



Town of Belmont
Zoning Board of Appeals

RECEIVED
TOWN CLERK
APR 13 11 2:13

APPLICATION FOR A SPECIAL PERMIT

Date: 4/5/2022

Zoning Board of Appeals
Homer Municipal Building
19 Moore Street
Belmont, MA 02478

To Whom It May Concern:

Pursuant to the provisions of Massachusetts General Laws, Chapter 40A, Section 9, as amended, and the Zoning By-Laws of the Town of Belmont, I/we the undersigned, being the owner(s) of a certain parcel of land (with the buildings thereon) situated on 3 Westlund Street/Road, hereby apply to your Board for a **SPECIAL PERMIT** for the erection or alteration on said premises or the use thereof under the applicable Section of the Zoning By-Law of said Town for the construction of a 2nd story dormer.

on the ground that the same will be in harmony with the general purpose and intent of said Zoning By-Law.

Signature of Petitioner Cal
Print Name Carl Dumas
Address 407R Mystic Ave. Suite 34B
Medford MA 02155
Daytime Telephone Number (781) 393-9899

December 6, 2005



OFFICE OF COMMUNITY DEVELOPMENT

TOWN OF BELMONT

19 Moore Street

Homer Municipal Building

Belmont, Massachusetts 02478-0900

Telephone: (617) 993-2650 Fax: (617) 993-2651

Building Division
(617) 993-2664
Engineering Division
(617) 993-2665
Planning Division
(617) 993-2666

January 27, 2022

Hua Ye
3 Westlund Road
Belmont, MA 02478

RE: Denial to Construct a Second Story Addition.

Dear Hua Ye,

The Office of Community Development is in receipt of your building permit application for your proposal to construct a second story addition at 3 Westlund Road located in a Single Residence C Zoning District.

Your application has been denied because it does not comply with the current Town of Belmont Zoning By-Law. More specifically, Section 4.2 of the Zoning By-Law Dimensional Regulations require a minimum front setback of 22.8' on the south side and 23.4' on the east side.

1. The existing and proposed front setback on the south side is 20.1'.
2. The existing and proposed front setback on the east side is 21.5'.

You may alter your plans to conform to the current Town of Belmont Zoning By-Law and resubmit a building permit application, or you may request Two (2) Special Permits from the Zoning Board of Appeals. If you choose this option, please contact the Office of Community Development to schedule an appointment with Ara Yogurtian, Assistant Director, at (617) 993-2650 in order to begin the process.

Sincerely,

Glenn R. Clancy, P.E.
Inspector of Buildings

3 Westlund Road Belmont, MA Project Statement

The proposed change to 3 Westlund Rd. is to add a dormer addition to the front side of the house as well as to demo and rebuild the front entrance. Due to the layout of the existing structure, the shape of the plot, and the desire to create the most cost-effective expansion, a special permit is needed in order to expand into the minimum front setback (Westlund).

