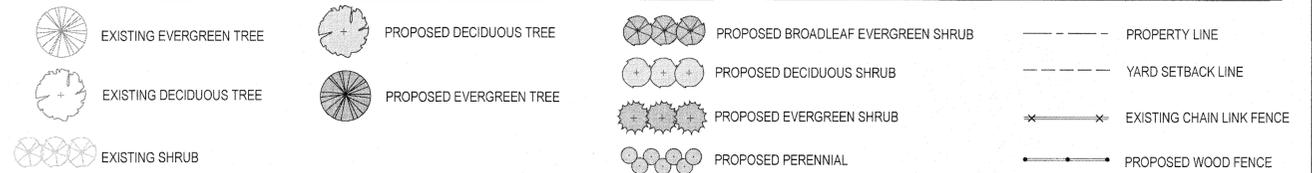
LEXINGTON SYCAMORE LLC
166 CIRCLE DR.
WALTHAM, MA

PREPARED BY:

H-STAR ENGINEERING, INC.
200 GREENVILLE ROAD
NEW IPSWICH, NH 03071
(978) 973-3078
EMAIL: HSTAR@ATT.NET



LEGEND



PLANT LIST: 70 SYCAMORE STREET

Key	Qty	Botanical Name	Common Name	Mature Size	Description, including flower color	Installed Size	Remarks
Deciduous Trees							
PSP	1	Prunus sargentii 'Pink Flair'	Pink Flair Sargent Cherry	20-30'H x 15-20'V	Pink flowers in spring, later than species. Vase shape. Shiny red-brown bark. Disease-resista-2.5" caliper matching specimens, full		
Shrubs							
AA	1	Aronia arbutifolia 'Brilliantissima'	Red Chokeberry	6-8'H x 3-4'W	Vase-shaped form. White flower. More compact than species, produces glossy red fruit	#7	
AGR	2	Azalea 'Girard's Renee Michelle'	Girard's Renee Michelle Azalea	2-3'H x 3-4'W	Low compact plant with deep pink flowers and light red spotting; dark evergreen foliage.	#5	
CAR	2	Clethra alnifolia 'Ruby Spice'	Ruby Spice Clethra	4-5'H x 4-5'W	Deciduous oval shape shrub with light pink flowers in summer. Native cultivar	#10	
HBB	1	Hydrangea m. Endl Sum 'Blushing Bride'	Blushing Bride White Hydrangea	3-4'H x 3-4' W	Deciduous Mophead. Blooms on new and old wood. White mophead flowers with pink blush.	#7	ok to sub Hydrangea 'Twist & Shout'
HQM	1	Hydrangea quercifolia 'Munchkin'	Munchkin Oakleaf Hydrangea	2-3'H x 3-4'W	Deciduous, compact. Large flowers open white, then turn deep pink. Mahogany fall color.	#5	
MD	1	Microbiota decussata 'Celtic Pride'	Celtic Pride Siberian Carpet Cypr	1-3'H x 5-6'W	Conifer. Less tip dieback than the species. Feathery appearance, russet winter color	#3	
PJ	1	Pieris japonica 'Mountain Fire'	Mountain Fire Jap. Andromeda	8-10'H x 6-8'W	Broadleaf evergreen with white spring flowers. Contrasting red new growth	#15	full, upright form
SJ	2	Spiraea japonica 'Little Princess'	Little Princess Dwarf Spirea	2.5'H x 3-6'W	Deciduous. Rose-pink flowers bloom late spring-early summer. Butterflies. Mint green foliage	#5	3' spacing
ST	1	Syringa 'Tinkerbell'	Tinkerbell Lilac	5-6'H x 4-5'W	Deciduous. Wine red buds open to deep pink flowers with a spicy fragrance. Hummingbirds	3-4'	Can sub Syringa meyeri 'Palibin'

