



Town of Belmont
Zoning Board of Appeals

APPLICATION FOR A SPECIAL PERMIT

Date: 9/28/22

Zoning Board of Appeals
Homer Municipal Building
19 Moore Street
Belmont, MA 02478

To Whom It May Concern:

Pursuant to the provisions of Massachusetts General Laws, Chapter 40A, Section 9, as amended, and the Zoning By-Laws of the Town of Belmont, I/we the undersigned, being the owner(s) of a certain parcel of land (with the buildings thereon) situated on 3 Van Ness Street/Road hereby apply to your Board for a **SPECIAL PERMIT** for the erection or alteration on said premises or the use thereof under the applicable Section of the Zoning By-Law of said Town for _____

a one story rear addition

on the ground that the same will be in harmony with the general purpose and intent of said Zoning By-Law.

Signature of Petitioner 
Print Name Lindsay Kalmakis
Address 3 Van Ness Rd.
Belmont MA 02478
Daytime Telephone Number 781-645-9962



OFFICE OF COMMUNITY DEVELOPMENT

TOWN OF BELMONT

19 Moore Street

Homer Municipal Building

Belmont, Massachusetts 02478-0900

Telephone: (617) 993-2650 Fax: (617) 993-2651

Building Division
(617) 993-2664
Engineering Division
(617) 993-2665
Planning Division
(617) 993-2666

September 13, 2022

Lindsay Kalmakis
3 Van Ness Road
Belmont, MA 02478

RE: Denial to Construct an Addition.

Dear Ms. Kalmakis,

The Office of Community Development is in receipt of your building permit application for your proposal to construct a rear addition at 3 Van Ness Road located in a Single Residence C Zoning District.

Your application has been denied because it does not comply with the current Town of Belmont Zoning By-Law. More specifically, §4.2.2A-7 allows the reduction of a rear setback of corner lots to not less than the requirement of a side setback by a Special Permit granted by the Board of Appeals taking into consideration the configuration of the lot and the effect upon the neighboring property. The existing rear setback to the principal structure is 23.7' and the rear setback to the proposed addition is 18.2'.

You may alter your plans to conform to the current Town of Belmont Zoning By-Law and resubmit a building permit application, or you may request One Special Permit from the Board of Appeals. If you choose this option, please contact the Office of Community Development to schedule an appointment with Gabriel Distler, Staff planner at (617) 993-2650 in order to begin the process.

Sincerely,

Glenn R. Clancy, P.E.
Inspector of Buildings

Belmont ZBA

Special Permit Narrative Statement

3 Van Ness Road

Lindsay and Mike Kalmakis of 3 Van Ness Road seek a special permit for a reduction of a rear setback of a corner lot per section 4.2.2A-7.

Lindsay and Mike moved to Belmont in March 2017. They have three young children, including one at the Chenery and one at Wellington. Lindsay is currently co-president of the Wellington PTO.

The Kalmakis would like to remove the existing rear covered porch and steps (16.1' from the property line), and replace it with a 138 SF one story mud room / pantry on the back left corner of their home (18.2' from the property line), representing an improvement from the existing nonconforming condition. The corner lot clause in the bylaw allows the setback to be reduced from 25' to as low as 10' but we are proposing 18.2'. Furthermore, the proposed addition is shifted to the far left corner so that the one story mass is buffered from the rear property line by the existing detached garage. See attached aerial view with proposed addition in red.

The proposed addition maintains 10' to the side property line with a 3' wide and 2' high unenclosed landing and steps that are allowed to project within the setback by-right per section 4.3.3.

In addition to being modestly sized, the proposed addition is only 12.9' high, and largely screened by the detached garage structures belonging to the Kalmakis as well as both of their immediate abutters and an existing perimeter fence.

The Kalmakis have shared these plans with and received support from neighbors. We will be providing a signed petition demonstrating neighborhood support.

In summary, the overall effect will be in harmony with the architecture and scale of the neighborhood. The proposed design is in keeping with the intent of Town Meeting and the Planning Board Special permit criteria (Section 1.5.4.B) and is not substantially detrimental to the neighborhood.

Thank you for your consideration on this matter.

Aerial View (addition shown in red)



Rear Covered Porch to be removed



View from street



Zoning Compliance Check List (Registered Land Surveyor)

Property Address: 3 Van Ness Road Zone: SRC

Surveyor Signature and Stamp: _____ Date: _____

	REQUIRED	EXISTING	PROPOSED
Lot Area	9,000 S.F.	6,199 S.F.	6,199 S.F.
Lot Frontage	75'	149.49'	149.49'
Floor Area Ratio	N/A	N/A	N/A
Lot Coverage	25%	22.7%	24.9%
Open Space	50%	61.5%	61.5%
Front Setback	Van Ness Rd.=24.9' Belmont St.=20.3'	25.0' 15.3'	43.4' 15.3"
Side Setback	10.0'	18.4"	10.0' 7.1' Allowed Per 4.3.3
Side Setback	N/A	N/A	N/A
Rear Setback	25'	16.1' 0.5' to Detached Garage	18.2'
Building Height	30'	25.1' To Midrange	12.9' To Midrange
Stories	2-1/2	2-1/2	2-1/2
1/2 Story Calculation	See Notes		



Douglas Johneton
07/29/22

DLJ Geomatics
276 North Street
Weymouth, MA 02191
landsurv23@gmail.com
781-812-0457

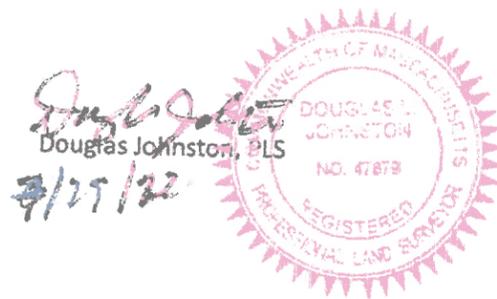
3 Van Ness Road
Belmont, MA 02478

There are four segments of foundation walls. They are 6.91' tall.

SEGMENT	LENGTH	TOTAL FACE	BELOW GRADE
A	36.0'	248.76 S.F.	233.28 S.F.
B	26.0'	179.66 S.F.	150.02 S.F.
C	36.0'	248.76 S.F.	183.24 S.F.
D	26.0'	179.66 S.F.	154.48 S.F.
TOTALS		856.84 S.F.	721.02 S.F.

$721.02/856.84 = .8415$

The foundation walls are 84.15% below grade.



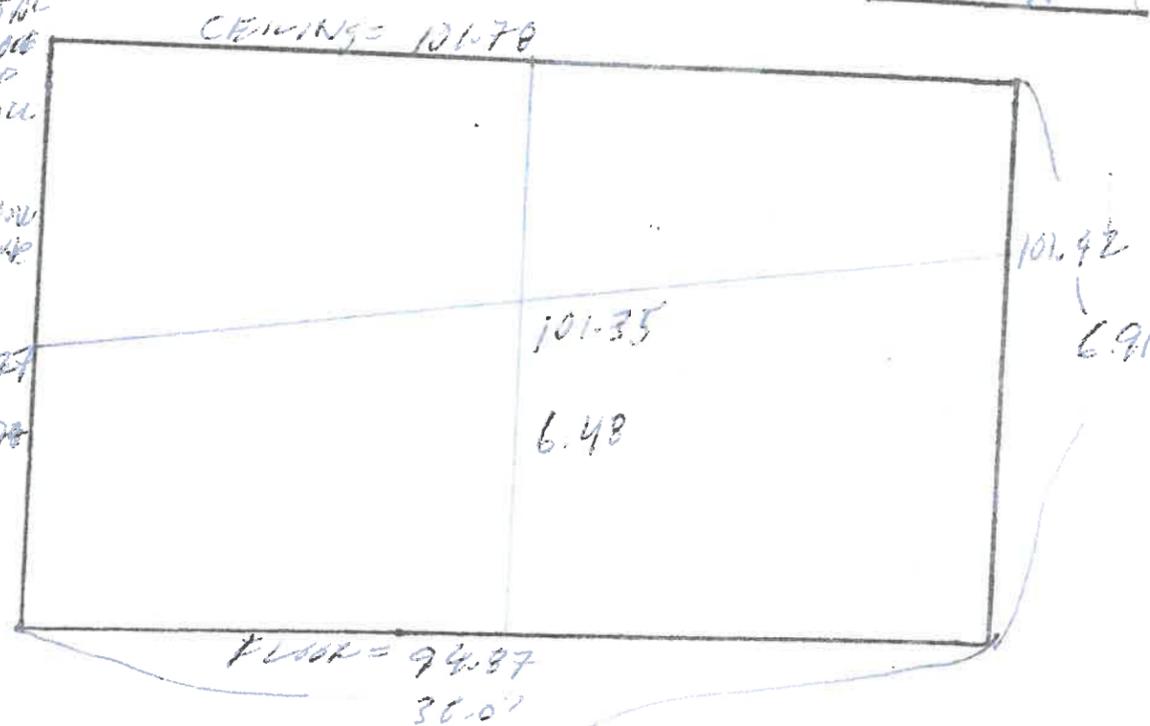
VAN NESS ROAD
BELMONT

SEG "A"

