

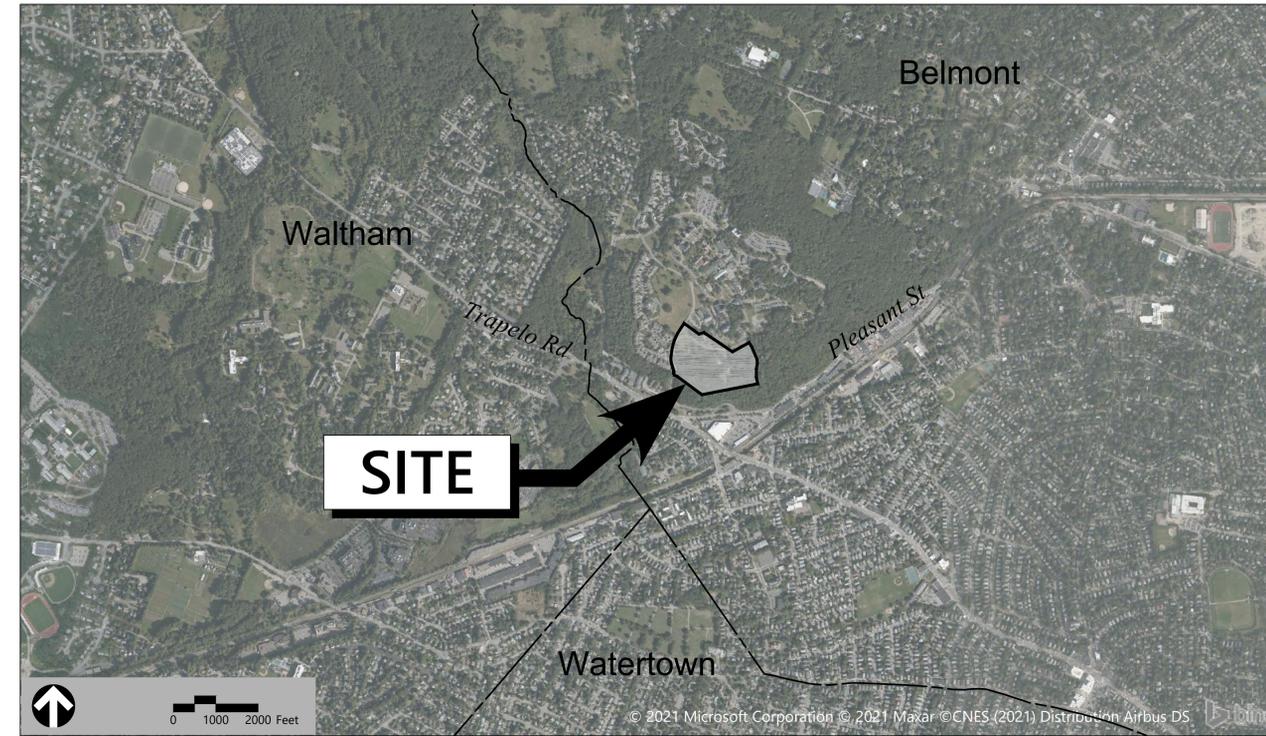
Site Plans

Issued for	Local Approvals
Date Issued	April 16, 2021
Latest Issue	September 23, 2021

The Residences at Bel Mont

McLean District Zone III

Olmsted Drive
Belmont, Massachusetts



101 Walnut Street
PO Box 9151
Watertown, MA 02471
617.924.1770

Owner

McLean Hospital Corp
115 Mill Street
Belmont MA, 02478

Applicant

Northland Residential Corporation
80 Beharrell Street, Suite e
Concord, MA 01742

Assessor's ID: Map: 59 Lot: 11-6

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Reference Drawings

No.	Drawing Title	Latest Issue
Sv-1	Existing Conditions Plan of Land	April 13, 2021





101 Walnut Street
PO Box 9151
Watertown, MA 02471
617.924.1770

Legend

Exist.	Prop.	Exist.	Prop.	
				PROPERTY LINE
				PROJECT LIMIT LINE
				RIGHT-OF-WAY/PROPERTY LINE
				EASEMENT
				BUILDING SETBACK
				PARKING SETBACK
				BASELINE
				CONSTRUCTION LAYOUT
				ZONING LINE
				TOWN LINE
				LIMIT OF DISTURBANCE
				WETLAND LINE WITH FLAG
				FLOODPLAIN
				BORDERING LAND SUBJECT TO FLOODING
				WETLAND BUFFER ZONE
				NO DISTURB ZONE
				200' RIVERFRONT AREA
				GRAVEL ROAD
				EDGE OF PAVEMENT
				BITUMINOUS BERM
				BITUMINOUS CURB
				CONCRETE CURB
				CURB AND GUTTER
				EXTRUDED CONCRETE CURB
				MONOLITHIC CONCRETE CURB
				PRECAST CONC. CURB
				SLOPED GRAN. EDGING
				VERT. GRAN. CURB
				LIMIT OF CURB TYPE
				SAWCUT
				BUILDING
				BUILDING ENTRANCE
				LOADING DOCK
				BOLLARD
				DUMPSTER PAD
				SIGN
				DOUBLE SIGN
				STEEL GUARDRAIL
				WOOD GUARDRAIL
				PATH
				TREE LINE
				WIRE FENCE
				FENCE
				STOCKADE FENCE
				STONE WALL
				RETAINING WALL
				STREAM / POND / WATER COURSE
				DETENTION BASIN
				HAY BALES
				SILT FENCE
				SILT SOCK / STRAW WATTLE
				MINOR CONTOUR
				MAJOR CONTOUR
				PARKING COUNT
				COMPACT PARKING STALLS
				DOUBLE YELLOW LINE
				STOP LINE
				CROSSWALK
				ACCESSIBLE CURB RAMP
				ACCESSIBLE PARKING
				VAN-ACCESSIBLE PARKING
				MATCHLINE

Abbreviations

General	
ABAN	ABANDON
ACR	ACCESSIBLE CURB RAMP
ADJ	ADJUST
APPROX	APPROXIMATE
BIT	BITUMINOUS
BS	BOTTOM OF SLOPE
BWLL	BROKEN WHITE LANE LINE
CONC	CONCRETE
DYCL	DOUBLE YELLOW CENTER LINE
EL	ELEVATION
ELEV	ELEVATION
EX	EXISTING
FDN	FOUNDATION
FFE	FIRST FLOOR ELEVATION
GRAN	GRANITE
GTD	GRADE TO DRAIN
LA	LANDSCAPE AREA
LOD	LIMIT OF DISTURBANCE
MAX	MAXIMUM
MIN	MINIMUM
NIC	NOT IN CONTRACT
NTS	NOT TO SCALE
PERF	PERFORATED
PROP	PROPOSED
REM	REMOVE
RET	RETAIN
R&D	REMOVE AND DISPOSE
R&R	REMOVE AND RESET
SWEL	SOLID WHITE EDGE LINE
SWLL	SOLID WHITE LANE LINE
TS	TOP OF SLOPE
TYP	TYPICAL
Utility	
CB	CATCH BASIN
CMP	CORRUGATED METAL PIPE
CO	CLEANOUT
DCB	DOUBLE CATCH BASIN
DMH	DRAIN MANHOLE
CIP	CAST IRON PIPE
COND	CONDUIT
DIP	DUCTILE IRON PIPE
FES	FLARED END SECTION
FM	FORCE MAIN
F&G	FRAME AND GRATE
F&C	FRAME AND COVER
GI	GUTTER INLET
GT	GREASE TRAP
HDPE	HIGH DENSITY POLYETHYLENE PIPE
HH	HANDHOLE
HW	HEADWALL
HYD	HYDRANT
INV	INVERT ELEVATION
I=	INVERT ELEVATION
LP	LIGHT POLE
MES	METAL END SECTION
PIV	POST INDICATOR VALVE
PWW	PAVED WATER WAY
PVC	POLYVINYLCHLORIDE PIPE
RCP	REINFORCED CONCRETE PIPE
R=	RIM ELEVATION
RIM=	RIM ELEVATION
SMH	SEWER MANHOLE
TSV	TAPPING SLEEVE, VALVE AND BOX
UG	UNDERGROUND
UP	UTILITY POLE

Notes

- General**
- CONTRACTOR SHALL NOTIFY "DIG-SAFE" (1-888-344-7233) AT LEAST 72 HOURS BEFORE EXCAVATING.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SECURITY AND JOB SAFETY. CONSTRUCTION ACTIVITIES SHALL BE IN ACCORDANCE WITH OSHA STANDARDS AND LOCAL REQUIREMENTS.
 - ACCESSIBLE ROUTES, PARKING SPACES, RAMPS, SIDEWALKS AND WALKWAYS SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE FEDERAL AMERICANS WITH DISABILITIES ACT AND WITH STATE AND LOCAL LAWS AND REGULATIONS (WHICHEVER ARE MORE STRINGENT).
 - AREAS DISTURBED DURING CONSTRUCTION AND NOT RESTORED WITH IMPERVIOUS SURFACES (BUILDINGS, PAVEMENTS, WALKS, ETC.) SHALL RECEIVE 6 INCHES LOAM AND SEED.
 - WITHIN THE LIMITS OF THE BUILDING FOOTPRINT, THE SITE CONTRACTOR SHALL PERFORM EARTHWORK OPERATIONS REQUIRED UP TO SUBGRADE ELEVATIONS.
 - WORK WITHIN THE LOCAL RIGHTS-OF-WAY SHALL CONFORM TO LOCAL MUNICIPAL STANDARDS. WORK WITHIN STATE RIGHTS-OF-WAY SHALL CONFORM TO THE LATEST EDITION OF THE STATE HIGHWAY DEPARTMENTS STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES.
 - UPON AWARD OF CONTRACT, CONTRACTOR SHALL MAKE NECESSARY CONSTRUCTION NOTIFICATIONS AND APPLY FOR AND OBTAIN NECESSARY PERMITS, PAY FEES, AND POST BONDS ASSOCIATED WITH THE WORK INDICATED ON THE DRAWINGS, IN THE SPECIFICATIONS, AND IN THE CONTRACT DOCUMENTS. DO NOT CLOSE OR OBSTRUCT ROADWAYS, SIDEWALKS, AND FIRE HYDRANTS, WITHOUT APPROPRIATE PERMITS.
 - TRAFFIC SIGNAGE AND PAVEMENT MARKINGS SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
 - AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE.
 - IN THE EVENT THAT SUSPECTED CONTAMINATED SOIL, GROUNDWATER, AND OTHER MEDIA ARE ENCOUNTERED DURING EXCAVATION AND CONSTRUCTION ACTIVITIES BASED ON VISUAL, OLFACTORY, OR OTHER EVIDENCE, THE CONTRACTOR SHALL STOP WORK IN THE VICINITY OF THE SUSPECT MATERIAL TO AVOID THE SPREADING OF THE MATERIAL, AND SHALL NOTIFY THE OWNER IMMEDIATELY SO THAT THE APPROPRIATE TESTING AND SUBSEQUENT ACTION CAN BE TAKEN.
 - CONTRACTOR SHALL PREVENT DUST, SEDIMENT, AND DEBRIS FROM EXITING THE SITE AND SHALL BE RESPONSIBLE FOR CLEANUP, REPAIRS AND CORRECTIVE ACTION IF SUCH OCCURS.
 - DAMAGE RESULTING FROM CONSTRUCTION LOADS SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO OWNER.
 - CONTRACTOR SHALL CONTROL STORMWATER RUNOFF DURING CONSTRUCTION TO PREVENT ADVERSE IMPACTS TO OFF SITE AREAS, AND SHALL BE RESPONSIBLE TO REPAIR RESULTING DAMAGES, IF ANY, AT NO COST TO OWNER.
 - THIS PROJECT DISTURBS MORE THAN ONE ACRE OF LAND AND FALLS WITHIN THE NPDES CONSTRUCTION GENERAL PERMIT (CGP) PROGRAM AND EPA JURISDICTION. PRIOR TO THE START OF CONSTRUCTION CONTRACTOR IS TO FILE A CGP NOTICE OF INTENT WITH THE EPA AND PREPARE A STORMWATER POLLUTION PREVENTION PLAN IN ACCORDANCE WITH THE NPDES REGULATIONS. CONTRACTOR SHALL CONFIRM THE OWNER HAS ALSO FILED A NOTICE OF INTENT WITH THE EPA.

