

BUILDING HEIGHTS

HOUSE #	PEAK ELEVATION
#14	143.8
#17-19	133.1
#15	132.4
#28-30	128.6
#28-30	139.6 PROP.

LOT COVERAGE

1664/6774 = 24.6%

OPEN SPACE

6774-3820/6774 = 43.6%

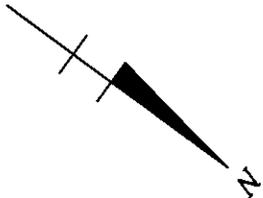
HOUSE 1664

PROP. DRIVE 2021

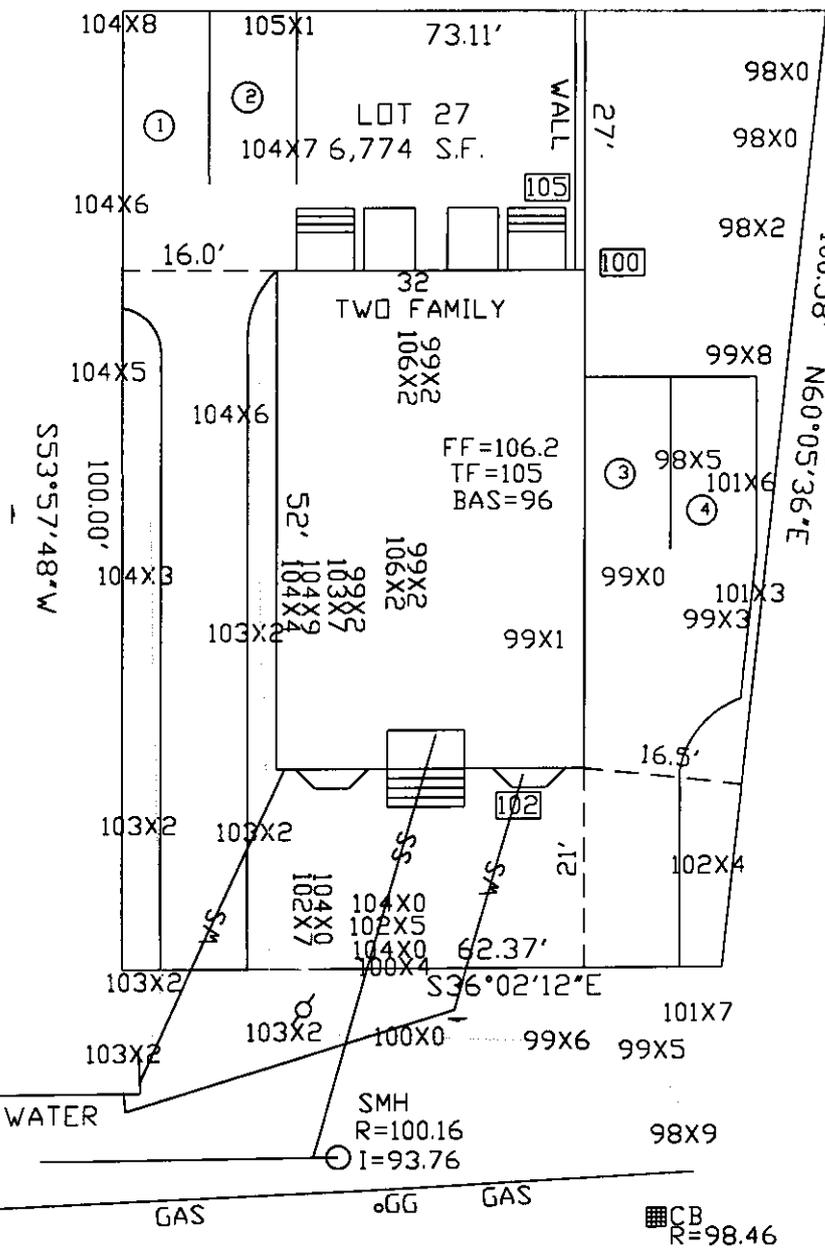
& PARKING

STAIRS/BULKHEAD 135

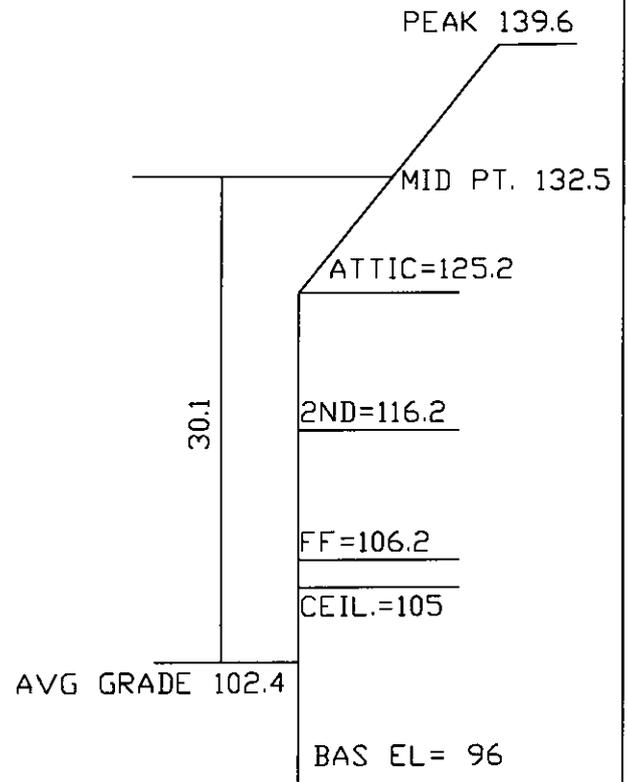
TOTAL 3820



N36°02'12"W



PEAK 139.6



AVG GRADE 102.4

67.5% BAS. BELOW GRADE

AVG GRADE

103.2
104.5
100
102
409.7
409.7/4 = 102.4



PAUL J. FINOCCHIO P.L.S. No.36115 DATE

OWNER RUTH ANN BETTS,EDMUND BETTS
HOUSE NO. 18 ASH STREET
LOT NO. 30-28
APP. NO.
DATE DEC 6, 2022
SCALE 1"=20'
FILE NO. 7815D