36.0 TOTAL
x 6.91 FLOOR
248.76 SF

36.0 BELOW
76.93 FLOOR
233.28

101.42
233.28 = 93.78%
248.76



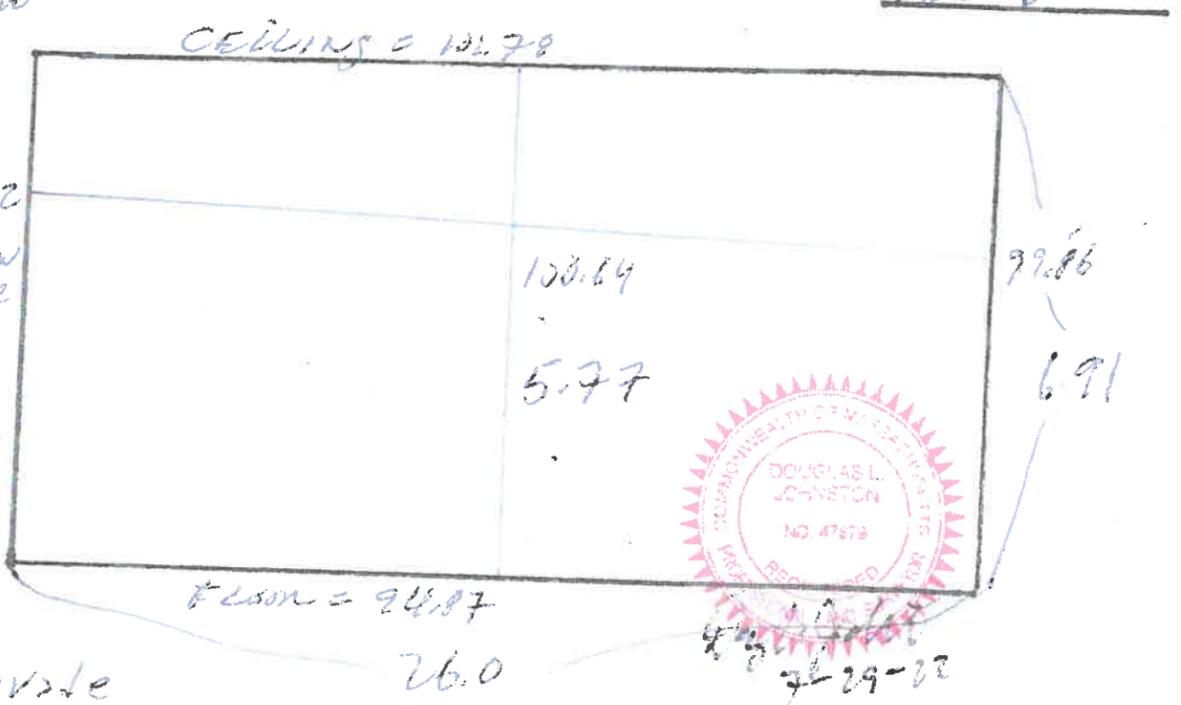
93.78%
BELOW GRADE

SEG "B"

26.0 TOTAL
x 6.91 FLOOR
179.66

6.0 BELOW
16.77 FLOOR
50.02

2.02
79.66 = 83.50%



83.50%
BELOW GRADE



3 VAN NESS ROAD
 RECMONT

SEG "C"