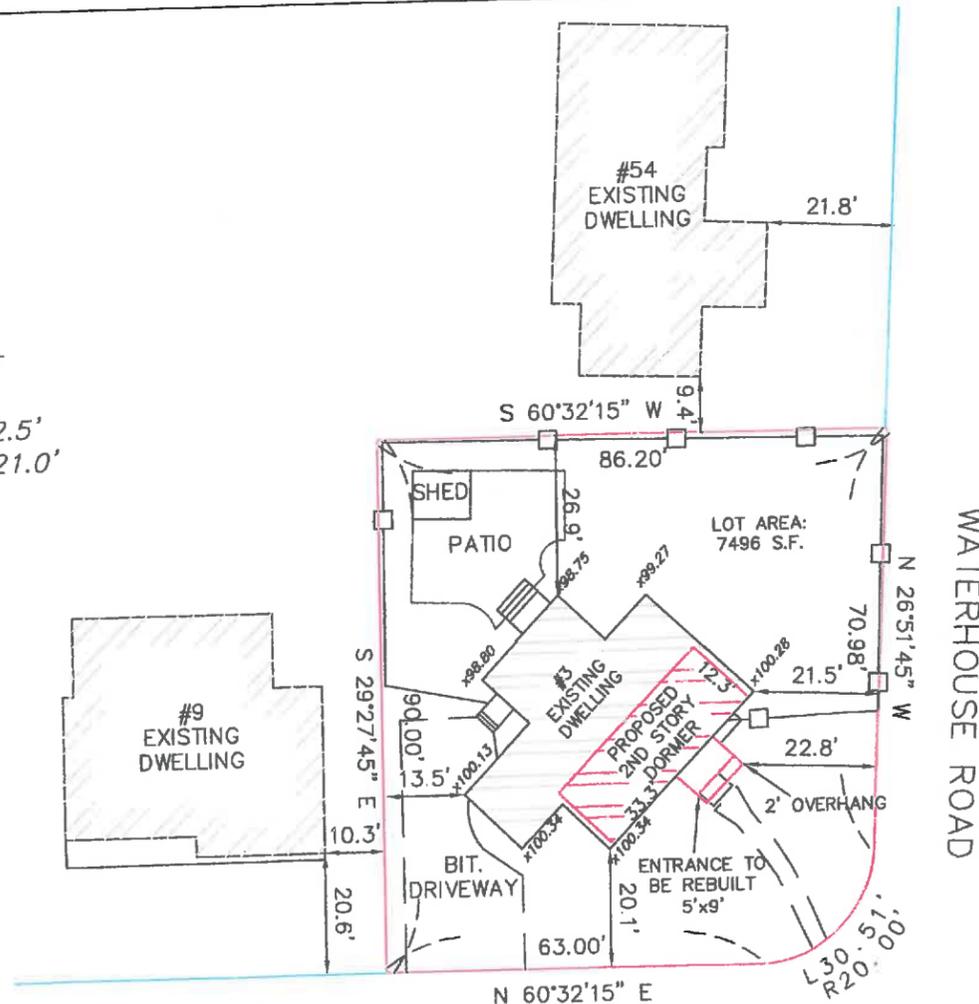
The petitioner seeks permission for a special permit for this project for several reasons.

1) The main purpose of this expansion is to allow a growing family to live together in a more comfortable space. 2) The design also considers the cost and appearance associated with this project. 3) The existing house is currently non-conforming due to the existing front setback limiting the ability to expand.

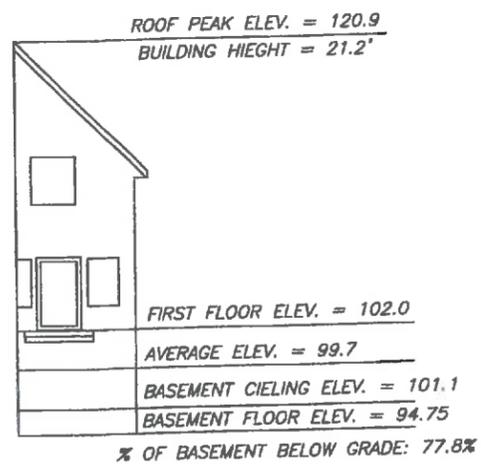
In conclusion, the enforcement of the provisions could limit the possibility of growth within the family as well as prohibit the home from becoming a multi-generational home in the future. This puts financial as well as emotional strain on the family as a whole due to the increased housing costs, it is harder for working class families to stay in the Town of Belmont. Secondly, after analyzing the shape of the lot and location of the house on the lot, taking into consideration costs associated and appearance, we've determined that a dormer would best suit the homeowner due to the lower costs associated as well as the enhanced appearance the addition would bring to the home. Lastly, any limit or contingency placed upon the modest proposed design could impede the efficiency and efficacy of the space, thus causing issues in the future.

NOTES:
 ALL OFFSETS & DIMENSIONS
 ARE TO THE SIDING UNLESS
 OTHERWISE NOTED.
 ALL ELEVATIONS ARE ON
 AN ASSUMED DATUM.