Zoning Compliance Check List (Registered Land Surveyor)

Property Address: 18 Ash Street

Zone: GR Date: _____

Surveyor Signature and Stamp: Paul Finocchi

12/6/22

	REQUIRED	EXISTING	PROPOSED
Lot Area	7,000 sf	6,774 sf	6,774 sf
Lot Frontage	70 ft.	62.37 ft	62.37 sf
Floor Area Ratio	-	-	-
Lot Coverage	30 %	16.4%	26.1%
Open Space	40 %	62 %	43.6%
Front Setback	20 ft.	64.5 ft.	21 ft.
Side Setback LT	10 ft.	20.9 ft.	16.0 ft.
Side Setback RT	10 ft.	9.5 ft.	16.5 ft.
Rear Setback	20.0 ft.	70 ft.	27 ft.
Building Height	33 ft.	26.6 ft.	30.1 ft.
Stories	2.5	2	2.5
1/2 Story Calculation			

NOTES:



New Duplex Construction

18 Ash Street, Belmont, MA

Builder:

Michael Collins

buildcollins@gmail.com

Collins Development
Stoneham, MA

Architect:

Brigitte Steines
650-814-8542
brigitte@inkstonearchitects.com

InkStone Architects
18 Main Street #3B
Concord, MA 01742



PLANT LIST

SYMB.	QNTY.	SCIENTIFIC NAME	COMMON NAME	SIZE
AP	1	Acer Palmatum "Bloodgood"	Blood Good Japanese Maple	7'-8"
BN	2	Betula Nigra Multi Stem	River Birch	7'-8"
CB	5	Rhododendron Catawbiense	Catawba Rhododendron	5 GAL
CO	2	Chamaecyparis Obtusa "Gracilis"	Hinoki Cypress	5'-6"
NXP	20	Nepeta X "Psfike" Little Turoy	Catmint	1 GAL
LO	6	Ligustrum Ovalifolium	California Privet	4'-5"
HA	10	Hydrangea Arborescens "Incrediball"	Incrediball Hydrangea	5 GAL
CA	2	Cornus Alba	Tatarian Dogwood	7 GAL

Half Story Calculation

Second Floor: 772 sq.ft. (per unit) x 2 = 1,544 sq.ft.

Third Floor: 454 sq.ft. (per unit) x 2 = 908 sq.ft.

Third Floor Percentage: 58.8%

Total Living Area

First Floor: 764 sf.ft. (per unit) x 2 = 1,528 sq.ft.

Second Floor: 772 sq.ft (per unit) x 2 = 1,544 sq

Third Floor: 310 sq.ft.. (per unit) x 2 = 620 sq.ft.

Total Building: 3,692 sq.ft..
Each Unit : 1,846 sq.ft.

SHEET INDEX

- T1 Title Page w/ Landscape Plan 1/16"=1'-0"
- A0 Foundation Plan 1/8"=1'-0"
- A1 First Floor Plan 1/8"=1'-0"
- A2 Second Floor Plan 1/8"=1'-0"
- A3 Third Floor Plan 1/8"=1'-0"
- A4 Front and Left Exterior Elevation 1/8"=1'-0"
- A5 Rear and Right Exterior Elevation 1/8"=1'-0"
- A6 3D Model Views

1 **Landscape Plan**
Scale: 1/16" = 1'-0"

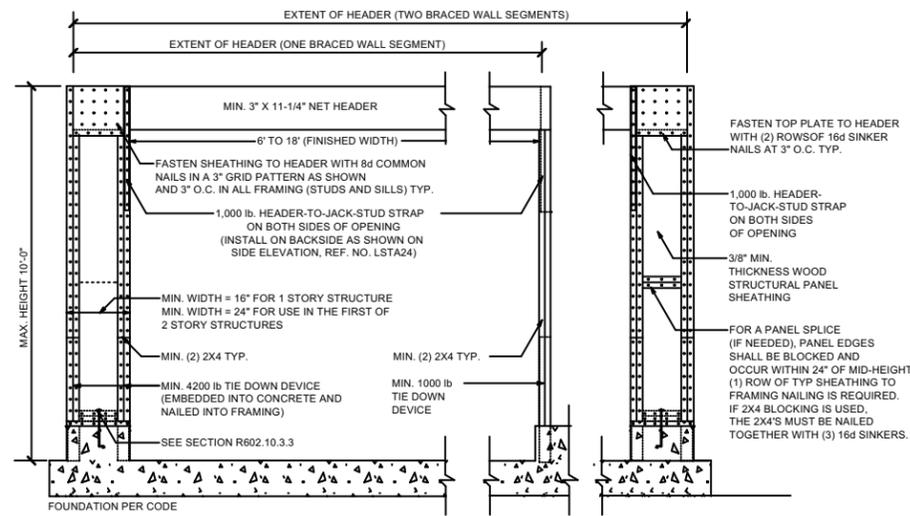
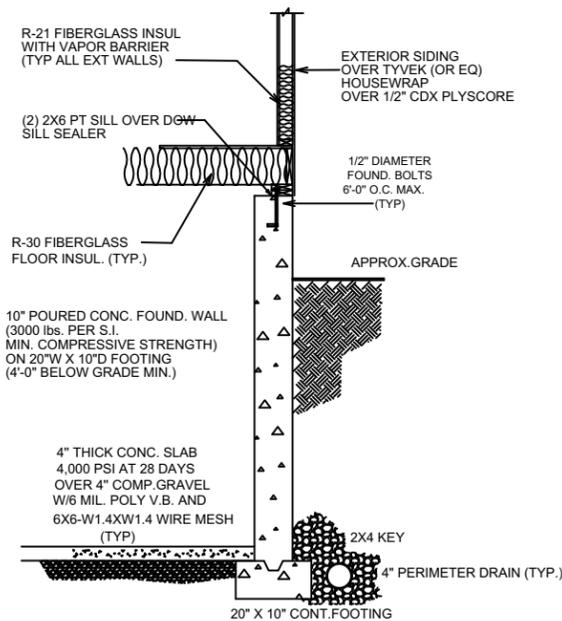