36.0 TOTAL
 x 6.91

 248.76

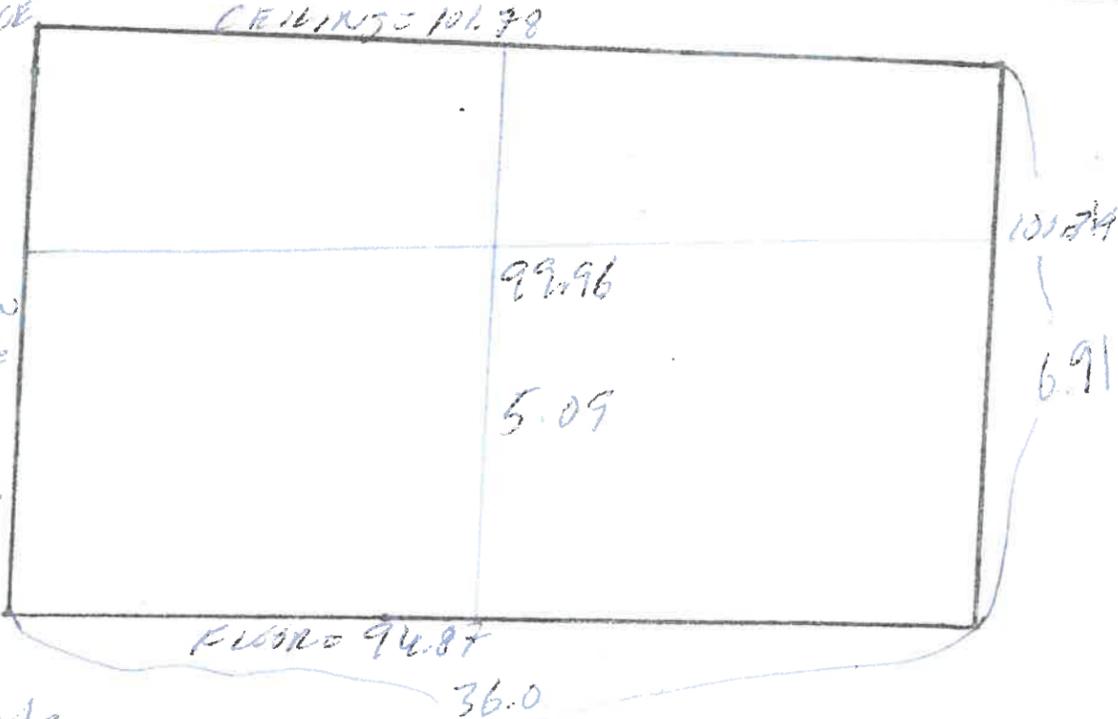
72.57
 36.0 BELOW
 x 5.09 grade

 183.24

183.24

 248.76 = .7366

73.66%
 BELOW grade



26.0 TOTAL
 x 6.91

 179.66

100.34
 26.0 BELOW
 x 5.94 grade

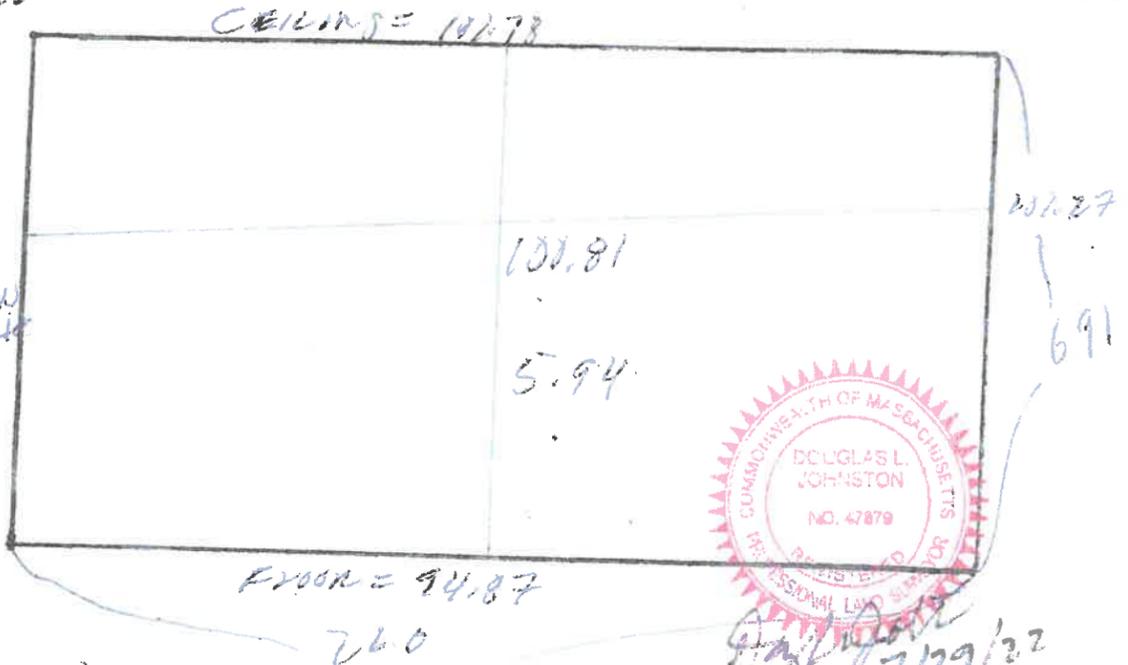
 154.48

154.48

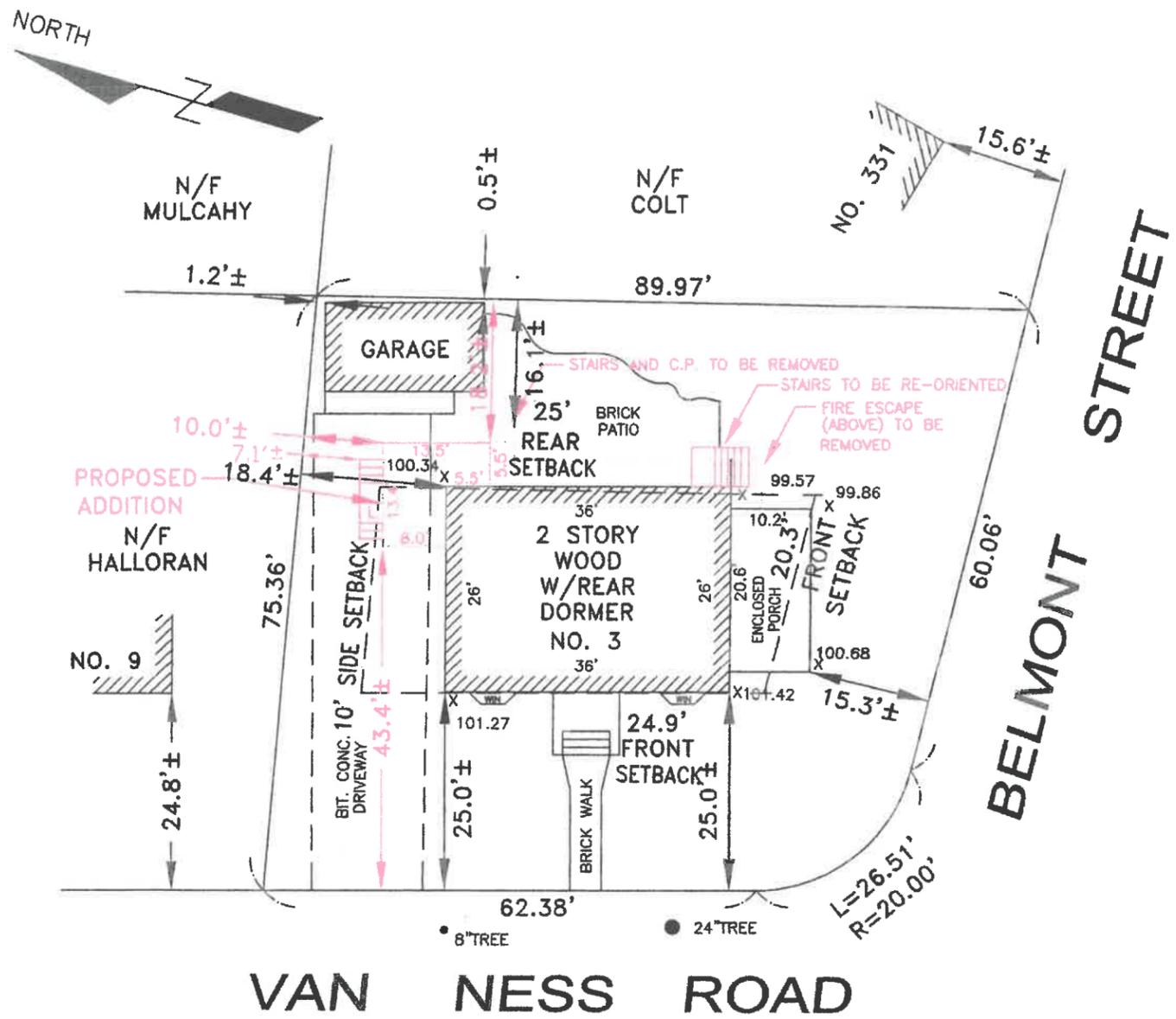
 179.66 = .8596

85.96%
 BELOW grade

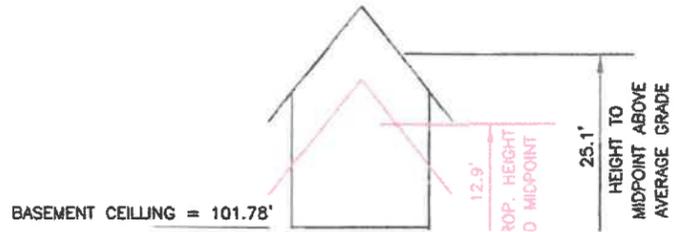
SEG "D"



7/29/22



LOT AREA = 6,199 S.F.±
 EXISTING BUILDING = 1,180 S.F.±
 EXISTING GARAGE = 225 S.F.±
 EXISTING PAVEMENT + WALK = 981 S.F.±
 PROPOSED ADDITION = 137 S.F.±
 EXISTING LOT COVERAGE = 22.7%



GENERAL NOTES:

1. CONTRACTOR TO OBTAIN AND PAY FOR ALL PERMITS REQUIRED TO PERFORM THE WORK.
2. COORDINATE AND BE RESPONSIBLE FOR THE PROTECTION OF PERSONS AND PROPERTY FOR THE DURATION OF CONSTRUCTION AS REQUIRED BY AGENCIES AND AUTHORITIES HAVING JURISDICTION.
3. DO NOT DAMAGE BUILDING ELEMENTS AND IMPROVEMENTS INDICATED TO REMAIN.
4. DO NOT INTERRUPT UTILITIES WITHOUT THE WRITTEN PERMISSION OF THE OWNER.
5. REMOVE SALVAGE AND DEBRIS FROM THE SITE AS IT ACCUMULATES. DO NOT STORE, SELL, BURN OR OTHERWISE DISPOSE OF THE DEBRIS ON THE SITE. KEEP ALL PAVEMENTS AND AREAS ADJACENT TO AND LEADING FROM THE SITE CLEAN AND FREE OF MUD, DIRT, AND DEBRIS AT ALL TIMES. ALL MATERIALS SHALL BE DISPOSED OF IN A LEGAL MANNER.
6. SORT DEBRIS FOR RECYCLING TO THE EXTENT POSSIBLE. REMOVE OR ARRANGE FOR THE TRANSPORT OF SORTED MATERIALS SCHEDULED TO BE RECYCLED TO APPROPRIATE OFF-SITE FACILITIES EQUIPPED FOR THE RECYCLING OF SPECIFIC MATERIALS. PROVIDE CONTAINERIZED DUMPSTERS FOR THE SORTING OF DEMO WASTES.
7. CEASE OPERATIONS IF PUBLIC SAFETY OR REMAINING STRUCTURES ARE ENDANGERED. PERFORM TEMPORARILY CORRECTIVE MEASURES UNTIL OPERATIONS CAN BE CONTINUED PROPERLY.
8. ALL INTERIOR DIMENSIONS ARE FROM FACE OF GWB TO FACE OF GWB UNLESS SPECIFICALLY NOTED OTHERWISE. DO NOT SCALE DRAWINGS.
9. HVAC CONTRACTOR TO MODIFY EXISTING MECHANICAL SYSTEM AS NEEDED TO SUPPORT THE ADDITION AND THE NEW LAYOUT. CONTRACTOR TO COORDINATE SPECIFICS WITH OWNER.
10. CONTRACTOR TO UPGRADE ELECTRICAL PANEL, PROVIDE ALL WIRING AND OUTLETS AS NEEDED TO MEET CODE, COORDINATE THE LOCATION OF NEW ELECTRICAL OUTLETS TO MEET CODE, AND SUBMIT SWITCHING LOCATIONS TO OWNER / ARCHITECT FOR APPROVAL.
11. PAINT AND/OR STAIN ALL EXTERIOR SIDING, DOORS, WINDOWS, AND TRIM AND INTERIOR SURFACES PER OWNERS DIRECTION.
12. ALL INTERIOR WOOD TRIM AND WOOD BASE TO BE SELECTED BY OWNER.
13. ALL FLOOR TILE, APPLIANCES, PLUMBING FIXTURES AND LIGHT FIXTURES TO BE FURNISHED BY OWNER, INSTALLED BY CONTRACTOR.
14. ALL INTERIOR WALLS TO BE 2X4 CONSTRUCTION AND EXTERIOR WALLS TO BE 2X6 CONSTRUCTION, UNLESS NOTED OTHERWISE.
15. R13 BATT INSULATION TO BE PROVIDED IN ALL INTERIOR BEDROOM AND BATHROOM WALLS. R25 BATT INSULATION TO BE PROVIDED IN ALL INTERIOR BEDROOM AND BATHROOM FLOORS.
16. CONTRACTOR TO SPRAY APPLY ICYNENE INSULATION FORMULA, APPLIED TO A THICKNESS ADEQUATE TO ACHIEVE SPECIFIED R VALUES. ALL FOUNDATION SILL PLATES AND FLOOR / WALL JUNCTION PLATES TO BE CAULKED TO AVOID AIR LEAKAGE. ALL ROUGH OPENINGS FOR EXTERIOR DOORS AND WINDOWS TO BE SIZED TO FURNISH A MINIMUM 1/2" SPACE AROUND THE PERIMETER OF FRAME TO PERMIT INSTALLATION OF FOAM INSULATION. ALL JOINTS BETWEEN EXTERIOR FRAMING MEMBERS TO BE CAULKED TO AVOID AIR LEAKAGE. CEILING VAPOR BARRIER TO BE CAULKED AND STAPLED TO THE TOP PLATES OF INTERIOR PARTITIONS AND TO THE LOWER TOP PLATES OF EXTERIOR WALLS. ROOF ASSEMBLY TO BE NON-VENTED (NO SOFFIT OR RIDGE VENTS) PER MFGR SPECS FOR ICYNENE INSULATION SYSTEM, ROOF INSULATION TO BE CLASS II VAPOR PERMEANCE TO MEET CODE. BUILDING TO BE MECHANICALLY VENTED. ALL VERTICAL WIRING FOR ELECTRIC, CABLE, TELEPHONE, SECURITY, ETC. SHALL BE SECURED TO THE INSIDE OF STUDS EVERY 3'-0" AND 1 1/2" FROM THE GWB SURFACE FOR ALL RUNS. CEILING OUTLETS SHALL BE INSTALLED USING VAPOR BARRIER PANS/BOXES WHICH ARE CAULKED WITH ACOUSTICAL CAULKING MATERIAL PRIOR TO THE INSTALLATION OF THE ATTIC INSULATION.
17. ALL MATERIALS, SYSTEMS AND ASSEMBLIES TO BE INSTALLED IN ACCORDANCE WITH LOCAL CODES AND WITH MANUFACTURER SPECIFICATIONS.