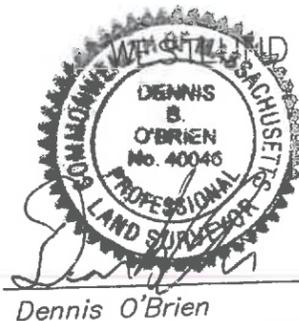
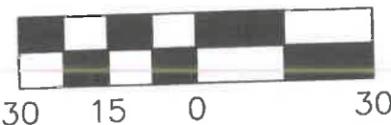
ZONED - SRC
 MINIMUM AREA = 9,000 SQ FT
 MINIMUM FRONTAGE = 75'
 FRONT SETBACK (WESTLUND) = 22.5'
 FRONT SETBACK (WATERHOUSE) = 21.0'
 SIDE SETBACK = 10'
 REAR SETBACK = 27'



WATERHOUSE ROAD



EXISTING LOT COVERAGE: 1,346.1 SQ FT (18.0%)
 PROPOSED LOT COVERAGE: 1,346.1 SQ FT (18.0%)
 EXISTING OPEN SPACE: 4,818.7 SQ FT (64.3%)
 PROPOSED OPEN SPACE: 4,818.7 SQ FT (64.3%)



Dennis O'Brien P.L.S.

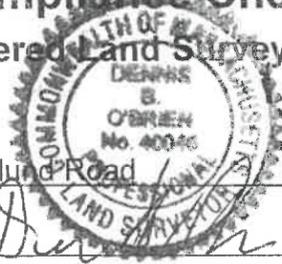


PLAN SHOWING PROPOSED ADDITION
 3 WESTLUND ROAD
 BELMONT, MA MIDDLESEX COUNTY

SCALE: 1" = 30'	DATE: 3/17/2022	REVISED:	DRAWN BY: M.F.W.	CHECKED BY: D.O.
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Zoning Compliance Check List

(Registered Land Surveyor)