PLANT LIST: 72 SYCAMORE STREET

Key	Qty	Botanical Name	Common Name	Mature Size	Description, including flower color	Installed Size	Remarks
Deciduous Trees							
CLC	1	Crataegus laevigata 'Crimson Cloud'	Crimson Cloud Hawthorn	15-20'H x 10-15'V	Upright, spreading. Red flower with white center. Glossy red fruit. Thornless	3"cal.	Can sub Chionanthus v. 'Spring Fleecing'
Shrubs							
AHC	1	Azalea 'Hino-Crimson'	Hino Crimson Azalea	2-3'H x 3-4'W	Evergreen spring blooming. Compact growth. Brilliant red May flowers. Dark red fall foliage.	#7	Can sub Azalea 'Girard's Crimson'
CAIH	1	Cornus alba 'Ivory Halo'	Ivory Halo Red Twig Dogwood	5-6'H x 5-6'W	Deciduous shrub with red twigs revealed in winter. White flowers give way to white-blue drupe.	#7	full to base
FGS	2	Fothergilla gardenii 'Suzanne'	Suzanne Fothergilla	3-4'H x 3-4'W	Deciduous. Compact form. Fragrant white flowers in Spring. Bright fall color	2.5-3'H	Can sub Clethra 'Vanilla Spice' or 'Hummingbird'
HPLQ	3	Hydrangea paniculata 'Little Quick Fire'	Little Quick Fire Panicle Hydrang	3-4'H x 3-4'W	Deciduous. Begins blooming 1 month earlier than other panicle hydrangeas. Dwarf form of Qu	#6	can sub H.pan. Pee Wee
IC	1	Ilex crenata 'Steed's'	Steed's Japanese Holly	6-8'H x 5-6'W	Broadleaf evergreen. Upright pyramidal habit, useful for hedges. Tolerates shade	3-4'H	Dense foliage, pyramidal shape
DB	1	Daphne burkwoodii 'Carol Mackie'	Carol Mackie Daphne	3'H x 4'W	Deciduous shrub with green and white foliage, fragrant pink flowers in May	2-3'W	full, for hedge, 2.5' spacing;
RC	1	Rhododendron 'Chionoides'	Chionoides Rhododendron	4-5'H x 5-6'W	Large leaf broadleaf evergreen. Profuse 5" diameter white flowers with yellow eye.	#15	ok to sub Rhododendron cat 'Album'