BELMONT GROSS FLOOR AREA CALCS:

EXISTING GROSS FLOOR AREA:
 0 SF CELLAR
 1147 SF FIRST FLOOR
 918 SF SECOND FLOOR
 297 SF ATTIC (6' OR GREATER)
 2362 SF TOTAL

30% OF 2362 SF = 708.6 SF MAX ADDITION BY RIGHT

NEW ADDITION GROSS FLOOR AREA:
 138 SF < 708.6 SF THEREFORE DOES NOT REQUIRE PLANNING BOARD APPROVAL

**ZBA APPROVAL
 MAY 16, 2022**

ENERGY AUDIT:

REFERENCE CH 11 - ENERGY EFFICIENCY 2015 INTERNATIONAL RESIDENTIAL CODE W/ MASS AMENDMENTS.

PRESCRIPTIVE OPTION FOR RESIDENTIAL ADDITION (401.3):

1. RENOVATION TO COMPLY WITH ENERGY STAR QUALIFIED HOMES THERMAL BYPASS INSPECTION CHECKLIST. INSULATION VALUES AS FOLLOWS: R49 ROOF R-VALUE, R30 FLOOR R-VALUE, R20 WALL R-VALUE, R15/19 BASEMENT / CRAWL SPACE WALL R-VALUE.
2. RENOVATION TO COMPLY WITH ENERGY STAR PROGRAM REQUIREMENTS FOR RESIDENTIAL WINDOWS, DOORS, AND SKYLIGHTS - VERSION 5.0. ALL NEW WINDOW GLAZING TO BE .30 U FACTOR AND SKYLIGHTS TO BE .55 U-FACTOR.
3. HEATING / COOLING DUCTS TO BE SEALED AND TESTED TO MEET REQUIREMENTS OF 401.3.

PROJECT INFORMATION:

BELMONT ZONING SR-C:

REQUIRED:

MAX 25% LOT COVERAGE
 MIN 50% OPEN SPACE

FRONT YARD SETBACK: 25'-0" OR AVERAGE
 REAR YARD SETBACK: 30'-0"
 SIDE YARD SETBACK: 10'-0"

MAX HEIGHT: 2 1/2 STORIES,
 30' TO MIDPOINT AND 34' TO RIDGE

DRAWING LIST

- A1 COVER SHEET
- A2 EXISTING CELLAR FLOOR PLAN
- A3 NEW CELLAR PLAN
- A4 EXISTING FIRST FLOOR PLAN
- A5 NEW FIRST FLOOR PLAN
- A6 EXISTING SECOND FLOOR PLAN
- A7 NEW SECOND FLOOR PLAN
- A8 EXISTING ATTIC PLAN
- A9 NEW ATTIC PLAN
- A10 EXISTING ELEVATIONS
- A11 NEW ELEVATIONS

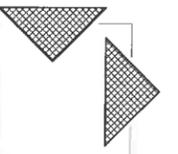
LIGHTING LEGEND

-  RECESSED LED CAN LIGHT - AS SELECTED BY OWNER
-  CEILING MOUNTED PENDANT - AS SELECTED BY OWNER
-  CEILING MOUNTED DOME LIGHT - AS SELECTED BY OWNER
-  WALL MOUNTED SCONCES AS SELECTED BY OWNER
-  CEILING FAN WITH INTEGRAL LIGHT - AS SELECTED BY OWNER
-  S.D. SMOKE DETECTOR - NOTE ALL NEW AND EXISTING SMOKES TO BE HARD-WIRED PER CODE
-  S/CO HARD-WIRED SMOKE / CARBON MONOXIDE DETECTOR
-  DATA CONNECTION
-  TELEPHONE / DATA CONNECTION
-  ELECTRIC OUTLET (SPECIFIC LOCATIONS ONLY - ALL OUTLETS AS REQUIRED BY CODE ARE NOT SHOWN ON PLANS)

SYMBOL LEGEND

-  WALL TO BE DEMOLISHED
-  EXISTING WALL TO REMAIN
-  NEW WALL
-  INTERIOR ELEVATION
-  SECTION
-  DOOR TAG
-  WINDOW TAG

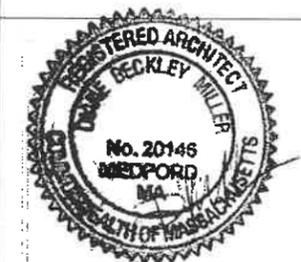
**MILLER
 DESIGN LLC**



80 CLARK STREET
 BELMONT, MA 02478

Architect:
 Miller Design LLC
 80 Clark Street
 Belmont MA 02478
 617-993-3157

Date:	Issued for:
3/14/22	SCHEMATIC DESIGN
4/21/22	DESIGN DEVELOPMENT
5/16/22	ZBA APPROVAL



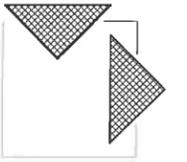
KALMAKIS RESIDENCE
 3 VAN NESS ROAD
 BELMONT MA 02478

COVER SHEET

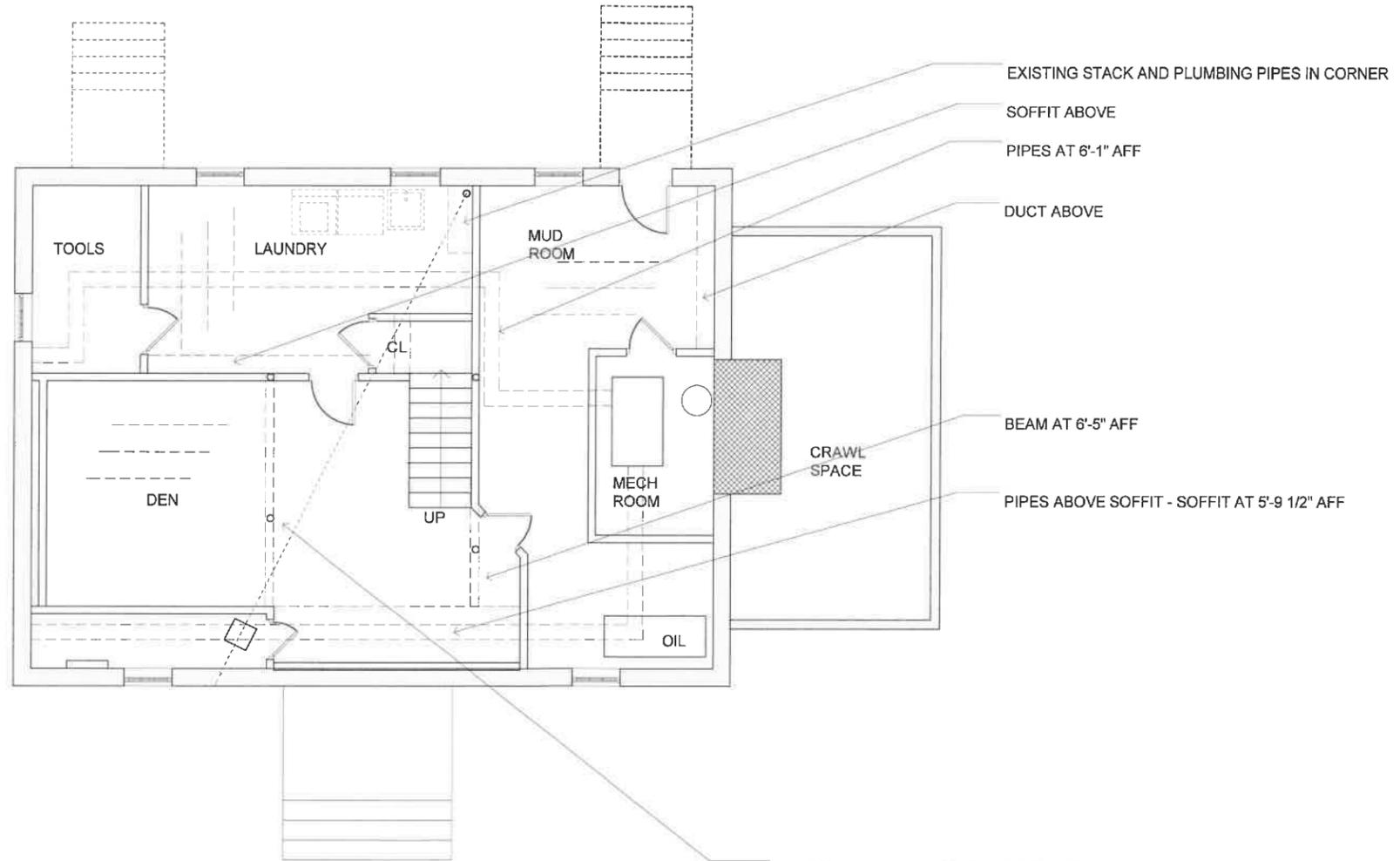
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DESIGN LLC**



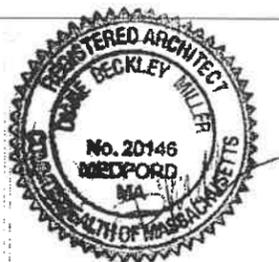
80 CLARK STREET
BELMONT, MA 02478



EXISTING LALLY COLUMN TO BE REMOVED - BEAM TO BE REPLACED - SEE FRAMING DRAWINGS; CONTRACTOR TO BRACE AND SHORE PRIOR TO REMOVAL OF ANY LOAD-BEARING ELEMENTS, TYP