Utilities

- THE LOCATIONS, SIZES, AND TYPES OF EXISTING UTILITIES ARE SHOWN AS AN APPROXIMATE REPRESENTATION ONLY. THE OWNER OR ITS REPRESENTATIVE(S) HAVE NOT INDEPENDENTLY VERIFIED THIS INFORMATION AS SHOWN ON THE PLANS. THE UTILITY INFORMATION SHOWN DOES NOT GUARANTEE THE ACTUAL EXISTENCE, SERVICEABILITY, OR OTHER DATA CONCERNING THE UTILITIES, NOR DOES IT GUARANTEE AGAINST THE POSSIBILITY THAT ADDITIONAL UTILITIES MAY BE PRESENT THAT ARE NOT SHOWN ON THE PLANS. PRIOR TO ORDERING MATERIALS AND BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL VERIFY AND DETERMINE THE EXACT LOCATIONS, SIZES, AND ELEVATIONS OF THE POINTS OF CONNECTIONS TO EXISTING UTILITIES AND SHALL CONFIRM THAT THERE ARE NO INTERFERENCES WITH EXISTING UTILITIES AND THE PROPOSED UTILITY ROUTES, INCLUDING ROUTES WITHIN THE PUBLIC RIGHTS OF WAY.
- WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, OR EXISTING CONDITIONS DIFFER FROM THOSE SHOWN SUCH THAT THE WORK CANNOT BE COMPLETED AS INTENDED, THE LOCATION, ELEVATION, AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED IN WRITING TO THE OWNER'S REPRESENTATIVE FOR THE RESOLUTION OF THE CONFLICT AND CONTRACTOR'S FAILURE TO NOTIFY PRIOR TO PERFORMING ADDITIONAL WORK RELEASES OWNER FROM OBLIGATIONS FOR ADDITIONAL PAYMENTS WHICH OTHERWISE MAY BE WARRANTED TO RESOLVE THE CONFLICT.
- SET CATCH BASIN RIMS, AND INVERTS OF SEWERS, DRAINS, AND DITCHES IN ACCORDANCE WITH ELEVATIONS ON THE GRADING AND UTILITY PLANS.
 - PAVEMENTS AND CONCRETE SURFACES: FLUSH
 - ALL SURFACES ALONG ACCESSIBLE ROUTES: FLUSH
- THE LOCATION, SIZE, DEPTH, AND SPECIFICATIONS FOR CONSTRUCTION OF PROPOSED PRIVATE UTILITY SERVICES SHALL BE INSTALLED ACCORDING TO THE REQUIREMENTS PROVIDED BY, AND APPROVED BY, THE RESPECTIVE UTILITY COMPANY (GAS, TELEPHONE, ELECTRIC, FIRE ALARM, ETC.). FINAL DESIGN LOADS AND LOCATIONS TO BE COORDINATED WITH OWNER AND ARCHITECT.
- CONTRACTOR SHALL MAKE ARRANGEMENTS FOR AND SHALL BE RESPONSIBLE FOR PAYING FEES FOR POLE RELOCATION AND FOR THE ALTERATION AND ADJUSTMENT OF GAS, ELECTRIC, TELEPHONE, FIRE ALARM, AND ANY OTHER PRIVATE UTILITIES, WHETHER WORK IS PERFORMED BY CONTRACTOR OR BY THE UTILITIES COMPANY.
- UTILITY PIPE MATERIALS SHALL BE AS FOLLOWS, UNLESS OTHERWISE NOTED ON THE PLAN:
 - WATER PIPES SHALL BE DUCTILE IRON (DI) THICKNESS CLASS 52
 - SANITARY SEWER PIPES SHALL BE POLYVINYL CHLORIDE (PVC) SEWER PIPE
 - STORM DRAINAGE PIPES SHALL BE HIGH DENSITY POLYETHYLENE (HDPE)
 - PIPE INSTALLATION AND MATERIALS SHALL COMPLY WITH THE STATE PLUMBING CODE WHERE APPLICABLE. CONTRACTOR SHALL COORDINATE WITH LOCAL PLUMBING INSPECTOR PRIOR TO BEGINNING WORK.
- CONTRACTOR SHALL COORDINATE WITH ELECTRICAL CONTRACTOR AND SHALL FURNISH EXCAVATION, INSTALLATION, AND BACKFILL OF ELECTRICAL FURNISHED SYSTEMS RELATED ITEMS SUCH AS PULL BOXES, CONDUITS, DUCT BANKS, LIGHT POLE BASES, AND CONCRETE PADS. SITE CONTRACTOR SHALL FURNISH CONCRETE ENCASMENT OF DUCT BANKS IF REQUIRED BY THE UTILITY COMPANY AND AS INDICATED ON THE DRAWINGS.
- CONTRACTOR SHALL EXCAVATE AND BACKFILL TRENCHES FOR GAS IN ACCORDANCE WITH GAS COMPANY'S REQUIREMENTS.
- ALL DRAINAGE AND SANITARY STRUCTURE INTERIOR DIAMETERS (4" MIN) SHALL BE DETERMINED BY THE MANUFACTURER BASED ON THE PIPE CONFIGURATIONS SHOWN ON THESE PLANS AND LOCAL MUNICIPAL STANDARDS. FOR MANHOLES THAT ARE 20 FEET IN DEPTH AND GREATER, THE MINIMUM DIAMETER SHALL BE 5 FEET.

Layout and Materials

- DIMENSIONS ARE FROM THE FACE OF CURB, FACE OF BUILDING, FACE OF WALL AND CENTER LINE OF PAVEMENT MARKINGS, UNLESS OTHERWISE NOTED.
- CURB RADII ARE 3 FEET UNLESS OTHERWISE NOTED.
- CURBING SHALL BE [TYPE] WITHIN THE SITE UNLESS OTHERWISE INDICATED ON THE PLANS.
- SEE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS AND DETAILS CONTIGUOUS TO THE BUILDING, INCLUDING SIDEWALKS, RAMPS, BUILDING ENTRANCES, STAIRWAYS, UTILITY PENETRATIONS, CONCRETE DOOR PADS, COMPACTOR PAD, LOADING DOCKS, BOLLARDS, ETC.
- PROPOSED BOUNDS AND ANY EXISTING PROPERTY LINE MONUMENTATION DISTURBED DURING CONSTRUCTION SHALL BE SET OR RESET BY A PROFESSIONAL LAND SURVEYOR.
- PRIOR TO START OF CONSTRUCTION, CONTRACTOR SHALL VERIFY EXISTING PAVEMENT ELEVATIONS AT INTERFACE WITH PROPOSED PAVEMENTS, AND EXISTING GROUND ELEVATIONS ADJACENT TO DRAINAGE OUTLETS TO ASSURE PROPER TRANSITIONS BETWEEN EXISTING AND PROPOSED FACILITIES.

Demolition

- CONTRACTOR SHALL REMOVE AND DISPOSE OF EXISTING MANMADE SURFACE FEATURES WITHIN THE LIMIT OF WORK INCLUDING BUILDINGS, STRUCTURES, PAVEMENTS, SLABS, CURBING, FENCES, UTILITY POLES, SIGNS, ETC. UNLESS INDICATED OTHERWISE ON THE DRAWINGS. REMOVE AND DISPOSE OF EXISTING UTILITIES, FOUNDATIONS AND UNSUITABLE MATERIAL BENEATH AND FOR A DISTANCE OF 10 FEET BEYOND THE PROPOSED BUILDING FOOTPRINT INCLUDING EXTERIOR COLUMNS.
- EXISTING UTILITIES SHALL BE TERMINATED, UNLESS OTHERWISE NOTED, IN CONFORMANCE WITH LOCAL, STATE AND INDIVIDUAL UTILITY COMPANY STANDARD SPECIFICATIONS AND DETAILS. THE CONTRACTOR SHALL COORDINATE UTILITY SERVICE DISCONNECTS WITH THE UTILITY REPRESENTATIVES.
- CONTRACTOR SHALL DISPOSE OF DEMOLITION DEBRIS IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, ORDINANCES AND STATUTES.
- THE DEMOLITION LIMITS DEPICTED IN THE PLANS IS INTENDED TO AID THE CONTRACTOR DURING THE BIDDING AND CONSTRUCTION PROCESS AND IS NOT INTENDED TO DEPICT EACH AND EVERY ELEMENT OF DEMOLITION. THE CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING THE DETAILED SCOPE OF DEMOLITION BEFORE SUBMITTING ITS BID/PROPOSAL. TO PERFORM THE WORK AND SHALL MAKE NO CLAIMS AND SEEK NO ADDITIONAL COMPENSATION FOR CHANGED CONDITIONS OR UNFORESEEN OR LATENT SITE CONDITIONS RELATED TO ANY CONDITIONS DISCOVERED DURING EXECUTION OF THE WORK.
- UNLESS OTHERWISE SPECIFICALLY PROVIDED ON THE PLANS OR IN THE SPECIFICATIONS, THE ENGINEER HAS NOT PREPARED DESIGNS FOR AND SHALL HAVE NO RESPONSIBILITY FOR THE PRESENCE, DISCOVERY, REMOVAL, ABATEMENT OR DISPOSAL OF HAZARDOUS MATERIALS, TOXIC WASTES OR POLLUTANTS AT THE PROJECT SITE. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR ANY CLAIMS OF LOSS, DAMAGE, EXPENSE, DELAY, INJURY OR DEATH ARISING FROM THE PRESENCE OF HAZARDOUS MATERIAL AND CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE ENGINEER FROM ANY CLAIMS MADE IN CONNECTION THEREWITH. MOREOVER, THE ENGINEER SHALL HAVE NO ADMINISTRATIVE OBLIGATIONS OF ANY TYPE WITH REGARD TO ANY CONTRACTOR AMENDMENT INVOLVING THE ISSUES OF PRESENCE, DISCOVERY, REMOVAL, ABATEMENT OR DISPOSAL OF ASBESTOS OR OTHER HAZARDOUS MATERIALS.