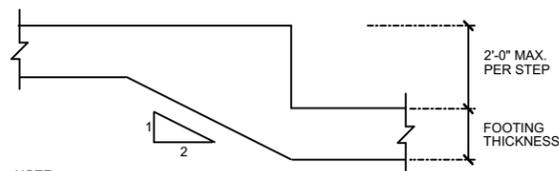
FIGURE R602.10.3.3
METHOD PFH: PORTAL FRAME WITH HOLD-DOWNS
 NOT TO SCALE



TYP. FOUNDATION DETAIL
 NO SCALE

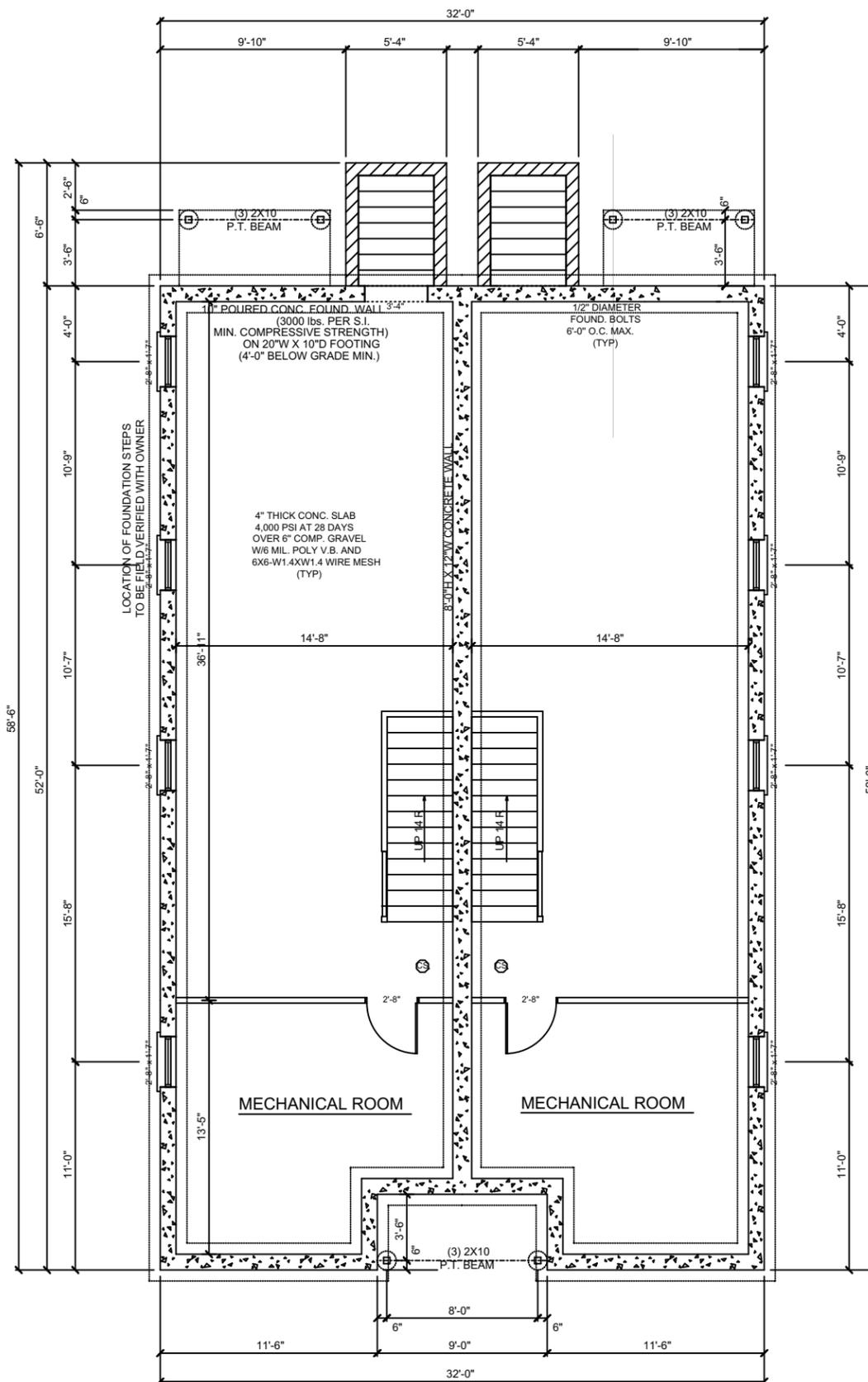
FOUNDATION NOTES

- 1) CONCRETE SLABS ON GRADE SHALL HAVE CONTROL JOINTS CUT AT LEAST 1/4 THE SLAB THICKNESS. THESE SHALL BE SPACED NOT MORE THAN 90 FEET IN EACH DIRECTION. CONTROL JOINTS SHALL BE PLACED WHERE OFFSETS ARE MORE THAN 10 FEET. CONTRACTION JOINTS ARE NOT REQUIRED WHERE 6X6 W1.4 X W1.4 WELDED WIRE FABRIC OR EQ. IS PLACED AT MID-DEPTH OF THE SLAB.
- 2) THE COMPRESSIVE STRENGTH OF CONCRETE FOUNDATIONS AT 28 DAYS SHALL NOT BE LESS THAN 3,000 LBS./SQ. INCH. SLAB FLOORS TO HAVE A COMPRESSIVE STRENGTH OF 4,000 PSI AT 28 DAYS.
- 3) FOUNDATION WALLS SHALL EXTEND AT LEAST 8" ABOVE FINISH GRADE.
- 4) THE BOTTOM OF ANY POINT OF A FOUNDATION SHALL BE A MINIMUM OF 4" BELOW FINISH GRADE.
- 5) FOUNDATION ANCHOR BOLTS SHALL BE A MINIMUM OF 1/2" IN DIAMETER. THEY SHALL HAVE A MINIMUM EMBED OF 8" IN POURED CONCRETE. THERE SHALL BE A MINIMUM OF TWO ANCHORS PER SECTION OF SILL PLATE. MAXIMUM SPACING SHALL BE 6'-0" O.C. INSTALL IN ACCORDANCE WITH MASSACHUSETTS STATE BUILDING CODE