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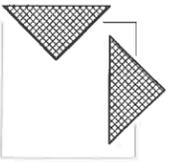
**EXISTING CELLAR
FLOOR PLAN**

Sheet
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A2



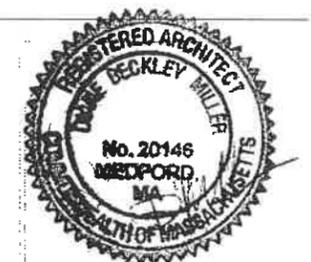
**WALLER
DESIGN LLC**



80 CLARK STREET
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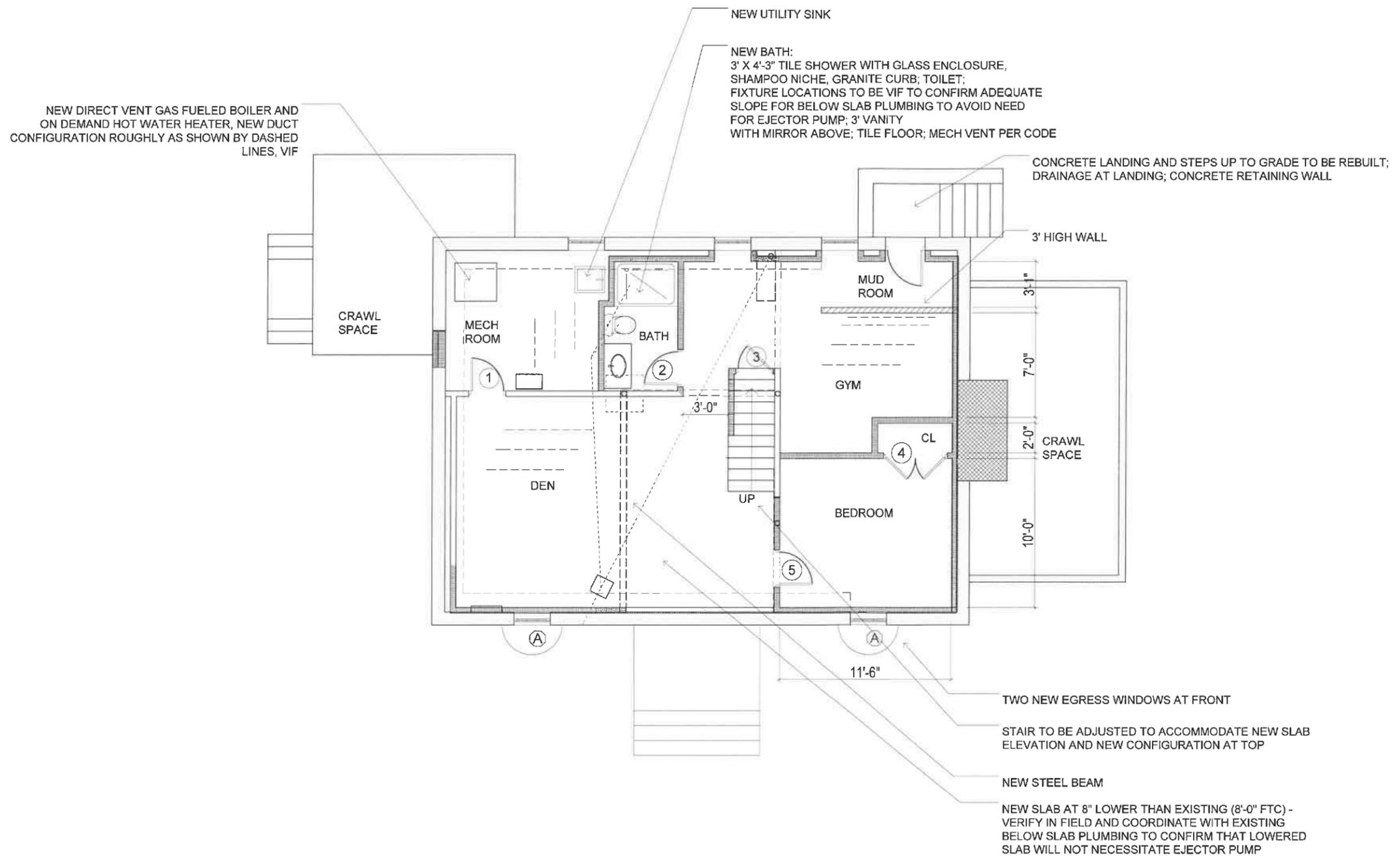


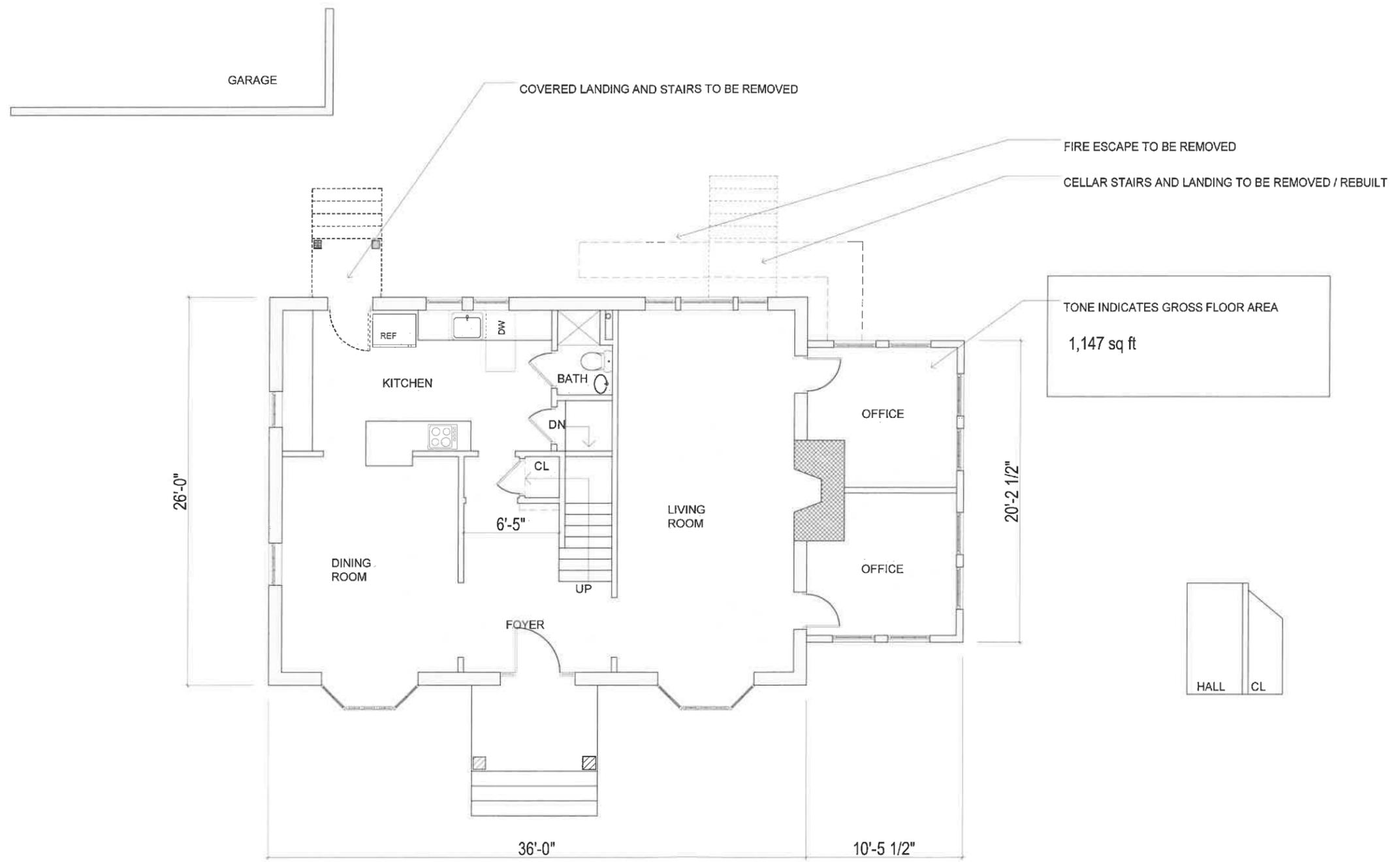
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**NEW CELLAR
FLOOR PLAN**

Sheet
Number:

A3





1 PLAN SCALE: 1/8" = 1'



WALLER DESIGN LLC

80 CLARK STREET
BELMONT, MA 02478

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3 VAN NESS ROAD
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EXISTING FIRST FLOOR

Sheet Number:

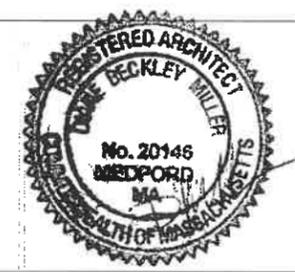
A4

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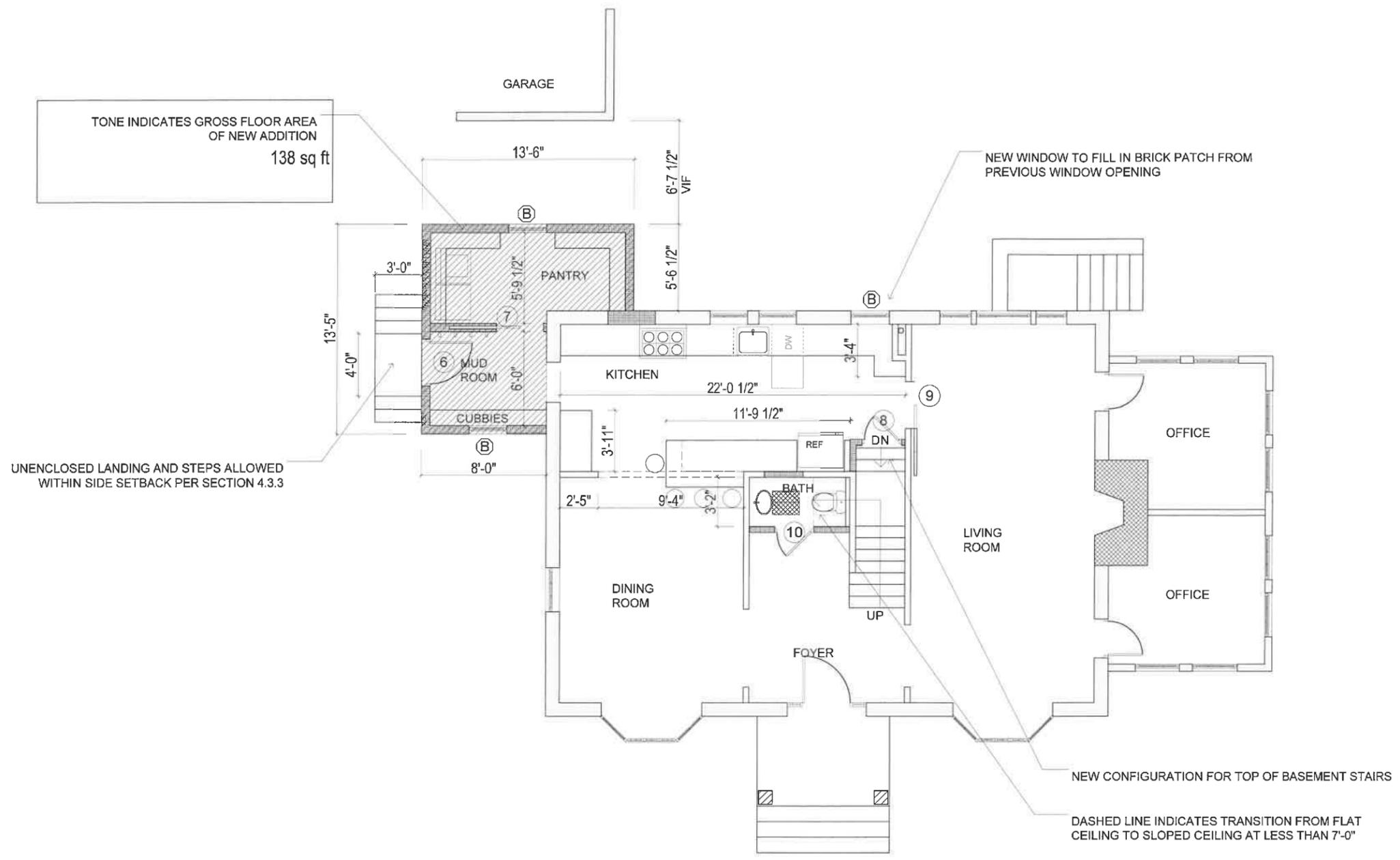


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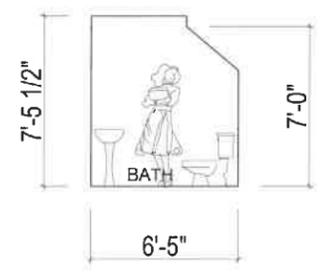
**NEW
FIRST FLOOR**

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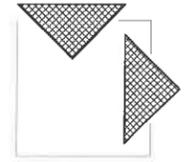
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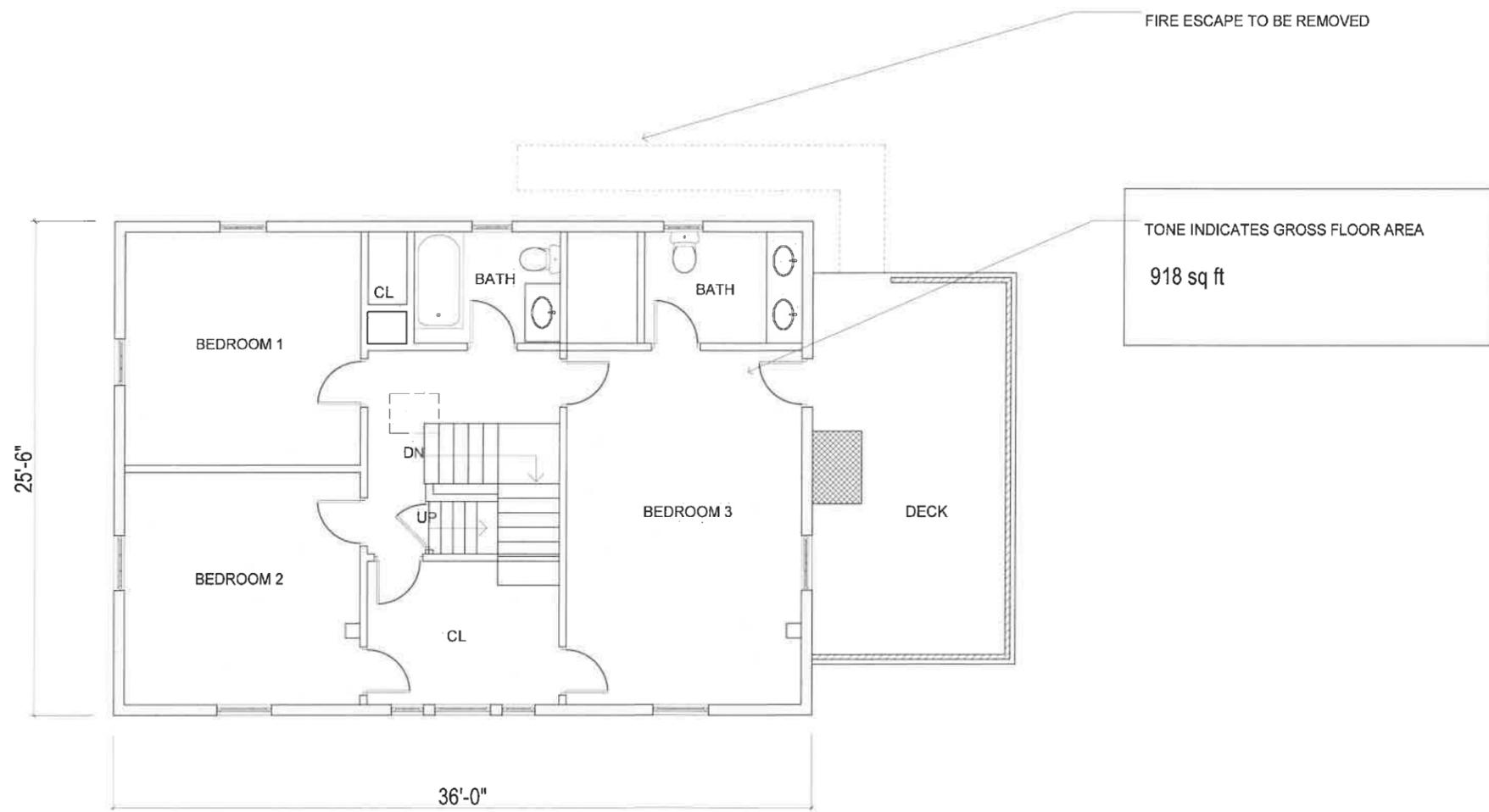
1 PLAN
SCALE: 1/8" = 1'



**MILLER
DESIGN LLC**

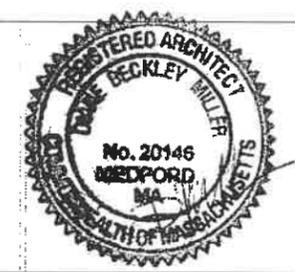


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KALMAKIS RESIDENCE
3 VAN NESS ROAD
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EXISTING
SECOND FLOOR