Erosion Control

- PRIOR TO STARTING ANY OTHER WORK ON THE SITE, THE CONTRACTOR SHALL NOTIFY APPROPRIATE AGENCIES AND SHALL INSTALL EROSION CONTROL MEASURES AS SHOWN ON THE PLANS AND AS IDENTIFIED IN FEDERAL, STATE, AND LOCAL APPROVAL DOCUMENTS PERTAINING TO THIS PROJECT.
- CONTRACTOR SHALL INSPECT AND MAINTAIN EROSION CONTROL MEASURES ON A WEEKLY BASIS (MINIMUM) OR AS REQUIRED PER THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP). THE CONTRACTOR SHALL ADDRESS DEFICIENCIES AND MAINTENANCE ITEMS WITHIN TWENTY-FOUR HOURS OF INSPECTION. CONTRACTOR SHALL PROMPTLY DISPOSE OF SEDIMENT SUCH THAT IT DOES NOT ENCUMBER OTHER DRAINAGE STRUCTURES AND PROTECTED AREAS.
- CONTRACTOR SHALL BE FULLY RESPONSIBLE TO CONTROL CONSTRUCTION SUCH THAT SEDIMENTATION SHALL NOT AFFECT REGULATORY PROTECTED AREAS, WHETHER SUCH SEDIMENTATION IS CAUSED BY WATER, WIND, OR DIRECT DEPOSIT.
- CONTRACTOR SHALL PERFORM CONSTRUCTION SEQUENCING SUCH THAT EARTH MATERIALS ARE EXPOSED FOR A MINIMUM OF TIME BEFORE THEY ARE COVERED, SEEDED, OR OTHERWISE STABILIZED TO PREVENT EROSION.
- UPON COMPLETION OF CONSTRUCTION AND ESTABLISHMENT OF PERMANENT GROUND COVER, CONTRACTOR SHALL REMOVE AND DISPOSE OF EROSION CONTROL MEASURES AND CLEAN SEDIMENT AND DEBRIS FROM ENTIRE DRAINAGE AND SEWER SYSTEMS.

Existing Conditions Information

- BASE PLAN: "EXISTING CONDITIONS PLAN OF LAND" DATED MAY 27, 2016, PREPARED BY VHB.
- TOPOGRAPHY: ELEVATIONS ARE BASED ON NAVD 1988.
- GEOTECHNICAL DATA INCLUDING TEST PIT AND BORING LOCATIONS AND ELEVATIONS WERE OBTAINED FROM WEIDLINGER ASSOCIATES INC.

Document Use

- THESE PLANS AND CORRESPONDING CADD DOCUMENTS ARE INSTRUMENTS OF PROFESSIONAL SERVICE AND SHALL NOT BE USED, IN WHOLE OR IN PART, FOR ANY PURPOSE OTHER THAN FOR WHICH IT WAS CREATED WITHOUT THE EXPRESSED, WRITTEN CONSENT OF VHB. ANY UNAUTHORIZED USE, REUSE, MODIFICATION OR ALTERATION, INCLUDING AUTOMATED CONVERSION OF THIS DOCUMENT SHALL BE AT THE USER'S SOLE RISK WITHOUT LIABILITY OR LEGAL EXPOSURE TO VHB.
- CONTRACTOR SHALL NOT RELY SOLELY ON ELECTRONIC VERSIONS OF PLANS, SPECIFICATIONS, AND DATA FILES THAT ARE OBTAINED FROM THE DESIGNERS, BUT SHALL VERIFY LOCATION OF PROJECT FEATURES IN ACCORDANCE WITH THE PAPER COPIES OF THE PLANS AND SPECIFICATIONS THAT ARE SUPPLIED AS PART OF THE CONTRACT DOCUMENTS.
- SYMBOLS AND LEGENDS OF PROJECT FEATURES ARE GRAPHIC REPRESENTATIONS AND ARE NOT NECESSARILY SCALED TO THEIR ACTUAL DIMENSIONS OR LOCATIONS ON THE DRAWINGS. THE CONTRACTOR SHALL REFER TO THE DETAIL SHEET DIMENSIONS, MANUFACTURERS' LITERATURE, SHOP DRAWINGS AND FIELD MEASUREMENTS OF SUPPLIED PRODUCTS FOR LAYOUT OF THE PROJECT FEATURES.

The Residences at Bel Mont McLean District Zone 3 Olmsted Drive Belmont, Massachusetts

No.	Revision	Date	Appr.
1	Response to Peer Review Comments	September 23, 2021	

Designed by	Checked by
JRB	

Local Approvals April 16, 2021

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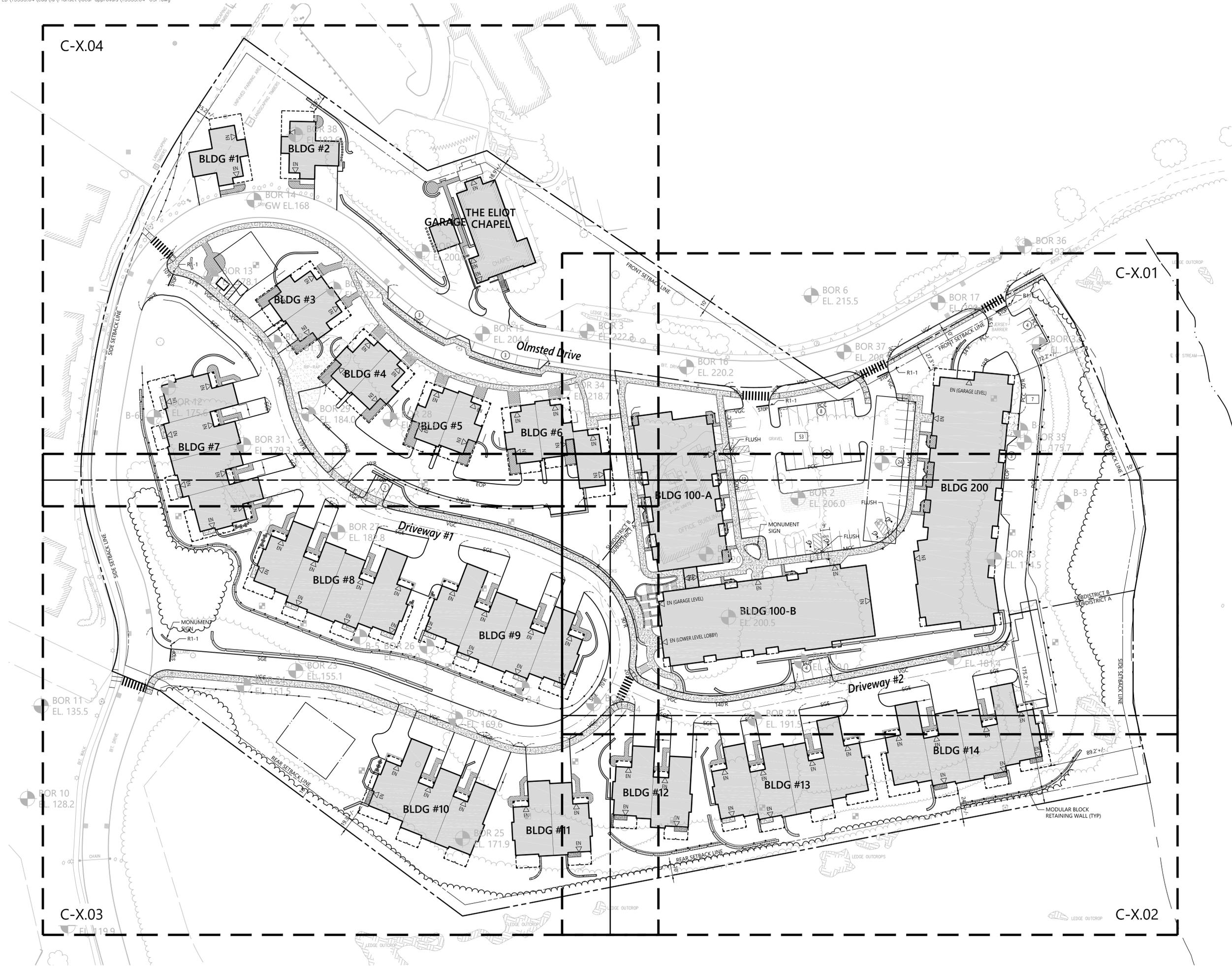
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Legend and General Notes

Sheet **C1.00** of 1 21

Project Number
13555.04



101 Walnut Street
PO Box 9151
Watertown, MA 02471
617.924.1770



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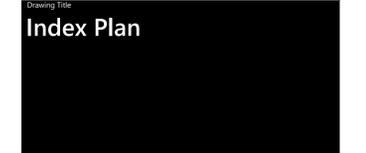
The Residences at Bel Mont McLean District Zone 3 Olmsted Drive Belmont, Massachusetts

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C2.00

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13555.04

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101 Walnut Street
PO Box 9151
Watertown, MA 02471
617.924.1770

Zoning Summary Chart

Zoning District:	McLean Senior Living			
	Subdistrict A		Subdistrict B	
Zoning Regulation Requirements	Required*	Provided	Required*	Provided
MINIMUM FRONT SETBACK	10 Feet	17.5 Feet	10 Feet	27.3 Feet
MINIMUM SIDE SETBACK	10 Feet	15.2 Feet	10 Feet	72.2 Feet
MINIMUM REAR SETBACK	10 Feet	19.3 Feet	10 Feet	175.2 Feet
MAXIMUM STORIES	2.5	2.5	5	4
MAXIMUM BUILDING HEIGHT	36 Feet	<36 Feet	N/A	N/A
MAXIMUM BUILDING HEIGHT ABOVE OVERALL AVERAGE GRADE**	N/A	N/A	68 Feet	64.3 Feet
MAXIMUM BUILDING HEIGHT ABOVE HIGH SIDE AVERAGE GRADE**	N/A	N/A	58 Feet	58 Feet
MAXIMUM LOT COVERAGE	30 %	23.4 %	40 %	31.0 %
MAXIMUM IMPERVIOUS SURFACE COVERAGE	60 %	53.1 %	70 %	65.5 %
MINIMUM OPEN SPACE	40 %	46.9 %	30 %	34.5 %

* Zoning regulation requirements as specified in the Belmont Zoning Ordinance, amendment to the McLean zoning district August 26, 2020.
**Per section 6B.3.2.3, for the purposes of determining the height of the building in Subdistrict B, if and only if the lowest floor of the building is used for parking, then an alternative height limit shall be applied.