NOTE:
 ALL FOOTING STEPS MUST BE
 IN ACCORDANCE WITH THIS DETAIL

TYP. FOOTING STEP
 NO SCALE



Foundation Plan
 Scale: 1/8" = 1'-0"



ELECTRICAL	SYMBOL
SMOKE DETECTOR	•
CO DETECTOR	◊
SMOKE / CO COMBINATION	⊕
HEAT DETECTOR	■

SMOKE DETECTOR REQUIRED LOCATIONS. R314.3

SMOKE DETECTORS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS.

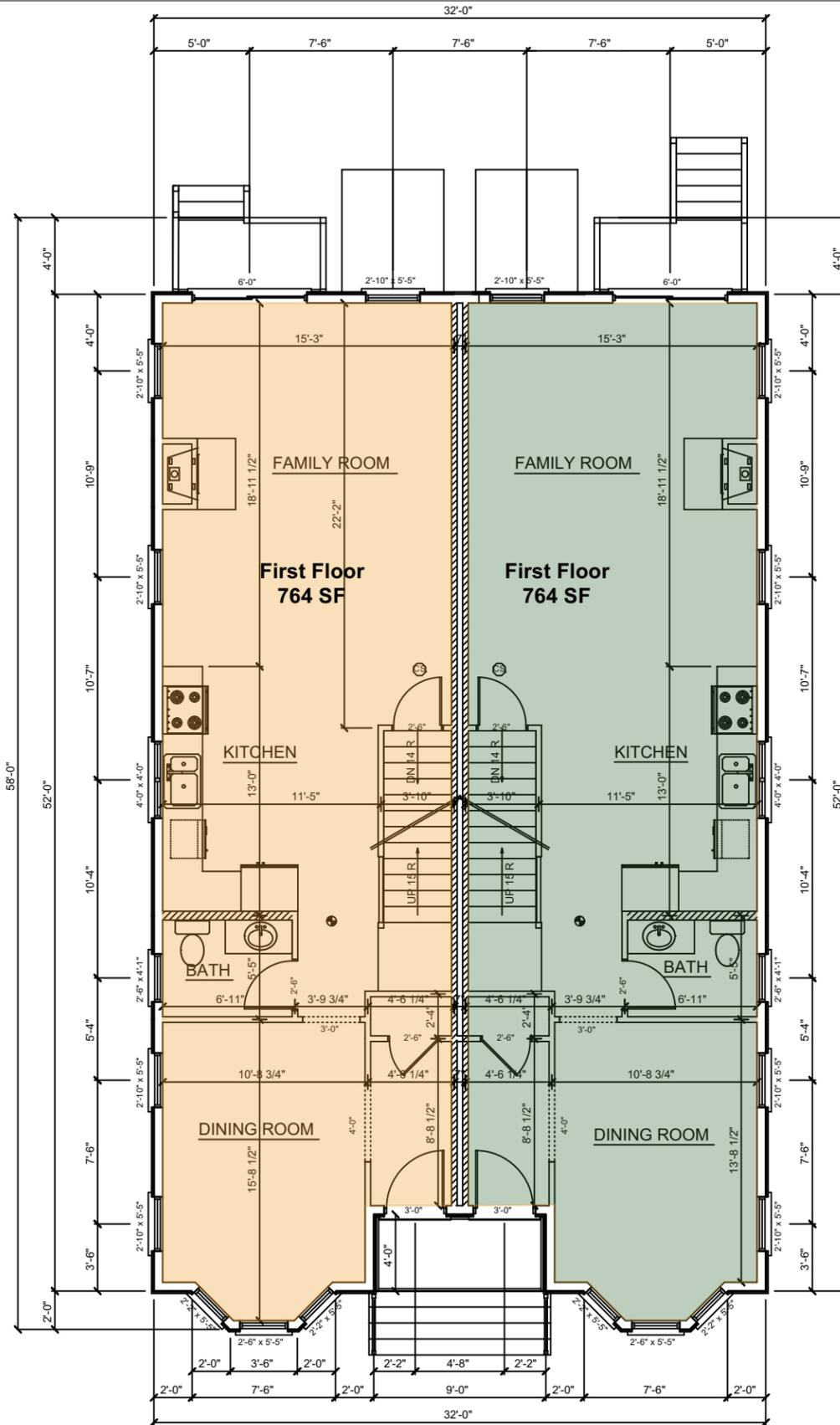
1. IN ALL BEDROOMS; AND
2. IN THE IMMEDIATE VICINITY OF BEDROOMS
3. IN EACH STORY OF A DWELLING UNIT, INCLUDING BASEMENTS AND CELLARS BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS.
5. FIXED TEMPERATURE HEAT DETECTORS SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF R314.5

CARBON MONOXIDE DETECTOR SPECIFIC INSTALLATION PROVISIONS R315.2

EVERY RESIDENTIAL STRUCTURE THAT PRESENTLY OR IN THE FUTURE CONTAINS FOSSIL FUEL BURNING EQUIPMENT OR HAS ENCLOSED PARKING SHALL BE EQUIPPED, BY THE OWNER, LANDLORD OR SUPERINTENDENT, WITH WORKING AND LISTED CARBON MONOXIDE ALARM PROTECTION.