Property Address: 3 Westlund Road

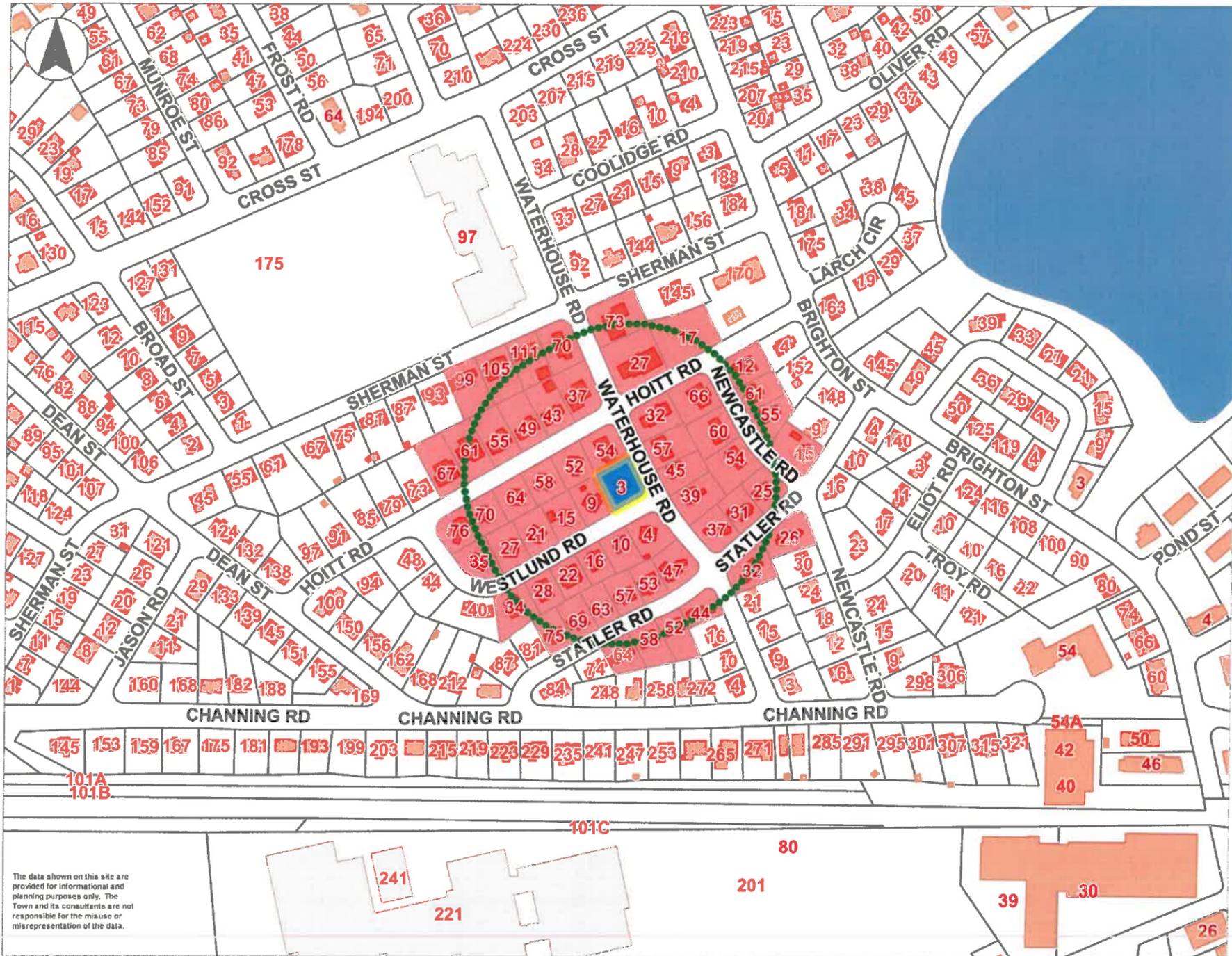
Zone: SRC

Surveyor Signature and Stamp: *Dennis B. O'Brien*

Date: 3/17/2022

	REQUIRED	EXISTING	PROPOSED
Lot Area	9,000 SF	7,496 SF	7,496 SF
Lot Frontage	75'	164.50'	164.50'
Floor Area Ratio			
Lot Coverage	25% (Maximum)	18.0%	18.0%
Open Space	50% (Minimum)	64.3%	64.3%
Front Setback	22.5' (Westlund)	20.1'	20.1'
Front Setback	21.0' (Waterhouse)	21.5'	21.5'
Side Setback	10'	13.5'	13.5'
Rear Setback	27'	26.9'	26.9'
Building Height	30'	21.2'	21.2'
Stories	2 ¹ / ₂		
½ Story Calculation			

NOTES:



- Town-Owned Buildings
- McLean Buildings
- BUILDINGS
- Parcels
- Town Boundary
- MA Highways
 - Interstate
 - US Highway
 - Numbered Routes
- Charles_poly
- Charles_arc
- Abutting Town Labels
- Abutting Towns
- Roads
 - Major Road, Collect
 - Minor Road, Arterial

The data shown on this site are provided for informational and planning purposes only. The Town and its consultants are not responsible for the misuse or misrepresentation of the data.