Parking Summary Chart

Description	Size		Spaces		Duplex/Townhome		Garage Spaces		Surface Spaces		Total
	Required	Provided	Required	Provided	Provided	Provided	Provided	Provided	Provided		
STANDARD SPACES	9 x 18	9 x 18	238	80	94	56	230				
STANDARD ACCESSIBLE SPACES	8 x 18	8 x 18	6	-	4	3	7				
VAN ACCESSIBLE SPACES	8 x 18	8 x 18	1	-	1	1	2				
TOTAL SPACES			245	80	99	60	239				

NOTES:
• 12 GUEST SPACES AND 1 MAIL KIOSK SPACE PROVIDED FOR SUBDISTRICT A USE

Parking Requirements:

FLATS	110 UNIT	x	1.5 SPACES	/	1 UNIT	=	165 SPACES
DUPLEX/TOWNHOME	38 UNIT	x	2 SPACES	/	1 UNIT	=	76 SPACES
CHAPEL	2 UNIT	x	2 SPACES	/	1 UNIT	=	4 SPACES
TOTAL PARKING REQUIRED							245 SPACES



The Residences at Bel Mont
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Olmsted Drive
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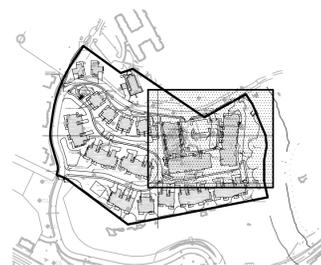
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Layout and Materials Plan



C3.00
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Project Number: 13555.04



101 Walnut Street
PO Box 9151
Watertown, MA 02471
617.924.1770



Key
Not To Scale

Sign Summary

M.U.T.C.D. Number	Specification Width	Specification Height	Desc.
R1-1	30"	30"	
R7-8	12"	18"	
R7-8P	12"	6"	



0 10 20 40 Feet

The Residences at Bel Mont
McLean District Zone 3
Olmsted Drive
Belmont, Massachusetts

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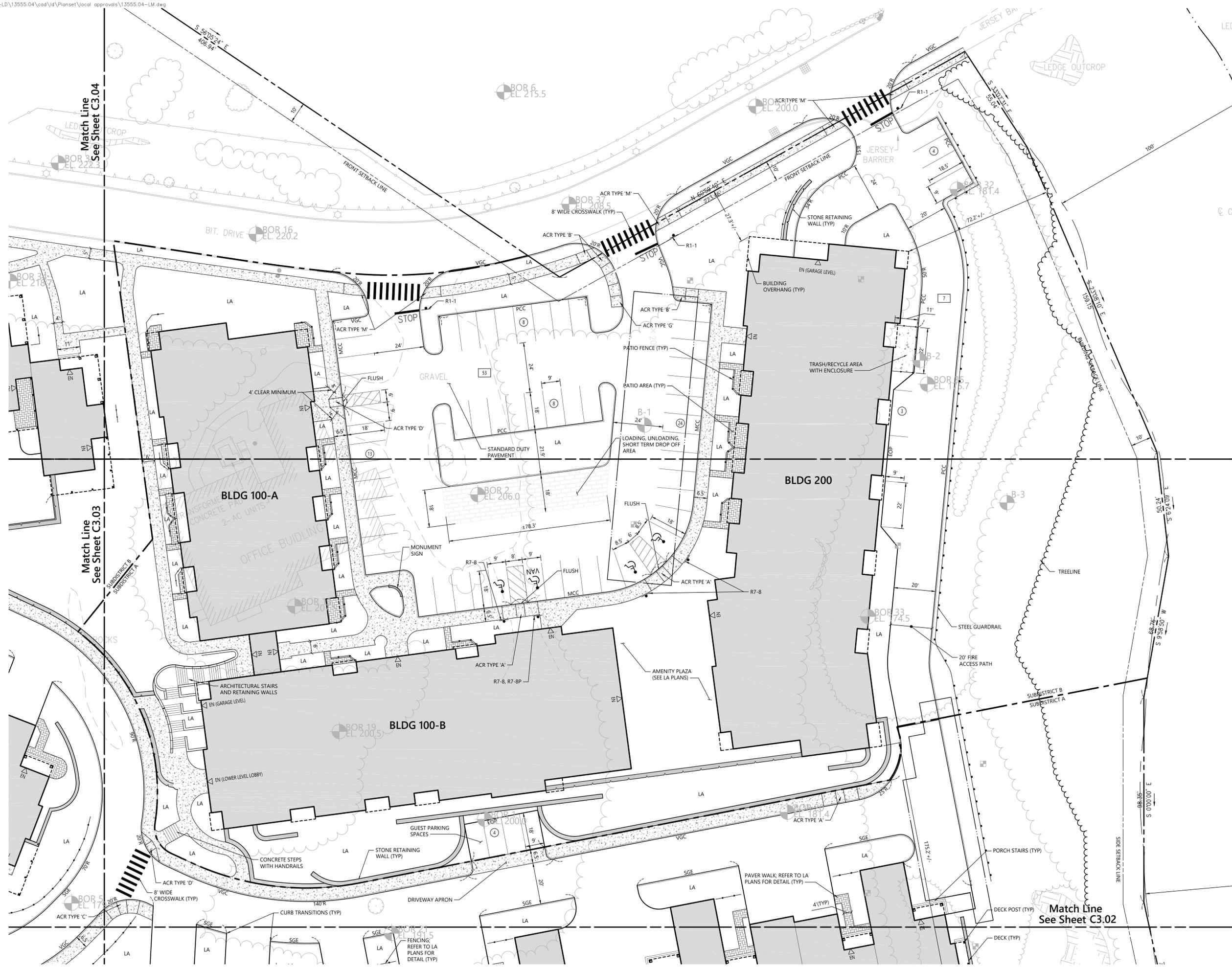
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Layout and Materials Plan



C3.01

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13555.04



Match Line
See Sheet C3.04

Match Line
See Sheet C3.03

Match Line
See Sheet C3.02



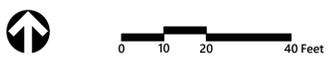
101 Walnut Street
PO Box 9151
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Key
Not To Scale

Sign Summary

M.U.T.C.D. Number	Specification Width	Specification Height	Desc.
R7-8	12"	18"	RESERVED PARKING
R7-8P	12"	6"	VAN ACCESSIBLE



The Residences at Bel Mont
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Layout and Materials Plan

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13555.04





Key
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Sign Summary

M.U.T.C.D. Number	Specification Width	Specification Height	Desc.
R1-1	30"	30"	
R7-8	12"	18"	



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Layout and Materials Plan

Drawing Number: **C3.04**
Sheet 7 of 21
Project Number: 13555.04




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101 Walnut Street
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617.924.1770



Key
Not To Scale



0 10 20 40 Feet

The Residences at Bel Mont
McLean District Zone 3
Olmsted Drive
Belmont, Massachusetts

No.	Revision	Date	Appr'd.
1	Response to Peer Review Comments	September 23, 2021	

Designed by: **JRB** Checked by: _____
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Local Approvals April 16, 2021

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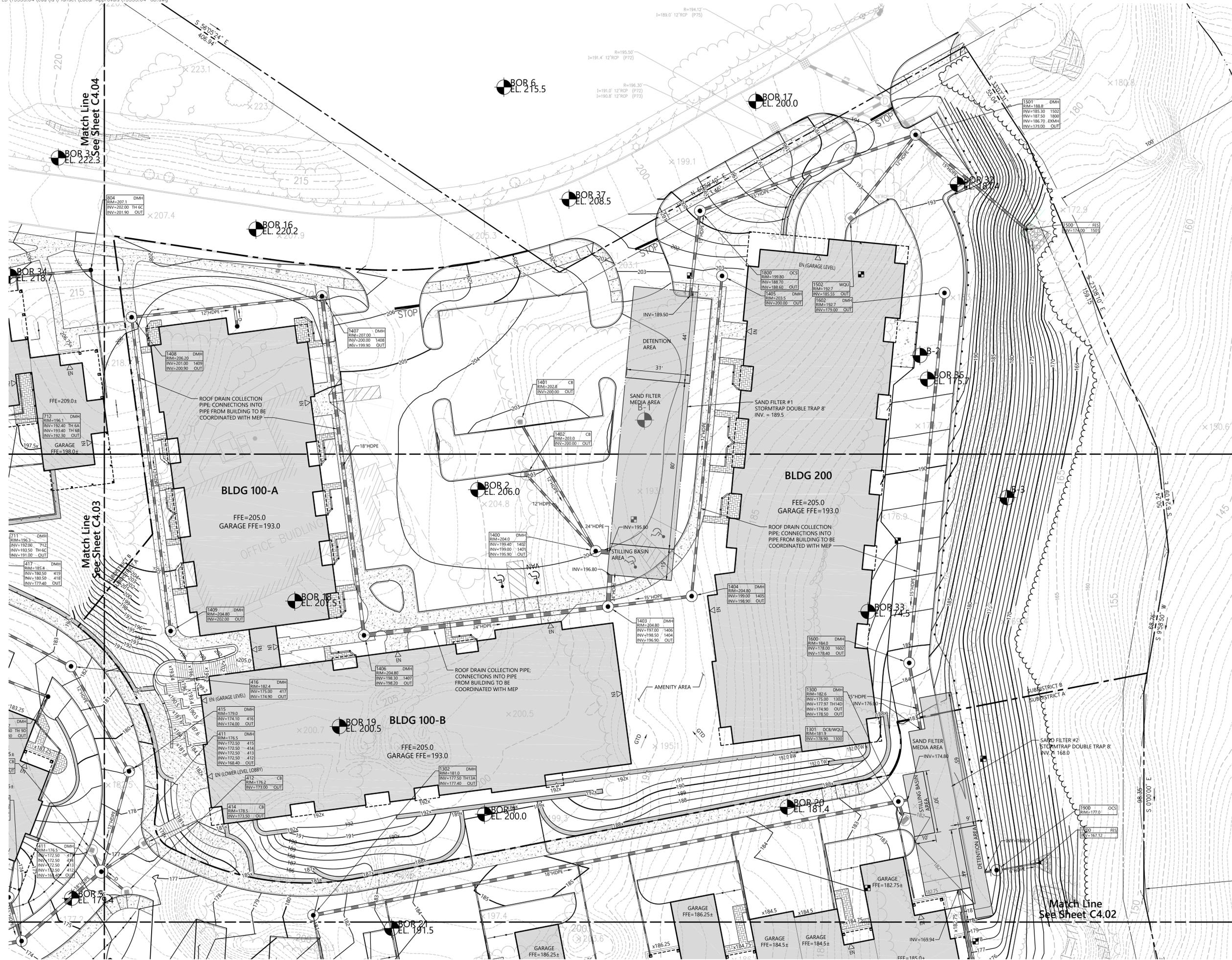
Grading and Drainage Plan

Drawing Number

C4.01

Sheet 8 of 21

Project Number
13555.04



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0 10 20 40 Feet
The Residences at Bel Mont
McLean District Zone 3
Olmsted Drive
Belmont, Massachusetts

No.	Revision	Date	App'd
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Drawing Title



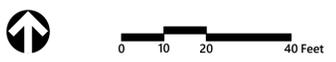
Drawing Number
C4.02
Sheet **9** of **21**
Project Number
13555.04



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The Residences at Bel Mont
McLean District Zone 3
Olmsted Drive
Belmont, Massachusetts

No.	Revision	Date	Appr.
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Grading and Drainage Plan

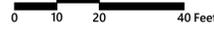
Drawing Number
C4.03
Sheet **10** of **21**
Project Number
13555.04



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The Residences at Belmont
McLean District Zone 3
Olmsted Drive
Belmont, Massachusetts

No.	Revision	Date	Appr.
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Issued for: Local Approvals
Date: April 16, 2021

Not Approved for Construction
Drawing Title: **Grading and Drainage Plan**

Drawing Number: **C4.04**

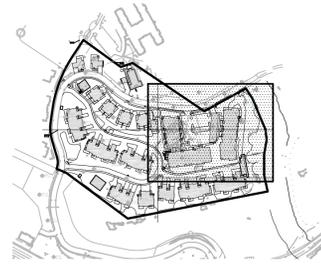
Sheet 11 of 21

Project Number: 13555.04

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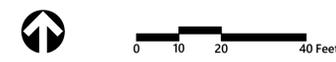
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Match Line
See Sheet C5.04

Match Line
See Sheet C5.03

Match Line
See Sheet C5.02



The Residences at Bel Mont
McLean District Zone 3
Olmsted Drive
Belmont, Massachusetts

No.	Revision	Date	Appr'd.
1	Response to Peer Review Comments	September 23, 2021	

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Utility Plan



C5.01

Sheet **12** of **21**

Project Number
13555.04

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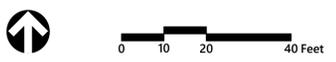


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Key
Not To Scale

NOTE:
1. ALL TOWNHOUSE UNITS TO RECEIVE WATER, GAS AND ELECTRICAL SERVICE CONNECTIONS FROM MAIN UTILITIES IN ROADWAY. LOCATIONS OF SERVICES AND METERS TO BE COORDINATED WITH UTILITY PROVIDER.