(A) CARBON MONOXIDE ALARM PROTECTION SHALL BE LOCATED IN EACH LEVEL OF EACH DWELLING UNIT INCLUDING HABITABLE PORTIONS OF BASEMENTS, CELLARS AND ATTICS, BUT NOT INCLUDING CRAWL SPACES.

(B) WHEN MOUNTING CARBON MONOXIDE ALARM PROTECTION ON A LEVEL OF A DWELLING UNIT WITH A SLEEPING AREA, THE ALARM SHALL BE INSTALLED IN THE IMMEDIATE VICINITY OF THE SLEEPING AREA, NOT TO EXCEED 10 FEET AS MEASURED IN ANY DIRECTION FROM ANY BEDROOM DOOR.



First Floor Plan
Scale: 1/8" = 1'-0"



DRAWING TITLE: First Floor Plan

SUBMISSION/REVISION

DATE
12/13/22

18 Ash St.
Belmont, MA

INKSTONE
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650-814-8542 brigjite@inkstonearchitects.com

SCALE : 1/8"=1'-0"

A1

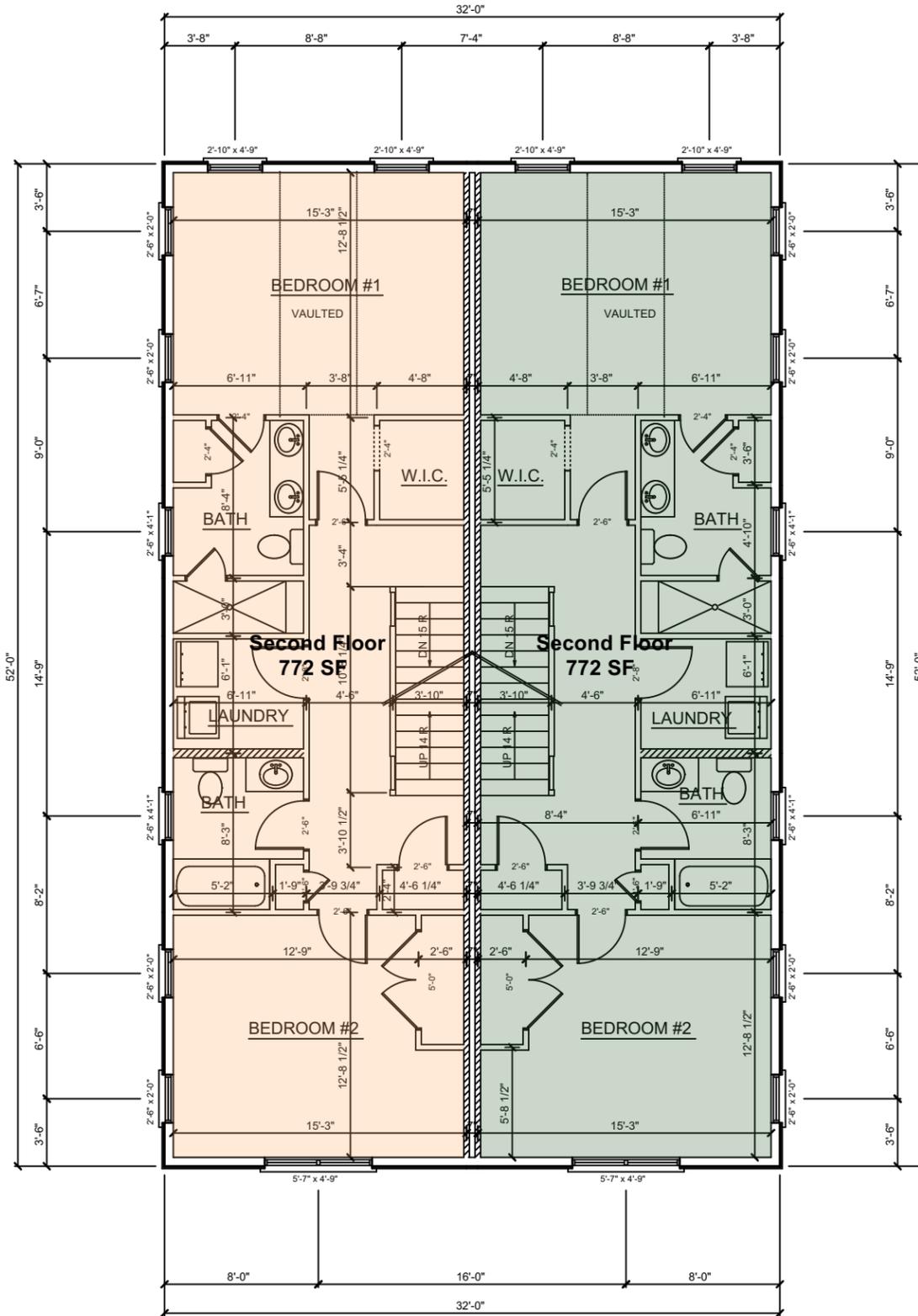
R311.7.4.1 RISER HEIGHT.
 THE MAXIMUM RISER HEIGHT SHALL BE 8 1/4".
 THE RISER SHALL BE MEASURED VERTICALLY BETWEEN LEADING EDGES OF THE ADJACENT TREADS.
 THE GREATEST RISER HEIGHT WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8".