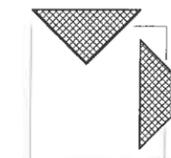
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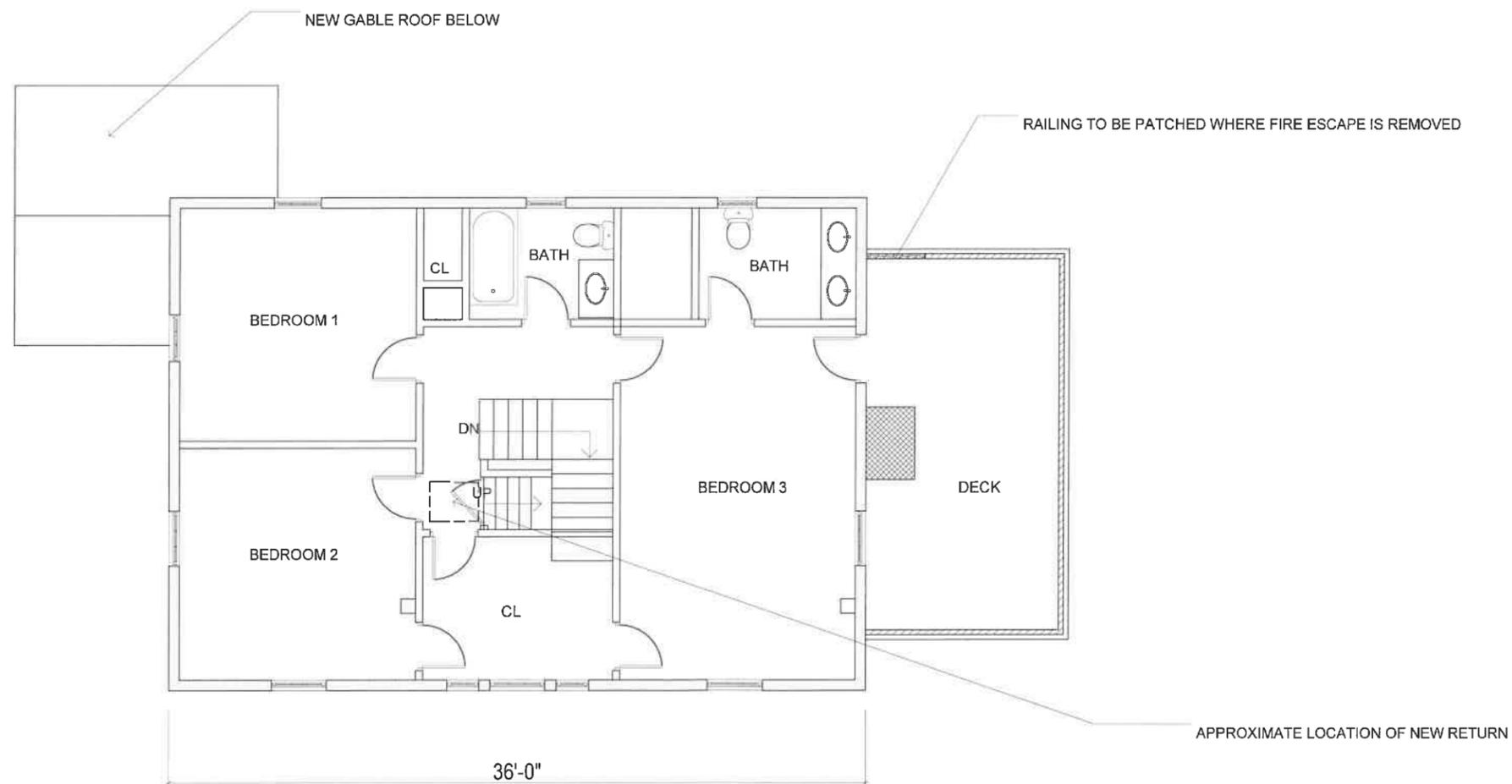
1 PLAN
SCALE: 1/8" = 1'



MILLER
DESIGN LLC

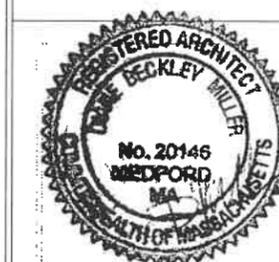


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KALMAKIS RESIDENCE
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NEW
SECOND FLOOR

Sheet
Number:

A7

1 PLAN
SCALE: 1/8" = 1'



HALF STORY AREA CALCULATIONS:

SECOND FLOOR AREA = 918 SF

ALLOWABLE: MAX 550.8 SF W/ CEILING HEIGHT OF 5' OR GREATER (BASED ON 60% OF SECOND FLOOR).

ACTUAL: 376 SF, CONFORMING

NO NEW ATTIC AREA

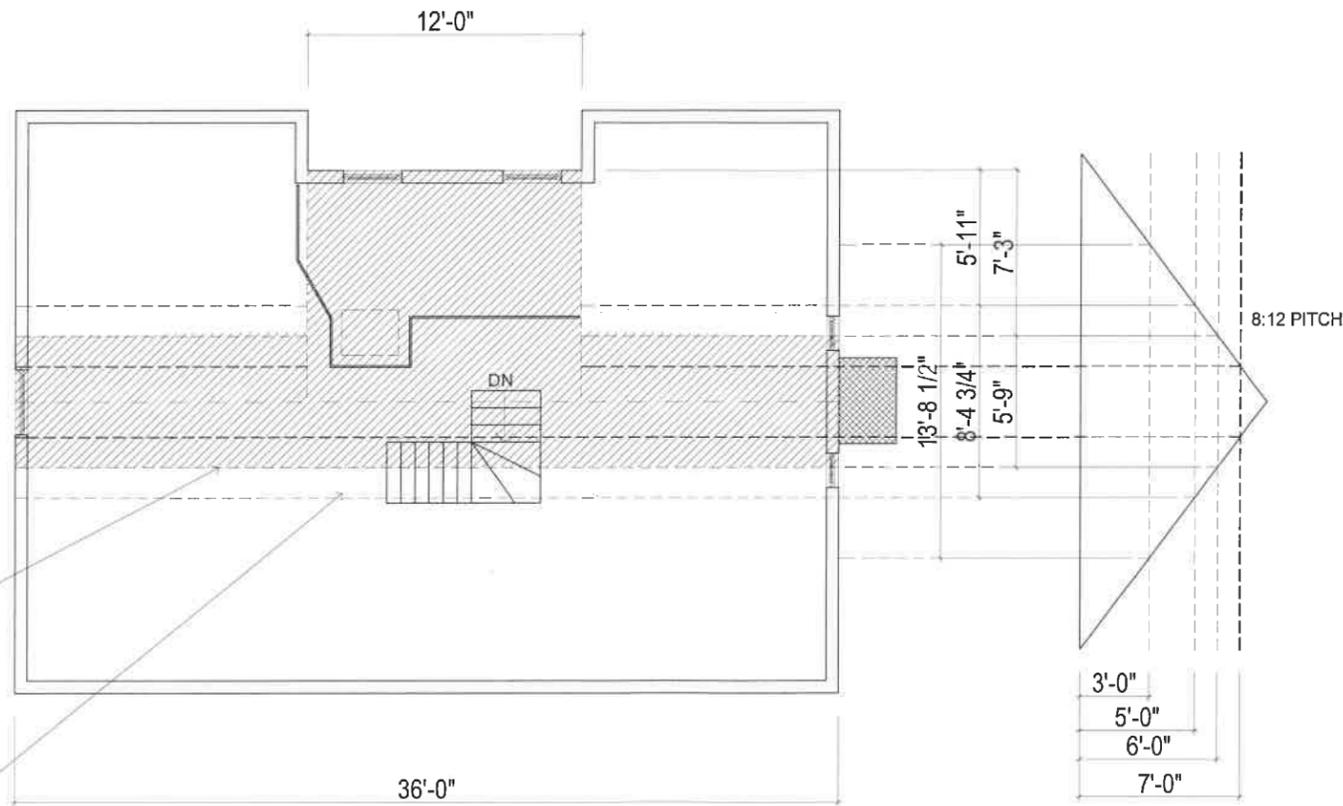
HALF STORY PERIMETER CALCULATIONS:

SECOND FLOOR PERIMETER = 123'-0"

ALLOWABLE: MAX 61'-6" W/ RAFTER BOTTOMS AT 3' OR GREATER (BASED ON 50% OF 123'-0" PERIMETER).

ACTUAL: 12'-0" + 13'-8 1/2" + 13'-8 1/2" = 39'-5", CONFORMING

NO NEW ATTIC PERIMETER



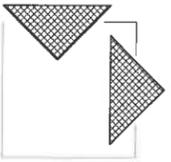
HATCH INDICATES GROSS FLOOR AREA WITH CEILING HEIGHT OF 6' OR GREATER (FOR GROSS FLOOR AREA CALCS, SHEET A1)
297 sq ft

TONE INDICATES GROSS FLOOR AREA WITH CEILING HEIGHT OF 5' OR GREATER (FOR HALF STORY CALCS THIS SHEET)
376 sq ft

1 PLAN
SCALE: 1/8" = 1'



MILLER
DESIGN LLC



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Architect:
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Belmont MA 02478
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Date:	Issued for:
3/14/22	SCHEMATIC DESIGN
4/21/22	DESIGN DEVELOPMENT
5/16/22	ZBA APPROVAL



KALMAKIS RESIDENCE
3 VAN NESS ROAD
BELMONT MA 02478

EXISTING
ATTIC

Sheet
Number:

A8

HALF STORY AREA CALCULATIONS:

SECOND FLOOR AREA = 918 SF

ALLOWABLE: MAX 550.8 SF W/ CEILING HEIGHT OF 5' OR GREATER (BASED ON 60% OF SECOND FLOOR).

ACTUAL: 376 SF, CONFORMING

NO NEW ATTIC AREA

HALF STORY PERIMETER CALCULATIONS:

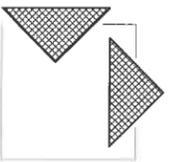
SECOND FLOOR PERIMETER = 123'-0"

ALLOWABLE: MAX 61'-6" W/ RAFTER BOTTOMS AT 3' OR GREATER (BASED ON 50% OF 123'-0" PERIMETER).