The Residences at Bel Mont McLean District Zone 3 Olmsted Drive Belmont, Massachusetts

No.	Revision	Date	App'd
1	Response to Peer Review Comments	September 23, 2021	

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Local Approvals April 16, 2021

Not Approved for Construction
Drawing Title: **Utility Plan**
Drawing Number: _____



C5.02

Sheet **13** of **21**

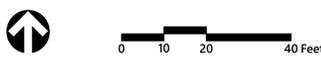
Project Number: **13555.04**





Key
Not To Scale

NOTE:
1. ALL TOWNHOUSE UNITS TO RECEIVE WATER, GAS AND ELECTRICAL SERVICE CONNECTIONS FROM MAIN UTILITIES IN ROADWAY. LOCATIONS OF SERVICES AND METERS TO BE COORDINATED WITH UTILITY PROVIDER.



The Residences at Bel Mont McLean District Zone 3 Olmsted Drive Belmont, Massachusetts

No.	Revision	Date	App'd.
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Local Approvals
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Utility Plan

Drawing Number
C5.03
Sheet **14** of **21**
Project Number
13555.04



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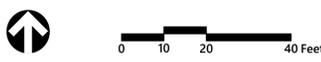
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NOTE:
1. ALL TOWNHOUSE UNITS TO RECEIVE WATER, GAS AND ELECTRICAL SERVICE CONNECTIONS FROM MAIN UTILITIES IN ROADWAY. LOCATIONS OF SERVICES AND METERS TO BE COORDINATED WITH UTILITY PROVIDER.



Match Line
See Sheet C5.01

Match Line
See Sheet C5.03



The Residences at Bel Mont
McLean District Zone 3
Olmsted Drive
Belmont, Massachusetts

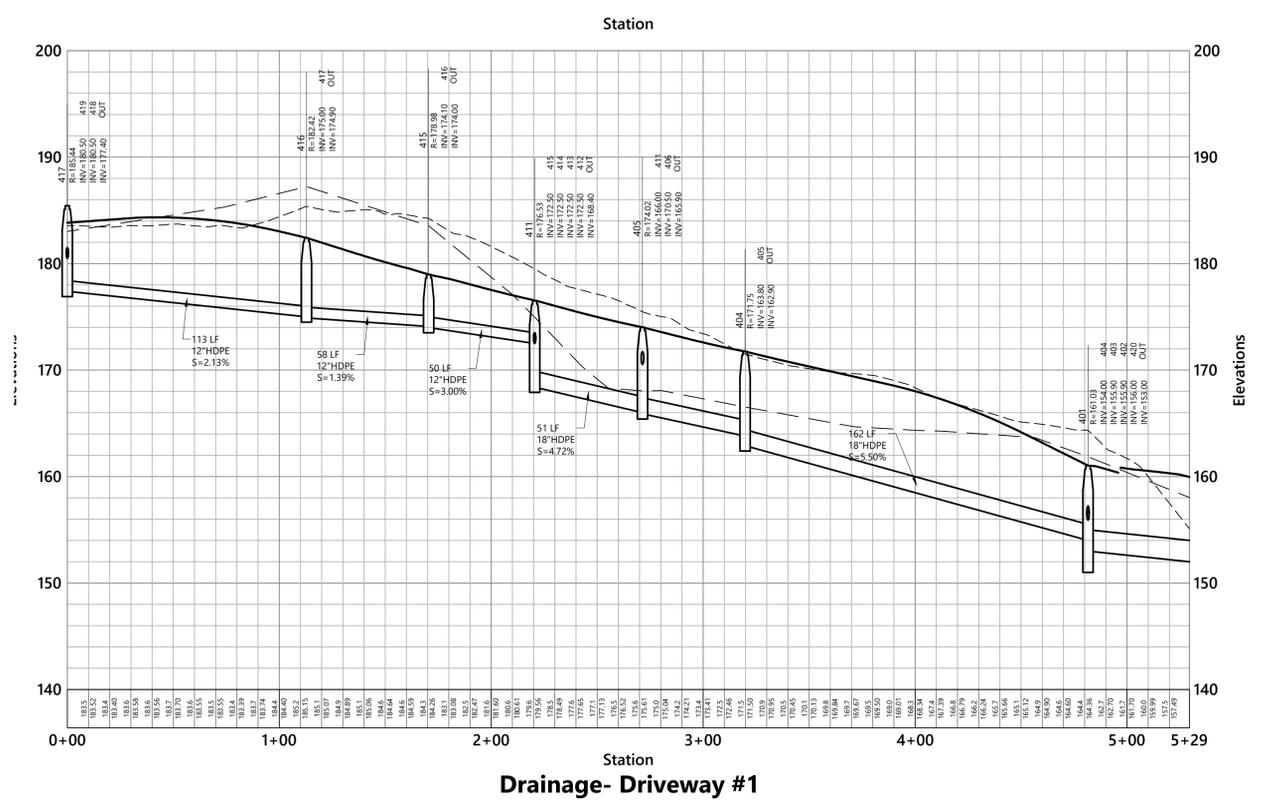
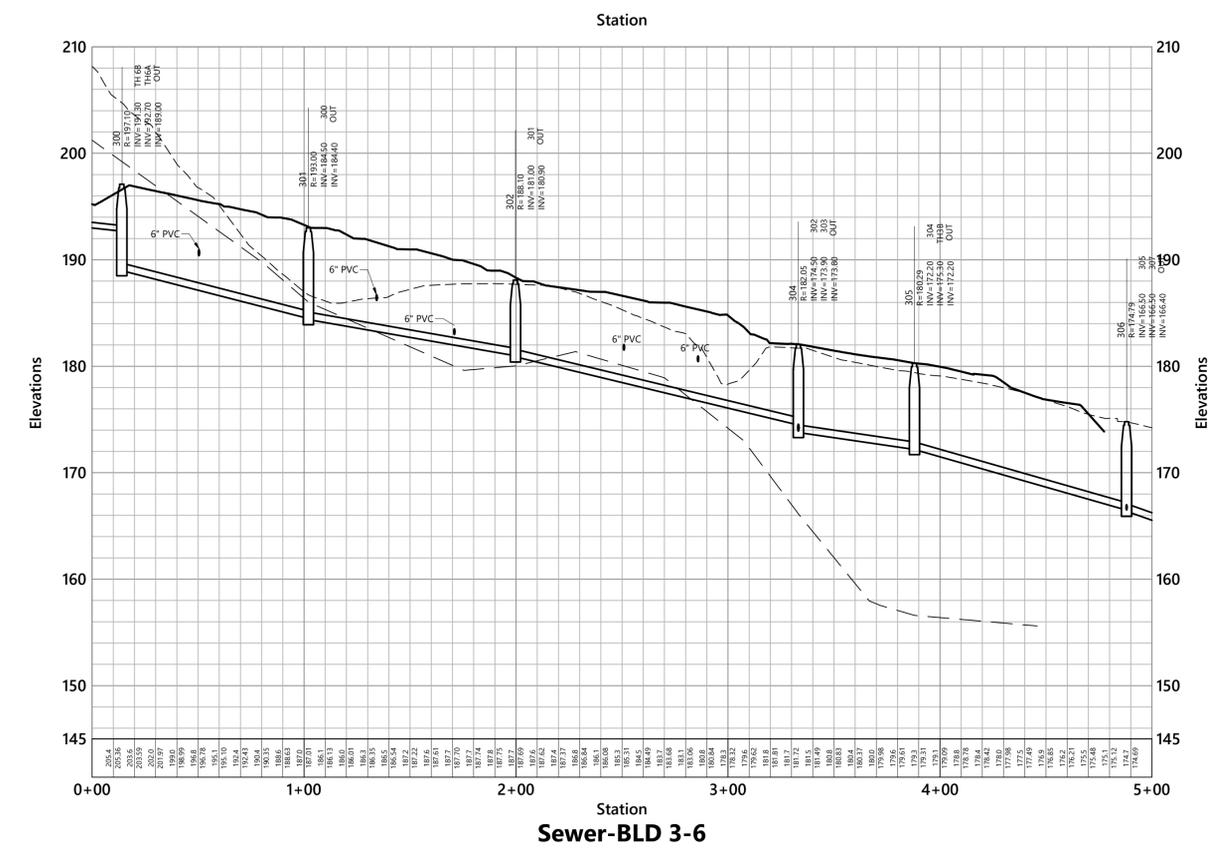
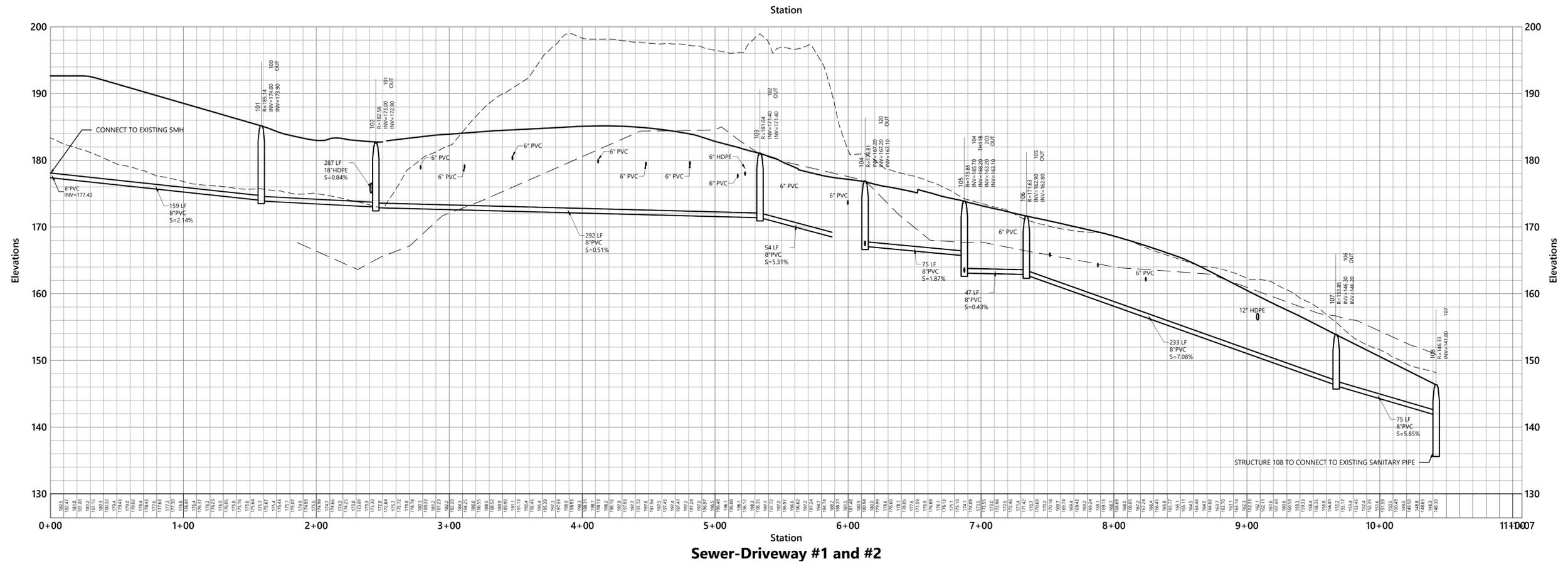
No.	Revision	Date	Appr.
1	Response to Peer Review Comments	September 23, 2021	

Designed by: **JRB** Checked by: _____
Issued for: **Local Approvals** Date: **April 16, 2021**

Not Approved for Construction
Utility Plan



C5.04
Sheet **15** of **21**
Project Number **13555.04**



The Residences at Bel Mont
McLean District Zone 3
Olmsted Drive
Belmont, Massachusetts

No.	Revision	Date	Appr'd.
1	Response to Peer Review Comments	September 23, 2021	

Designed by: **JRB** Checked by: _____
Issued for: **Local Approvals** Date: **April 16, 2021**

Not Approved for Construction
Drawing Title: **Sewer and Drain Profiles**



C6.01
Sheet 16 of 21
Project Number: 13555.04



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THIS BASE PLAN ILLUSTRATES THE MINIMUM PERIMETER EROSION & SEDIMENTATION CONTROLS. THE SWPPP OPERATOR SHALL UPDATE THIS PLAN THROUGHOUT THE DURATION OF CONSTRUCTION TO SHOW THE LOCATIONS OF PROPOSED/CONSTRUCTED EBS CONTROLS DEEMED NECESSARY TO MEET THE REQUIREMENTS OF THE NPDES CGP.