R311.7.4.2 TREAD DEPTH.
 THE MINIMUM TREAD DEPTH SHALL BE NINE INCHES.
 THE TREAD DEPTH SHALL BE MEASURED HORIZONTALLY BETWEEN THE VERTICAL PLANES OF THE FOREMOST PROJECTION OF ADJACENT TREADS AND AT A RIGHT ANGLE TO THE TREAD'S LEADING EDGE. THE GREATEST TREAD DEPTH WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8" INCH.
 WINDER TREADS SHALL HAVE A MINIMUM TREAD DEPTH EQUAL TO THE TREAD DEPTH OF THE STRAIGHT RUN PORTION OF THE STAIRS MEASURED AS ABOVE AT A POINT 12 INCHES FROM THE SIDE WHERE THE TREADS ARE NARROWER. WINDER TREADS SHALL HAVE A MINIMUM TREAD DEPTH OF THREE INCHES AT ANY POINT. WITHIN ANY FLIGHT OF STAIRS, THE GREATEST WINDER TREAD DEPTH AT THE 12 INCH WALK LINE SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8".

R312.1 GUARDS REQUIRED.
 GUARDS SHALL BE LOCATED ALONG OPEN-SIDED WALKING SURFACES, INCLUDING STAIRS, RAMPS, AND LANDINGS, THAT ARE LOCATED MORE THAN 30" TO THE FLOOR OR GRADE BELOW AT ANY POINT WITHIN 36" HORIZONTALLY TO THE EDGE OF THE OPEN SIDE. INSECT SCREENING SHALL NOT BE CONSIDERED A GUARD.

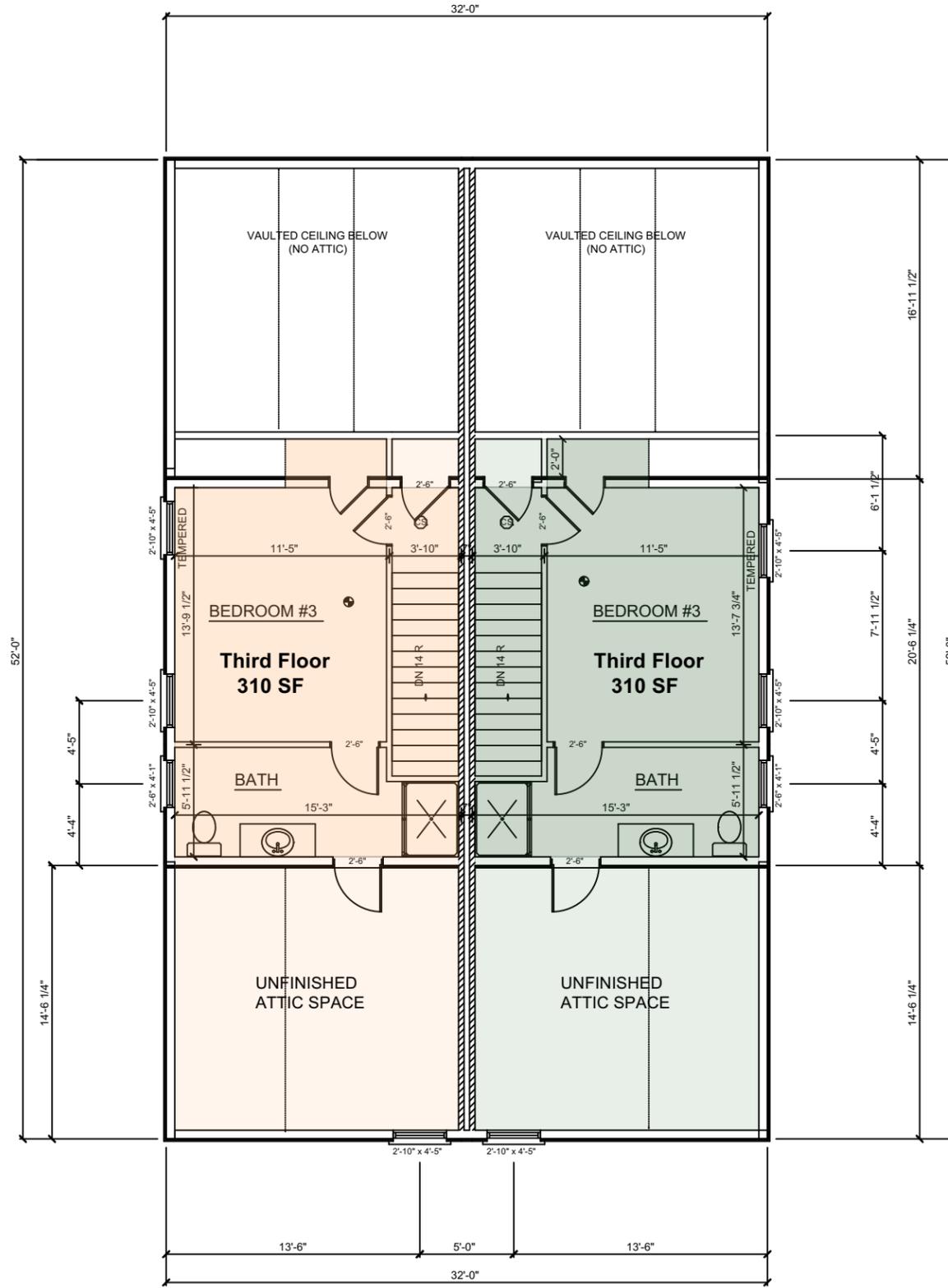
R311.7.7 HANDRAILS.
 HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT WITH 4 OR MORE RISERS.

R311.7.7.1 HEIGHT.
 HANDRAIL HEIGHT, MEASURED VERTICALLY FROM THE SLOPE PLANE ADJOINING THE TREAD NOSING, OR FINISH SURFACE OF RAMP SLOPE, SHALL NOT BE LESS THAN 34 INCHES AND NOT MORE THAN 38 INCHES.