PLANT NOTES

- This Planting Plan is based on the following: 1. a drawing titled 'PLOT PLAN, 70 & 72 SYCAMORE ST, BELMONT, MA', prepared by H-Star Engineering, Inc., 200 Greenville Road, New Ipswich, NH 03071, dated March 25, 2020, and received by Shoplick Associates on April 13, 2022. Shoplick Associates assumes no responsibility for errors, inconsistencies, updates, or omissions in this drawing.
- PROTECTION OF EXISTING VEGETATION:** Trees and other vegetation designated to remain shall be protected throughout the duration of the construction period with bright orange plastic fence placed in a circle 10' away from trunk. Any damages resulting from the Contractor's operations or neglect shall be repaired or replaced by the Contractor. No equipment or materials shall be stored or stockpiled within the drip line of the trees. If, in order to perform excavation work, it becomes necessary to cut a tree's roots, such roots must be cleanly cut by a Certified Arborist. Tree protection must remain in place throughout construction until final acceptance by Owner.
- CLEARING AND GRUBBING:** Verify all items to be removed and to remain before commencing any demolition work. Do no clearing without full knowledge of existing conditions to be preserved. Tree and shrub removal includes the cutting and grubbing of all stumps, roots and root clusters that have a diameter of 1 inch or larger to a depth of at least 2 feet below finish grade elevations. The Contractor is responsible for complying with local and state rules and regulations pertaining to the off-site disposal of all soil, trees, shrubs, stumps, vegetative, and extraneous debris produced by removal and construction operations.
- Maintain existing grade at trees to remain.
- CUT AND FILL:** During grading operations, stockpile existing loam to be used for proposed lawn and plant bed areas. Any existing or introduced fill shall be well-graded, natural, inorganic soil, free of debris, stones larger than 4", and all materials subject to decomposition including roots & limbs. It shall also be free of highly plastic clays. Fill shall be placed in 6" horizontal layers, and compacted before adding the next layer. Never place wet or frozen fill. Compact the top 18" of fill/soil in lawn and plant bed areas to 65% density.
- PLANT BED PLANTING MIX:** Planting soil mix shall consist of onsite loam supplemented with loam from off-site sources, if required. Contractor shall have on and off site samples tested at either a state or recognized commercial laboratory. The soil test shall determine the soil texture, pH, magnesium, phosphorus, potassium, soluble salts, total calcium, nitrogen, and percent organic matter. Soil test results shall include laboratory recommendations for soil amendments to correct deficiencies and accomplish planting objectives. The pH for soil for lawn areas shall be between 6.0-7.0, and contain more than 3% organic matter. The soil for plant bed areas shall be based on the specific plant requirements but shall be within the pH range of 5.5-6.5, and contain between 5% and 15% organic matter. Planting soil shall be fertile, friable, natural topsoil of loamy character, without admixture of subsoil material, reasonably free of lumps, stones, plants, roots, & other foreign matter. Planting mix and subsoil in all plant beds shall freely drain.
- PLANT MATERIALS: NO PLANT SUBSTITUTIONS MAY BE MADE WITHOUT CONSENT OF LANDSCAPE ARCHITECT.** The Contractor shall adjust quantities of plant materials & their layout to fit actual site conditions. All plant material shall conform to the sizing & grading standards of the latest edition of The American Standard For Nursery Stock, published by the American Nursery & Landscape Association. The Contractor shall provide stock true to botanical name, and legibly labeled. Plants shall be delivered free of defects, diseases, & all forms of insect infestation.
- WARRANTY:** The Contractor shall provide a 1 year warranty on all plant materials.
- PLANTING:** The subgrade for all plant beds and lawn areas shall be loosened by discing or rototilling to a depth of three inches (3") to permit bonding of loam to the subsoil. Place all trees, shrubs, & individual herbs and perennials for approval by the Owner prior to planting. The Owner reserves the right to adjust the spacing and placement of the plants according to actual site conditions. The Contractor shall remove all artificial burlap and twine, if used, at time of installation. The Contractor shall cut all wire baskets, if used, down to a maximum of 6" from the bottom of each root ball. **The width of the holes dug for shrubs & trees shall be 2 1/2 times the diameter of the root ball.** It is more important that the hole for plants be wide rather than deep. **All shrubs & trees shall bear the same relationship to the final grade as to the original grade before planting.** Remove all nursery mulch to determine correct root flare. After removing the plant from its container, rough up the sides of the root ball to loosen soil and encourage roots to spread into hole. Place plant in hole and back fill 6" deep with loam. Water thoroughly. After water has soaked into backfilled loam, resume filling the remainder of the hole in 6" lifts. Form a saucer around the outside edge of the plant, and fill with water again.
- MULCHING:** The Contractor shall spread a 2-3" deep bed of dark aged mulch in all plant beds & throughout the planting area. **Keep mulch away from the base of all trunks to prevent rotting of the bark.**
- WATERING:** The Contractor is responsible for watering all plant materials while on site until acceptance of project by Owner. The following watering schedule depends on rain frequency: Water plants every day for the first week, every other day for the second week, & two-three times a week for the third and fourth weeks. After the fourth week water once a week if less than 1" of rain falls during the week. The Contractor shall apply 10-20 gallons of water per application on trees greater than 2" caliper.

PROJECT NAME
**70 & 72 Sycamore Street
Belmont, MA 02478**

STAMP

Shoplick Associates
Landscape Architecture
602 Centre Street
Newton, MA 02458
T: 617-244-7309
E: janeshoplick@rcn.com

REV. NO.	DATE	DESCRIPTION
1		
2		
3		
4		
5		

DRAWING TITLE
PLANTING PLAN

DRAWING NUMBER
L-1

DRAWN BY
J.S.

CHECKED
J.S.

SCALE
AS NOTED

DATE
Apr 13, 2022

SHEET 1 OF 1