EROSION AND SEDIMENTATION CONTROL TECHNIQUES
THE EROSION AND SEDIMENTATION CONTROLS SHOWN HEREON ARE PERIMETER MEASURES ONLY AND ARE PROVIDED AS A STARTING POINT FOR CONTRACTOR'S STORMWATER POLLUTION PREVENTION PLAN (SWPPP). THE CONTRACTOR IS REQUIRED TO PROVIDE ADDITIONAL INTERIM EROSION AND SEDIMENTATION CONTROLS, INCLUDING BUT NOT LIMITED TO THOSE LISTED BELOW. THE CONTRACTOR SHALL MANAGE EROSION AND SEDIMENTATION DURING CONSTRUCTION TO PREVENT IMPACTS TO RESOURCE AREAS, ROADWAYS, AND ADJACENT PROPERTIES. THE CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN THE EROSION AND SEDIMENTATION CONTROLS THROUGHOUT THE DURATION OF CONSTRUCTION.

CATCH BASIN PROTECTION
NEWLY CONSTRUCTED AND EXISTING CATCH BASINS WILL BE PROTECTED WITH SILT SACKS THROUGHOUT CONSTRUCTION.

GRAVEL AND CONSTRUCTION ENTRANCE/EXIT
A TEMPORARY CRUSHED-STONE CONSTRUCTION ENTRANCE/EXIT WILL BE CONSTRUCTED. A CROSS SLOPE WILL BE PLACED IN THE ENTRANCE TO DIRECT RUNOFF TO THE SEDIMENT TRAP.

VEGETATIVE SLOPE STABILIZATION
STABILIZATION OF OPEN SOIL SURFACES WILL BE IMPLEMENTED WITHIN 14 DAYS AFTER GRADING OR CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED. UNLESS THERE IS SUFFICIENT SNOW COVER TO PROHIBIT IMPLEMENTATION, VEGETATIVE SLOPE STABILIZATION WILL BE USED TO MINIMIZE EROSION ON SLOPES OF 3:1 OR FLATTER. ANNUAL GRASSES SUCH AS ANNUAL RYE WILL BE USED TO ENSURE RAPID GERMINATION AND PRODUCTION OF ROOTMASSES. PERMANENT STABILIZATION WILL BE COMPLETED WITH THE PLANTING OF PERENNIAL GRASSES OR LEGUMES. ESTABLISHMENT OF TEMPORARY AND PERMANENT VEGETATIVE COVER MAY BE ESTABLISHED BY HYDRO SEEDING OR SOODING. A SUITABLE TOPSOIL, GOOD SEEDBED PREPARATION, AND ADEQUATE LIME, FERTILIZER AND WATER WILL BE PROVIDED FOR EFFECTIVE ESTABLISHMENT OF THESE VEGETATIVE STABILIZATION METHODS. MULCH WILL ALSO BE USED AFTER PERMANENT SEEDING TO PROTECT SOIL FROM THE IMPACT OF FALLING RAIN AND TO INCREASE THE CAPACITY OF THE SOIL TO ABSORB WATER.

TEMPORARY SEDIMENT BASINS
TEMPORARY SEDIMENT BASINS WILL BE DESIGNED EITHER AS EXCAVATIONS OR BERMED STORMWATER DETENTION STRUCTURES (DEPENDENT ON GRADING) THAT WILL RETAIN RUNOFF FOR A SUFFICIENT PERIOD OF TIME TO ALLOW SUSPENDED SOIL PARTICLES TO SETTLE OUT PRIOR TO DISCHARGE. THESE TEMPORARY BASINS WILL BE LOCATED BASED ON CONSTRUCTION NEEDS AS DETERMINED BY THE CONTRACTOR AND OUTLET DEVICES WILL BE DESIGNED TO CONTROL VELOCITY AND SEDIMENT. POINTS OF DISCHARGE FROM SEDIMENT BASINS WILL BE STABILIZED TO MINIMIZE EROSION AT A MINIMUM SEDIMENTATION BASINS SHALL BE DESIGNED AND CONSTRUCTED TO PROVIDE STORAGE FOR THE VOLUME OF RUNOFF GENERATED FROM A 2-YR, 24-HR DESIGN STORM, OR AT LEAST 3,000 CUBIC FEET OF STORAGE PER ACRE DRAINING TO THE BASIN.

STOCKPILE MANAGEMENT
SLOPES OF STOCKPILED MATERIAL SHALL BE NO STEEPER THAN 2:1. STOCKPILES NOT USED WITHIN 30 DAYS NEED TO BE SEEDED AND MULCHED IMMEDIATELY AFTER FORMATION OF THE STOCKPILE. STRAW BALES AND SILT FENCE ARE TO BE PLACED AROUND THE STOCKPILE AREA APPROXIMATELY 10 FEET FROM THE TOE OF SLOPE.

DUST CONTROL
TREAT EXPOSED SURFACES TO REDUCE AND CONTROL DUST AS NECESSARY TO COMPLY WITH THE NPDES CGP REQUIREMENTS.

TEMPORARY EROSION AND SEDIMENTATION CONTROL MAINTENANCE (THROUGHOUT CONSTRUCTION)
THE SITE CONTRACTOR SHALL INSPECT AND MAINTAIN EROSION CONTROL MEASURES ON A BIWEEKLY BASIS (MINIMUM) OR AS REQUIRED PER THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP). THE CONTRACTOR SHALL ADDRESS DEFICIENCIES AND MAINTENANCE ITEMS WITHIN TWENTY-FOUR HOURS OF INSPECTION. CONTRACTOR SHALL PROPERLY DISPOSE OF SEDIMENT SUCH THAT IT DOES NOT ENCUMBER OTHER DRAINAGE STRUCTURES AND PROTECTED AREAS. RECORDS OF THE INSPECTIONS WILL BE PREPARED AND MAINTAINED ON-SITE BY THE CONTRACTOR.

SILT SHALL BE REMOVED FROM BEHIND BARRIERS IF GREATER THAN 6-INCHES DEEP OR AS NEEDED.

DAMAGED OR DETERIORATED ITEMS WILL BE REPAIRED IMMEDIATELY AFTER IDENTIFICATION.

SEDIMENT THAT IS COLLECTED IN STRUCTURES SHALL BE DISPOSED OF PROPERLY AND COVERED IF STORED ON-SITE.

EROSION CONTROL STRUCTURES SHALL REMAIN IN PLACE UNTIL ALL DISTURBED EARTH HAS BEEN SECURELY STABILIZED. AFTER REMOVAL OF STRUCTURES, DISTURBED AREAS SHALL BE REGRADED AND STABILIZED AS SOON AS PRACTICAL.

MAINTAIN THE CONSTRUCTION ENTRANCE IN A CONDITION WHICH WILL PREVENT TRACKING AND WASHING OF SEDIMENTS ONTO PAVED SURFACES.

INFILTRATION AREA PROTECTION DURING CONSTRUCTION
FOR THE LONG TERM FUNCTION OF THE INFILTRATION BASIN(S) STRUCTURE(S), CARE SHALL BE TAKEN IN THE INFILTRATION AREAS DURING CONSTRUCTION. THE CONTRACTOR SHALL EMPLOY THE FOLLOWING MINIMUM BEST MANAGEMENT PRACTICES (BMPs):

1. INFILTRATION AREAS SHALL NOT BE USED AS TEMPORARY CONSTRUCTION SEDIMENTATION BASINS WITHOUT THE PRIOR APPROVAL OF THE ENGINEER. IF INFILTRATION AREAS ARE USED AS TEMPORARY SEDIMENTATION BASINS DURING CONSTRUCTION, THEN THE SOILS SHALL BE EXCAVATED A MINIMUM OF 2' FROM THE TEMPORARY BASIN BOTTOM TO REMOVE CLOGGED SOILS.
2. STORMWATER RUNOFF FROM EXPOSED SURFACES SHALL BE DIRECTED AWAY FROM THE INFILTRATION BASIN(S) STRUCTURE(S) DURING CONSTRUCTION.
3. CONSTRUCTION EQUIPMENT, VEHICULAR TRAFFIC, PARKING OF VEHICLES, AND STOCKPILING OF CONSTRUCTION MATERIALS SHALL BE LOCATED OUTSIDE OF THE INFILTRATION AREAS.
4. EXCAVATION FOR CONSTRUCTION OF THE INFILTRATION BASIN(S) STRUCTURE(S) SHALL ENSURE THAT THE SOIL AT THE BOTTOM OF THE EXCAVATION IS NOT COMPACTED OR SMEARED.
5. THE PERIMETER OF THE INFILTRATION AREAS SHALL BE STAKED AND FLAGGED TO PREVENT THE USE OF THE AREA FOR ACTIVITIES THAT MIGHT DAMAGE THE INFILTRATION ABILITY OF THE SYSTEM.