Second Floor Plan
 Scale: 1/8" = 1'-0"





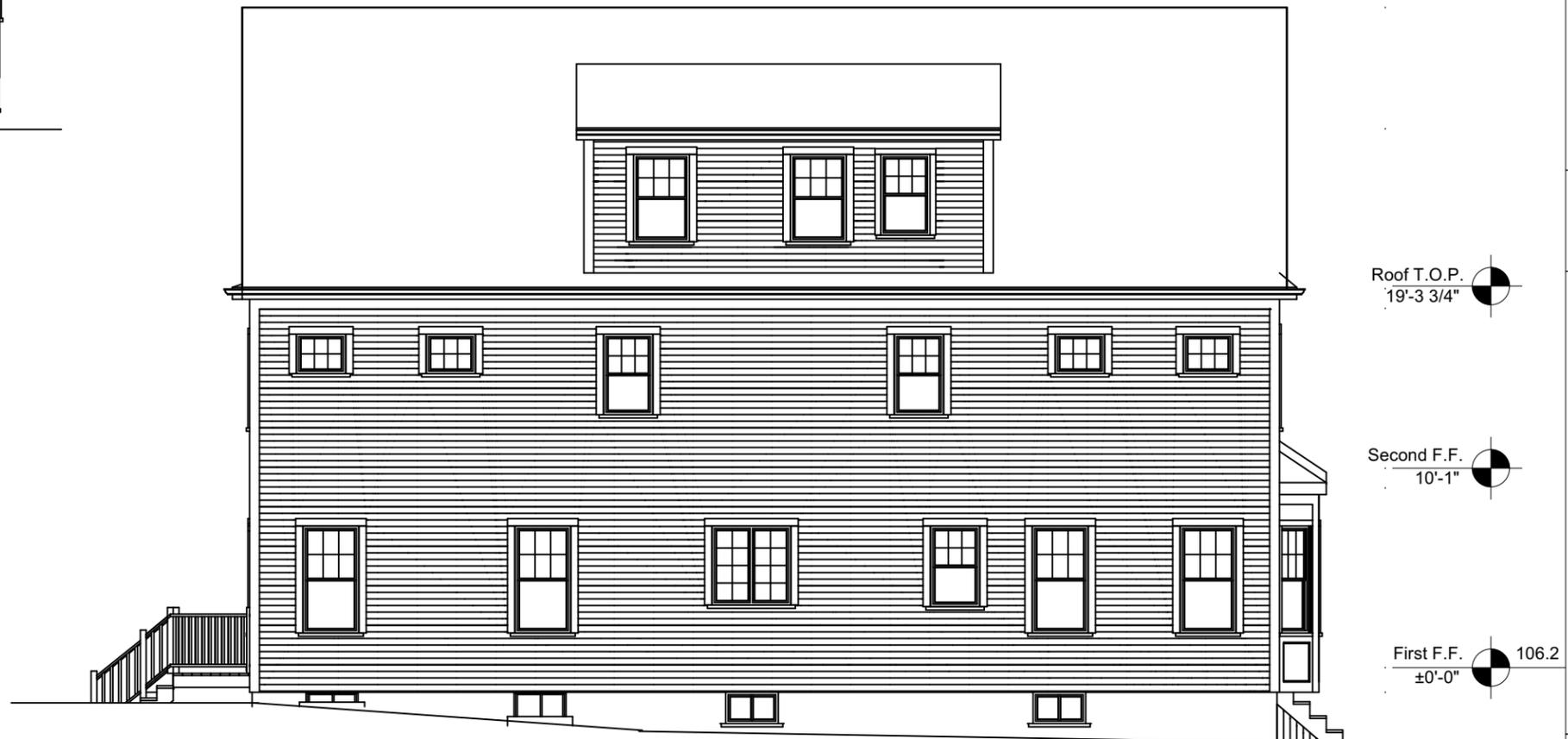
Third Floor Plan
 Scale: 1/8" = 1'-0"



<p>INKSTONE ARCHITECTS</p> <p>18 Main Street #3B, Concord, MA 650-814-8542 brigjite@inkstonearchitects.com</p>	<p>DRAWING TITLE: Third Floor Plan</p> <p>SCALE : 1/8"=1'-0"</p>	<p>SUBMISSION/REVISION</p>	<p>DATE 12/13/22</p>	<p>18 Ash St. Belmont, MA</p>	<p>A3</p>
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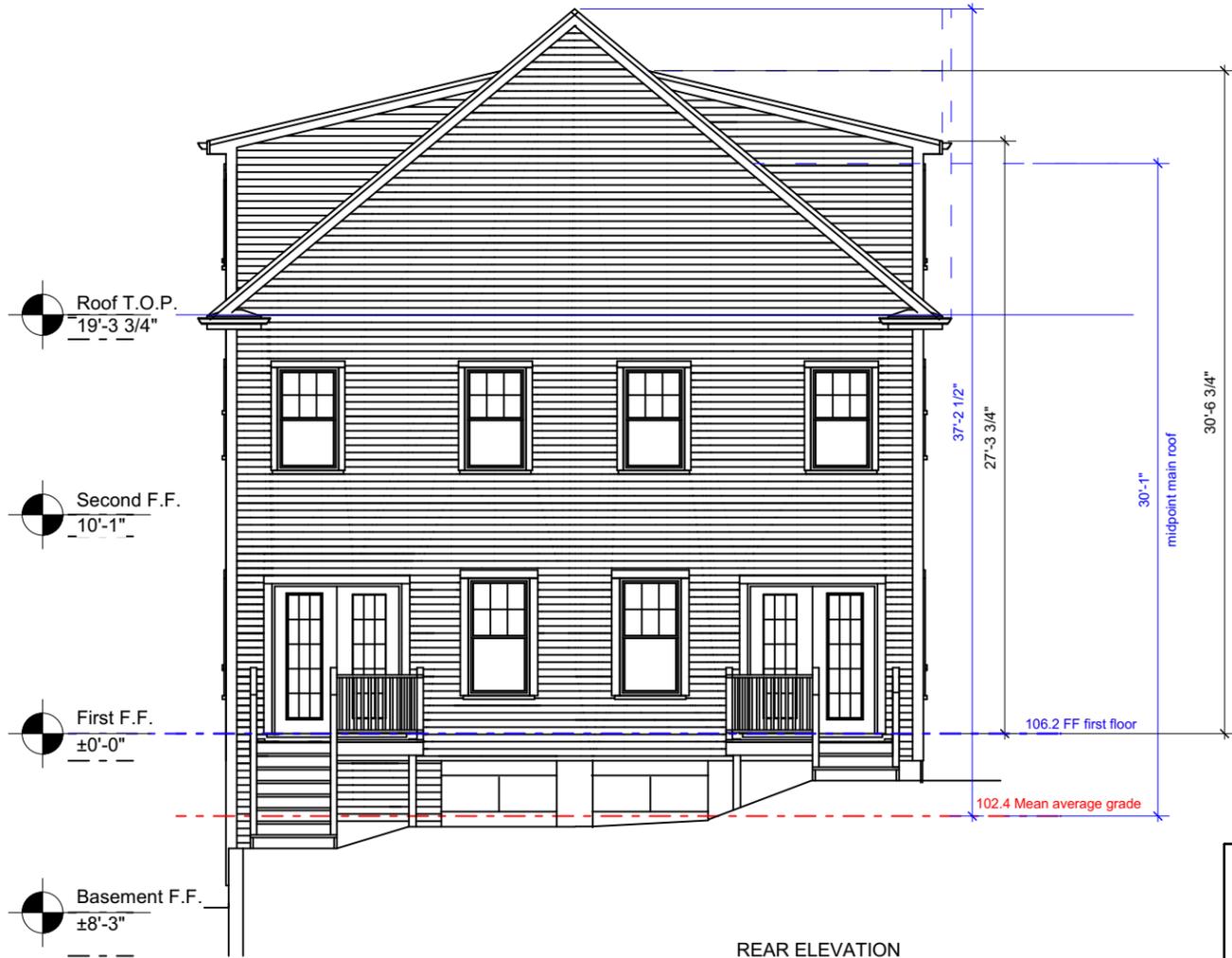
FRONT ELEVATION