ACTUAL: 12'-0" + 13'-8 1/2" + 13'-8 1/2" = 39'-5", CONFORMING

NO NEW ATTIC PERIMETER

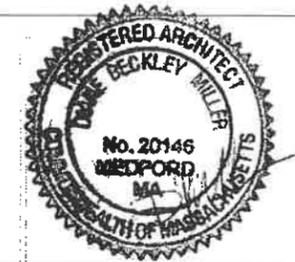
**WILLER
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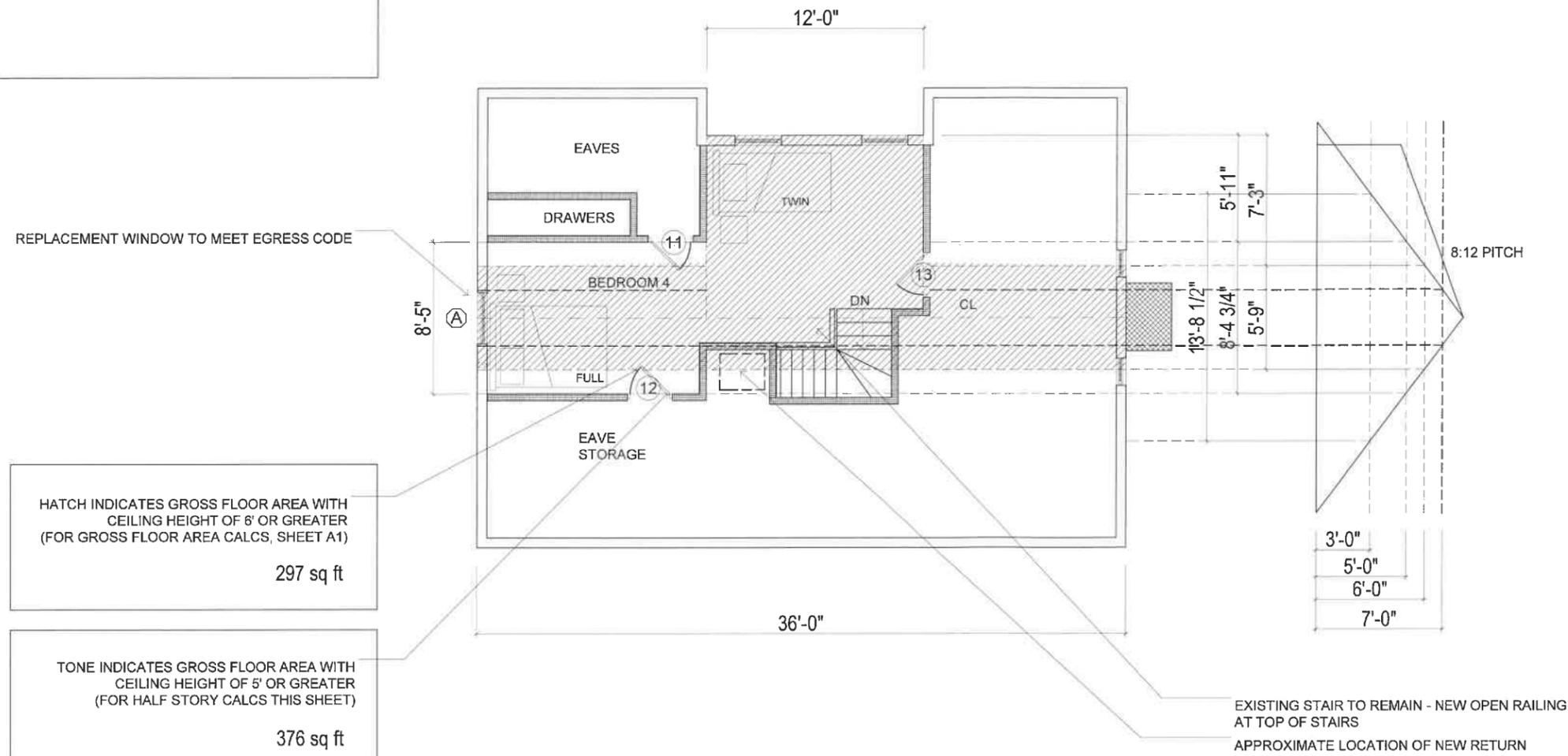


KALMAKIS RESIDENCE
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**NEW
ATTIC**

Sheet
Number:

A9



HATCH INDICATES GROSS FLOOR AREA WITH CEILING HEIGHT OF 6' OR GREATER (FOR GROSS FLOOR AREA CALCS, SHEET A1)
297 sq ft

TONE INDICATES GROSS FLOOR AREA WITH CEILING HEIGHT OF 5' OR GREATER (FOR HALF STORY CALCS THIS SHEET)
376 sq ft

1 PLAN
SCALE: 1/8" = 1'

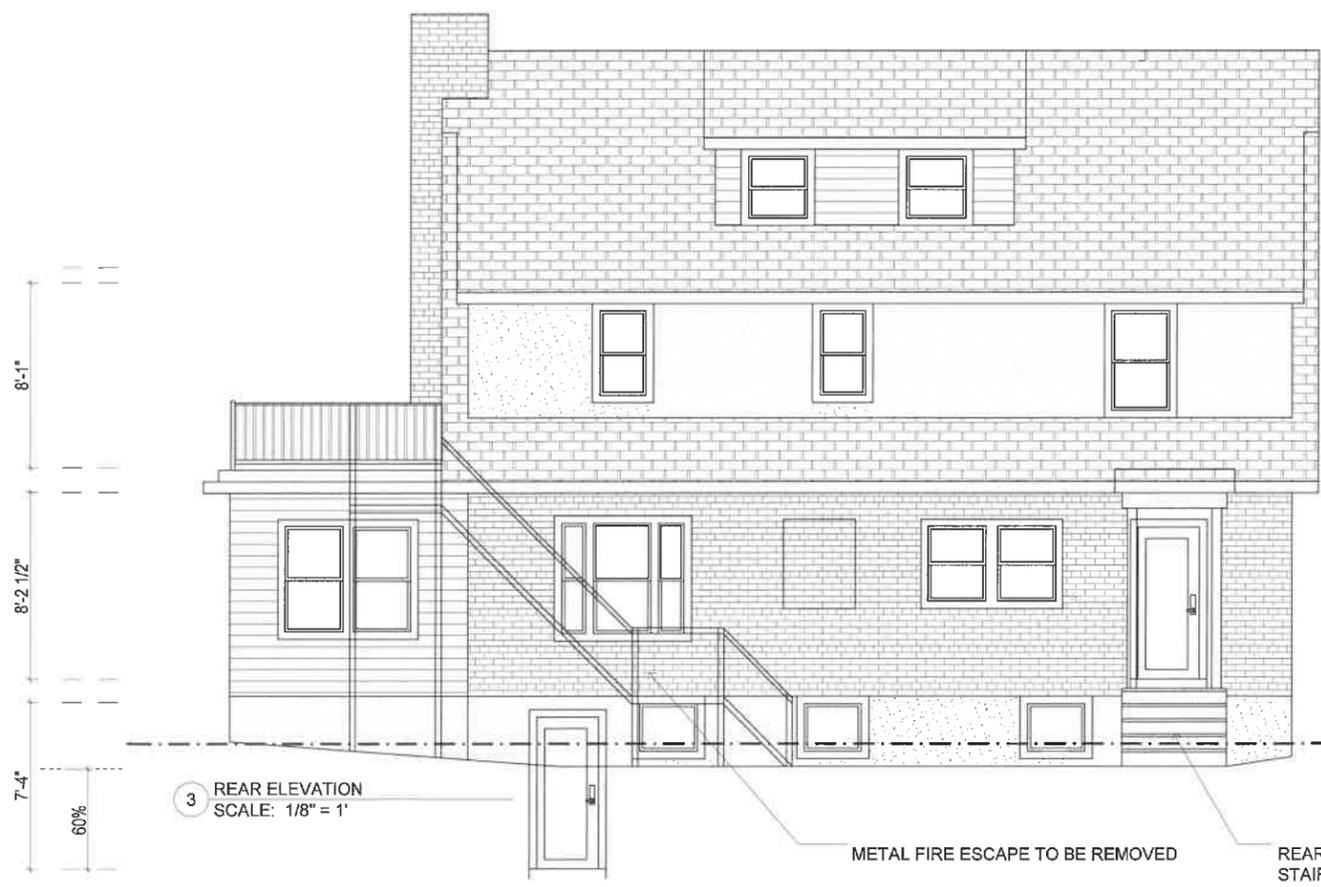




1 FRONT ELEVATION
SCALE: 1/8" = 1'



4 SIDE ELEVATION
SCALE: 1/8" = 1'

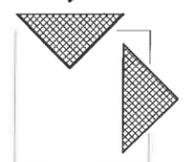


3 REAR ELEVATION
SCALE: 1/8" = 1'

METAL FIRE ESCAPE TO BE REMOVED
REAR DOOR WITH COVERED PORCH AND STAIRS TO BE REMOVED



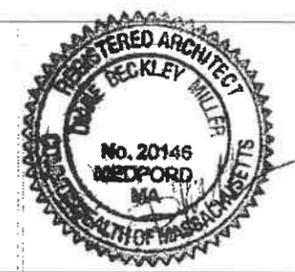
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EXISTING
ELEVATIONS

Sheet
Number:

A10



1 FRONT ELEVATION
SCALE: 1/8" = 1"



4 SIDE ELEVATION
SCALE: 1/8" = 1"

NEW EGRESS WINDOWS WITH EGRESS WINDOW WELLS



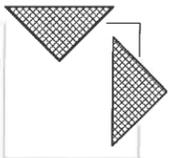
3 REAR ELEVATION
SCALE: 1/8" = 1"



4 SIDE ELEVATION
SCALE: 1/8" = 1"



WALLER
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NEW
ELEVATIONS

Sheet
Number:

A11