0 20 40 80 Feet

The Residences at Bel Mont
McLean District Zone 3
Olmsted Drive
Belmont, Massachusetts

No.	Revision	Date	Appr'd.
1	Response to Peer Review Comments	September 23, 2021	

Designed by: JRB
Checked by:
Issued for: Local Approvals
Date: April 16, 2021

Not Approved for Construction
Drawing Title:
Erosion and Sediment Control Plan

Drawing Number: **C7.01**
Sheet 17 of 21
Project Number: 13555.04



The Residences at Bel Mont
McLean District Zone 3
Olmsted Drive
Belmont, Massachusetts

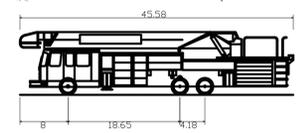
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Local Approvals

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Fire Truck and Traffic Circulation Plan



Boston Aerial Tower
Overall Length 45.58ft
Overall Width 18.65ft
Overall Body Height 4.18ft
Min Body Ground Clearance 0.862ft
Track Width 8.00ft
Lock-to-lock time 6.00s
Max Steering Angle (Virtual) 25.90°

45,580ft
8,000ft
10,432ft
0.862ft
8,000ft
6.00s
25.90°



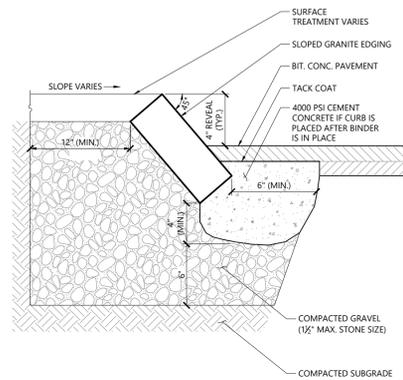
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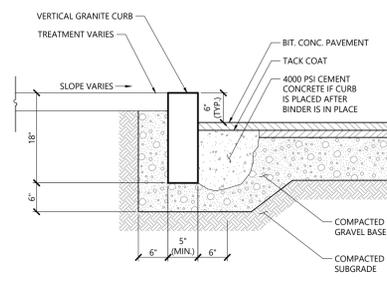
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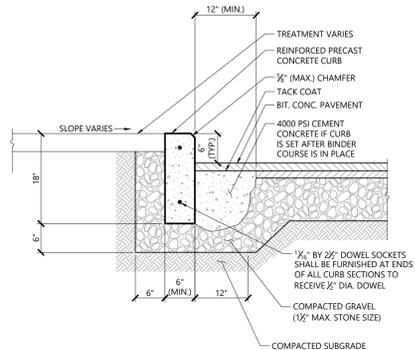
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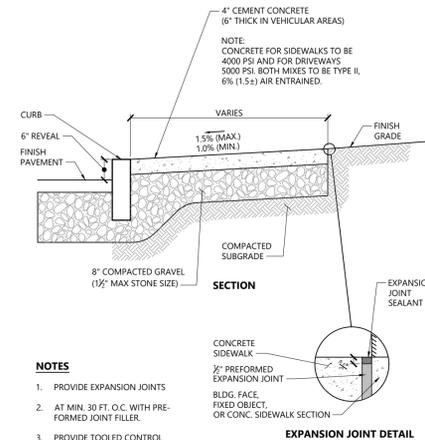
Sloped Granite Edging (SGE) 1/16
N.T.S. Source: VHB LD_401



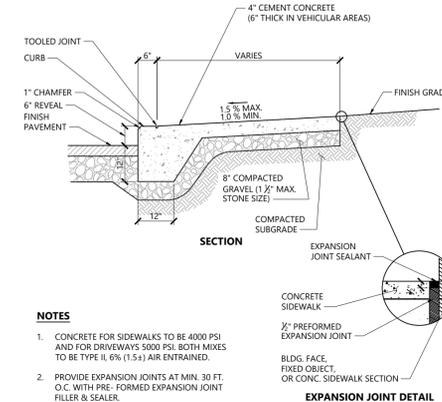
Vertical Granite Curb - Type VB (VGC-VB) 3/19
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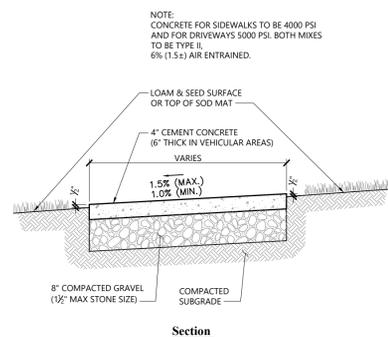
Precast Concrete Curb (PCC) 1/16
N.T.S. Source: VHB LD_404



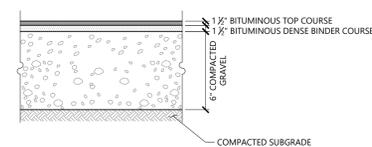
Concrete Sidewalk 1/16
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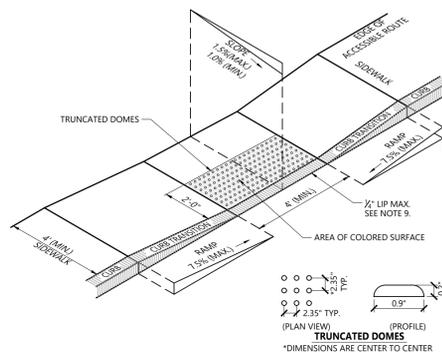
Monolithic Concrete Curb (MCC) & Sidewalk 1/16
N.T.S. Source: VHB LD_421



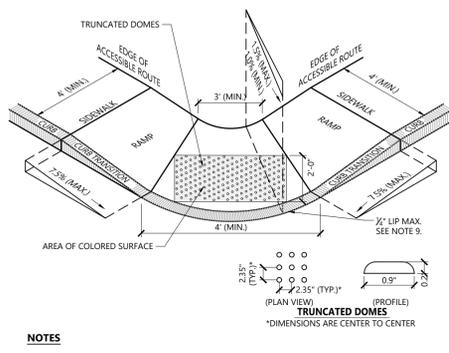
Concrete Sidewalk in Landscape Area 1/16
N.T.S. Source: VHB LD_426



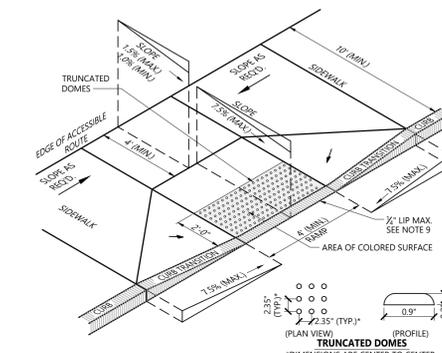
Bituminous Concrete Pavement Sections 1/16
N.T.S. Source: VHB REV LD_430S



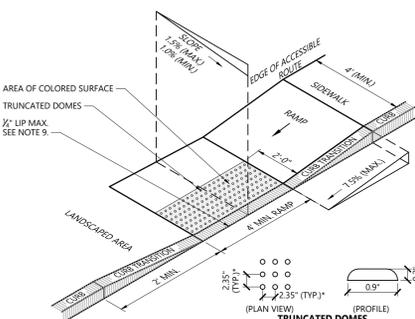
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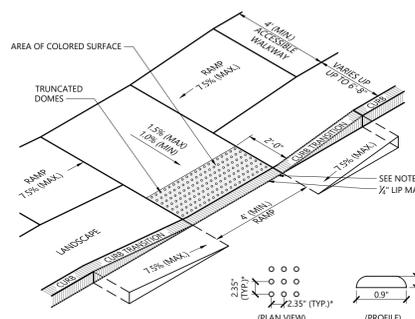
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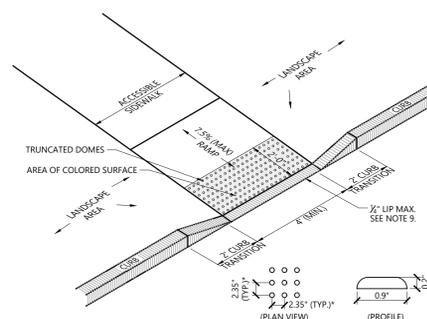
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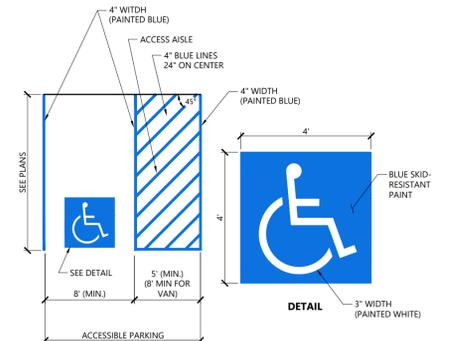
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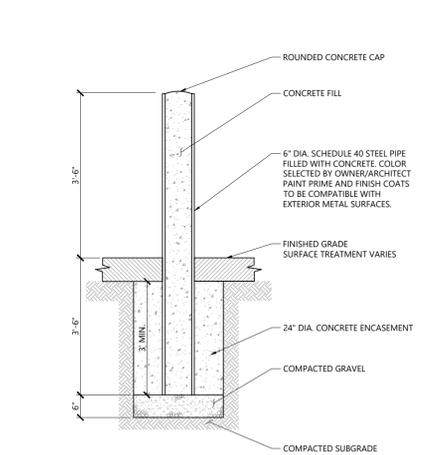
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N.T.S. Source: VHB LD_512



Accessible Parking Space 1/16
N.T.S. Source: VHB LD_552B



Bollard 9/17
N.T.S. Source: VHB LD_700

**The Residences at Bel Mont
McLean District Zone 3**

Olmsted Drive
Belmont, Massachusetts

No.	Revision	Date	Appr'd.
1	Response to Peer Review Comments	September 23, 2021	

Designed by: JRB Checked by:

Issued for: Local Approvals Date: April 16, 2021

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Site Details

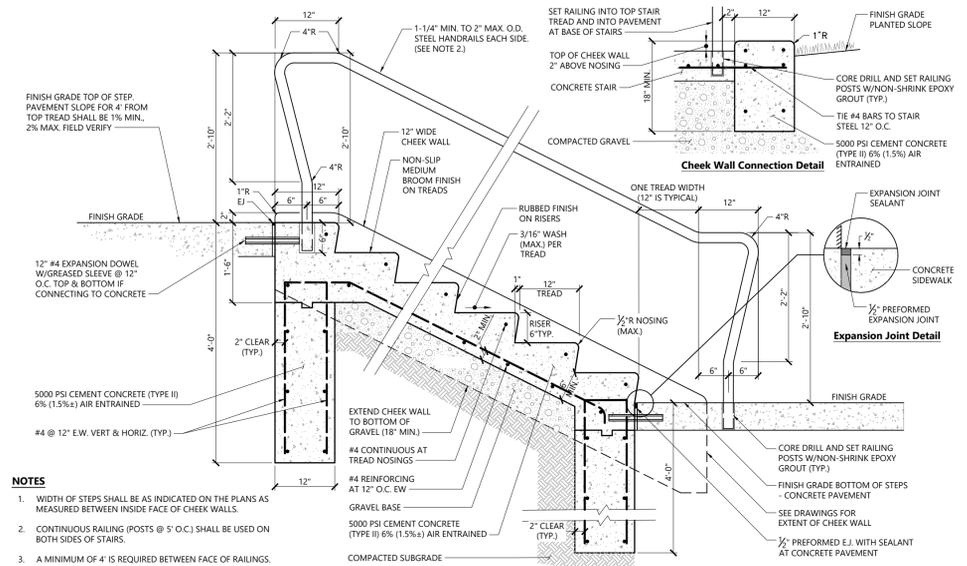


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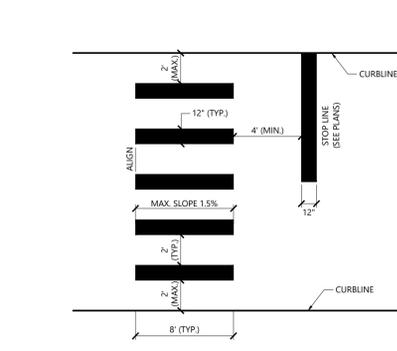
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Project Number: 13555.04