LEFT ELEVATION

Front and Left Elevation
Scale: 1/8" = 1'-0"

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DRAWING TITLE: Front and Left Side Elevation		SCALE : 1/8"=1'-0"	
SUBMISSION/REVISION			
DATE	12/13/22		
18 Ash St. Belmont, MA			
A4			



REAR ELEVATION



RIGHT ELEVATION

Rear and Right Elevation

Scale: 1/8" = 1'-0"

DRAWING TITLE: Rear and Right Side Elevation

SUBMISSION/REVISION

DATE 12/13/22

18 Ash St.
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A5

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SCALE : 1/8"=1'-0"



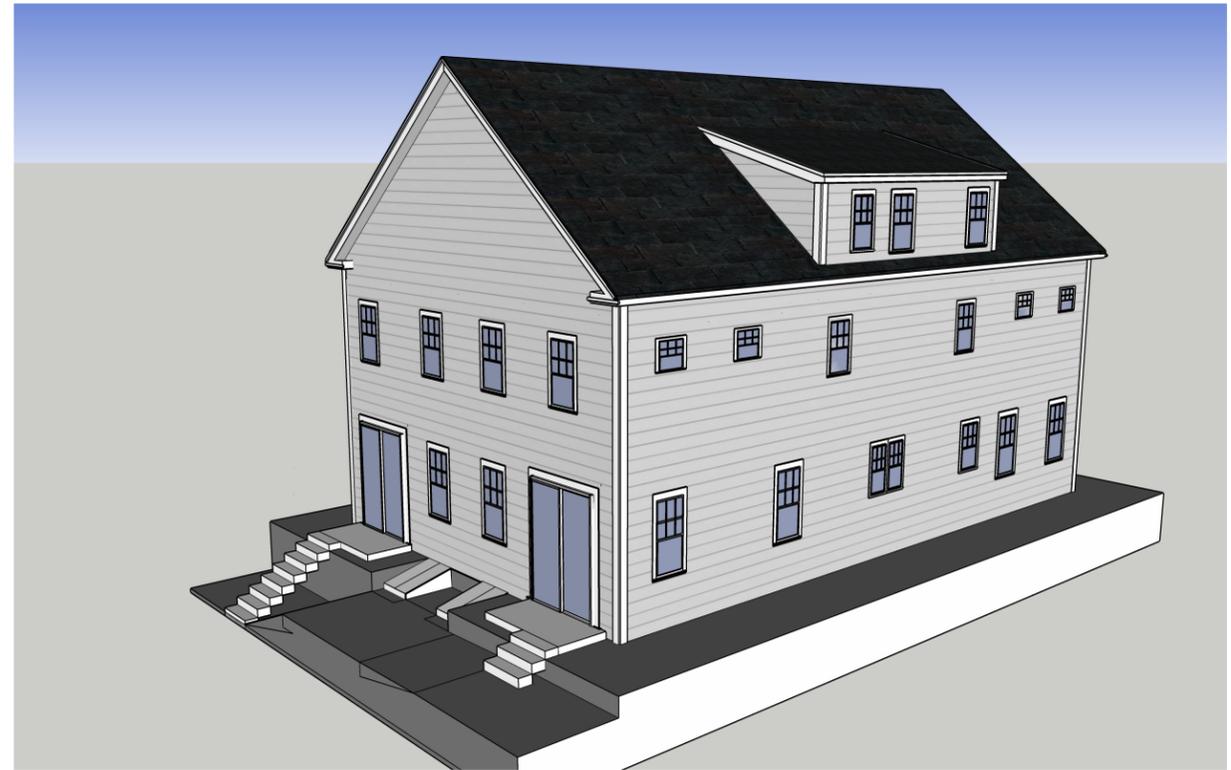
Front View



Front View



Rear View



Rear View