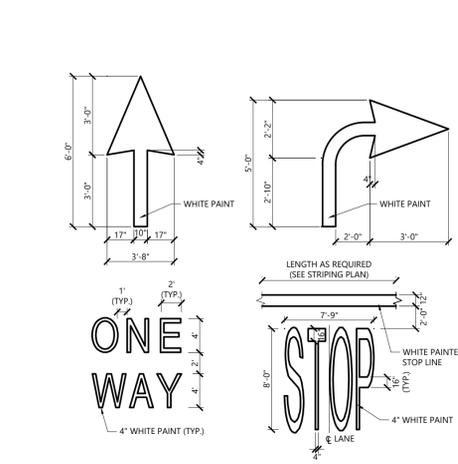
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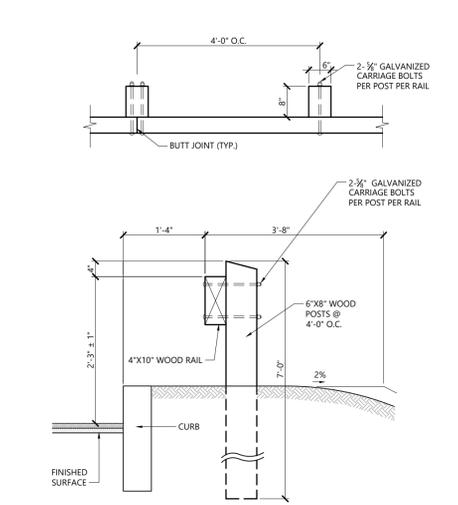
Concrete Steps with Handrails 4/16
N.T.S. Source: VHB LD_765_MA



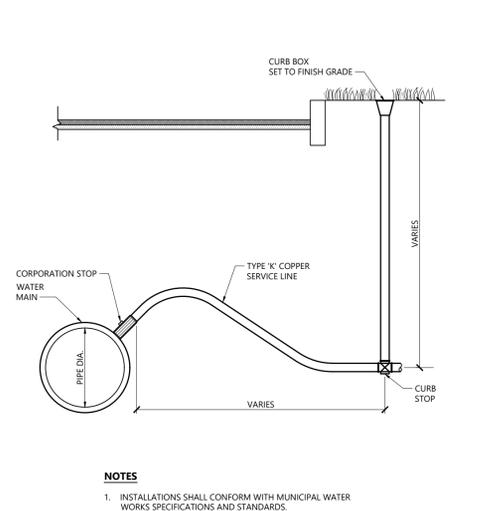
Crosswalk 1/16
N.T.S. Source: VHB LD_553



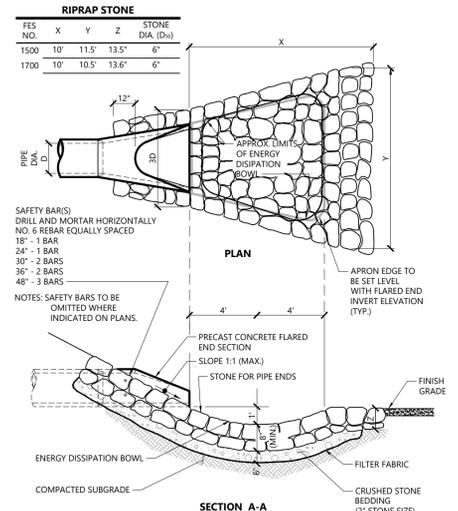
Painted Pavement Markings - On Site 1/16
N.T.S. Source: VHB LD_554



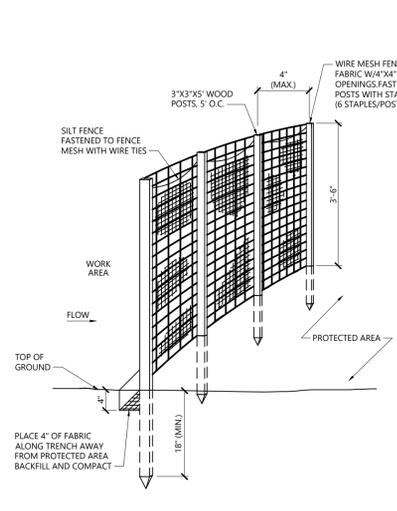
Wood Guardrail 1/16
N.T.S. Source: VHB LD_450



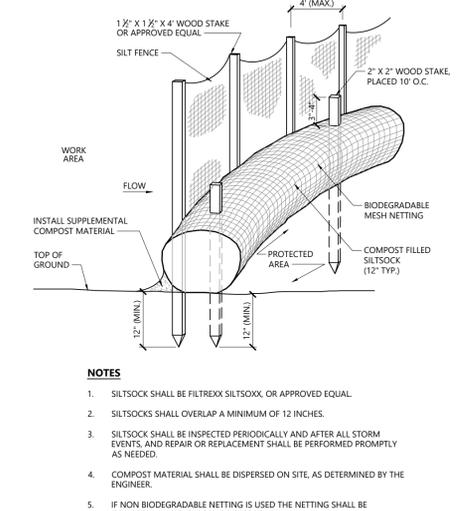
Corporation/Curb Stop with Box 1/16
N.T.S. Source: VHB LD_256



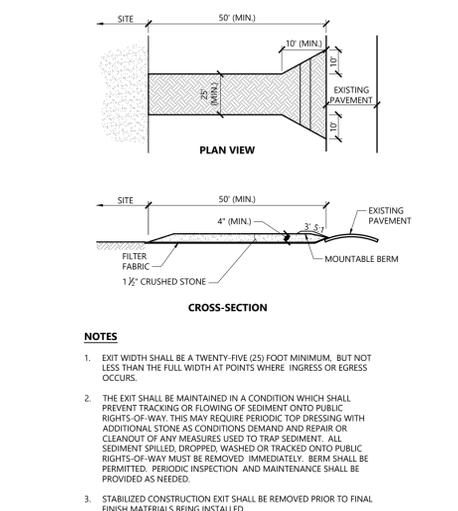
Flared End Section (FES) with Stone Protection 3/19
N.T.S. Source: VHB REV LD_134



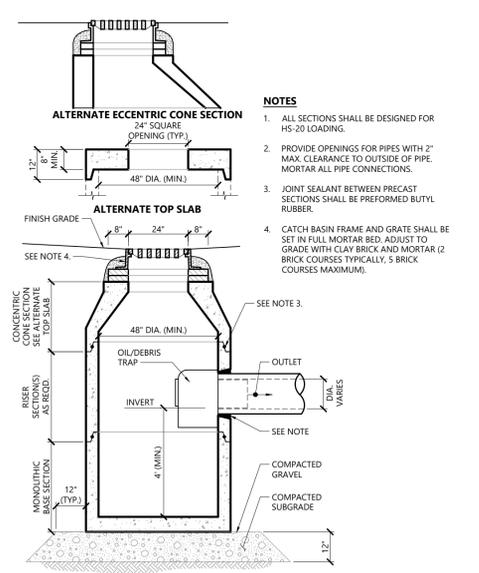
Heavy Duty Silt Fence Barrier 1/16
N.T.S. Source: VHB LD_651



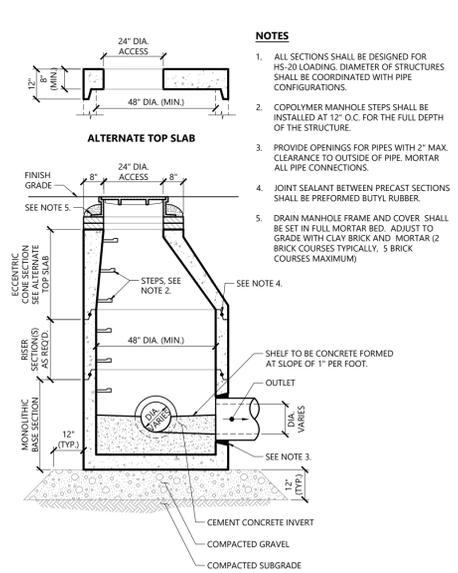
Siltsock / Silt Fence Barrier 1/16
N.T.S. Source: VHB LD_658-A



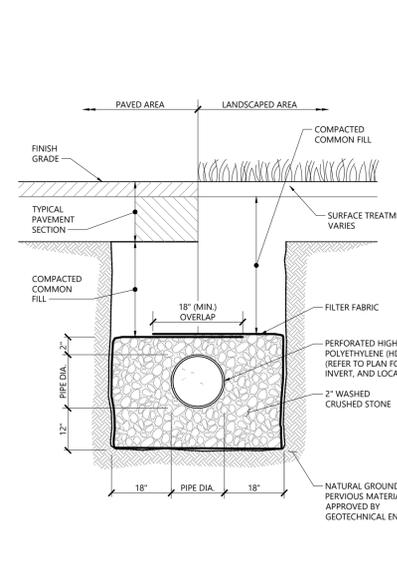
Stabilized Construction Exit 1/16
N.T.S. Source: VHB LD_682



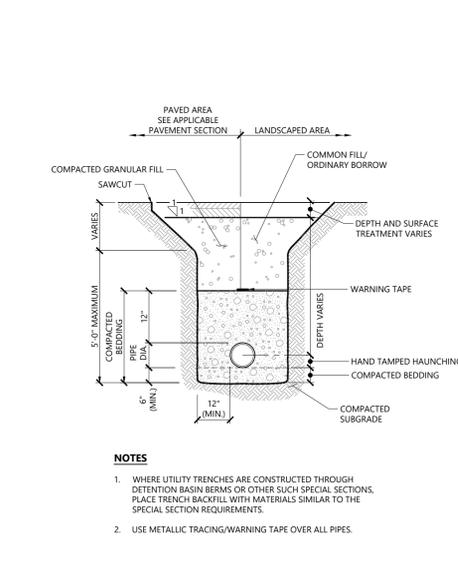
Catch Basin (CB) With Oil/Debris Trap 1/16
N.T.S. Source: VHB LD_101



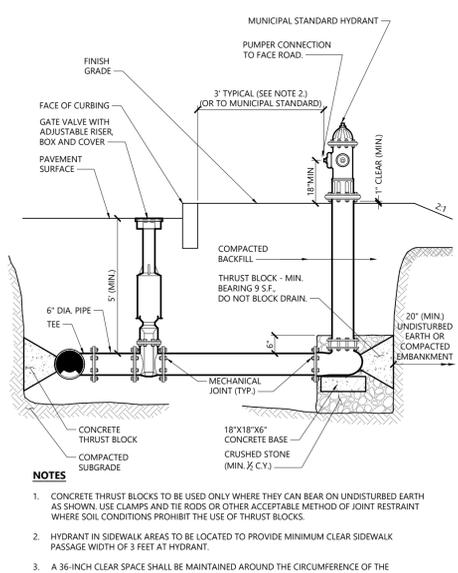
Drain Manhole (DMH) 1/16
N.T.S. Source: VHB LD_115



Subsurface Recharge Trench 1/16
N.T.S. Source: VHB LD_181



Utility Trench 1/16
N.T.S. Source: VHB LD_300



Hydrant Construction 12/18
N.T.S. Source: VHB LD_250

**The Residences at Bel Mont
McLean District Zone 3**

Olmsted Drive
Belmont, Massachusetts

No.	Revision	Date	Appr.
1	Response to Peer Review Comments	September 23, 2021	

Designed by: JRB Checked by:

Issued for: Local Approvals Date: April 16, 2021

Not Approved for Construction

Drawing Title: **Site Details**

C9.02

Sheet 20 of 21

Project Number: 13555.04