0 400 800 ft

Printed on 04/06/2022 at 08:52 AM

abutters_id_field	abutters_owner1	abutters_address	abutters_town	abutters_state	abutters_zip	abutters_location
37-107	ANTONELLIS TR BRIAN J & ERIN ANTONELLIS	70 WATERHOUSE RD	BELMONT	MA	02478	70 WATERHOUSE RD
37-119	NIKOLAOU TE NICHOLAS	76 HOITT RD	BELMONT	MA	02478	76 HOITT RD
37-36	MCNAMARA TE JAMES II	53 STATLER RD	BELMONT	MA	02478	53 STATLER RD
37-110	SAHAGIAN TR CHRISTINE R	99 SHERMAN ST	BELMONT	MA	02478	99 SHERMAN ST
37-128	LIU TE PATRICK PEI	58 HOITT RD	BELMONT	MA	02478	58 HOITT RD
37-132	GOOCH TR BARBARA FINIGAN	520 WHEATRIDGE BLUFF	ROSWELL	GA	30075	31 STATLER RD
37-141	HAKANSON TE ERIC	15 STATLER RD	BELMONT	MA	02478	15 STATLER RD
37-32	SUH TE DOO SUK	75 STATLER RD	BELMONT	MA	02478	75 STATLER RD
37-39	HARRISON ELISE R	165 HAMILTON AVE	N QUINCY	MA	02171	10 WESTLUND RD
37-120	GOODE TE THOMAS J	35 WESTLUND RD	BELMONT	MA	02478	35 WESTLUND RD
37-124	YU TE MINLAN	9 WESTLUND RD	BELMONT	MA	02478	9 WESTLUND RD
37-130	GETZ TE Yael SCHOEN	70 HOITT RD	BELMONT	MA	02478	70 HOITT RD
37-133	CONNOLLY TC BRIEN P	25 STATLER RD	BELMONT	MA	02478	25 STATLER RD
37-134	COSTAS TE PETER	54 NEWCASTLE RD	BELMONT	MA	02478	54 NEWCASTLE RD
37-140	FITZGERALD RUTH J	39 WATERHOUSE ROAD	BELMONT	MA	02478	39 WATERHOUSE RD
37-33	POWLEY THOMAS C	69 STATLER RD	BELMONT	MA	02478	69 STATLER RD
37-35	WILKINSON TE BENJAMIN	57 STATLER RD	BELMONT	MA	02478	57 STATLER RD
38-39	SAHAGIAN JT MICHAEL	26 STATLER ROAD	BELMONT	MA	02478	26 STATLER RD
37-123	FERRANTE TE ANTHONY A	15 WESTLUND RD	BELMONT	MA	02478	15 WESTLUND RD
37-125	YE TE HUA	3 WESTLUND RD	BELMONT	MA	02478	3 WESTLUND RD
37-148	KARANJA TE KAMAU	55 NEWCASTLE RD	BELMONT	MA	02478	55 NEWCASTLE RD
37-34	MAO TE JIAYIN	63 STATLER RD	BELMONT	MA	02478	63 STATLER RD
37-63	ZHANG TE JIANJIE	52 STATLER RD	BELMONT	MA	02478	52 STATLER RD
37-135	JASON TRS WILLIAM I & KIMBERLY S JASON	60 NEWCASTLE RD	BELMONT	MA	02478	60 NEWCASTLE RD
37-137	WYNOTT TE JOHN R	32 HOITT RD	BELMONT	MA	02478	32 HOITT RD
37-152	BAUER TE JOSEPH E	27 HOITT ROAD	BELMONT	MA	02478	27 HOITT RD
37-101	LI TE AIMIN	67 HOITT RD	BELMONT	MA	02478	67 HOITT RD
37-104	KIM TE SEOKJIN	49 HOITT RD	BELMONT	MA	02478	49 HOITT RD
37-105	MARTINEAU TE ALEX	43 HOITT RD	BELMONT	MA	02478	43 HOITT RD
37-146	PANOSIAN LE ARTHUR H	12 HOITT RD	BELMONT	MA	02478	12 HOITT RD
37-151	AURELIO LE JOHN L	73 WATERHOUSE RD	BELMONT	MA	02478	73 WATERHOUSE RD
37-37	DUFFY TE DAVID A	47 STATLER RD	BELMONT	MA	02478	47 STATLER RD
37-40	MURPHY TE WILLIAM J	16 WESTLUND RD	BELMONT	MA	02478	16 WESTLUND RD
37-64	LONGMIRE TE RICHARD O	58 STATLER RD	BELMONT	MA	02478	58 STATLER RD
37-102	HE TE YAING	61 HOITT RD	BELMONT	MA	02478	61 HOITT RD
37-122	JIN TE JEREMY	21 WESTLUND RD	BELMONT	MA	02478	21 WESTLUND RD
37-131	ROFINO TE JOSEPH P JR	37 STATLER RD	BELMONT	MA	02478	37 STATLER RD
37-147	ODAGAKI TE TAKASHI & NOBUKO	84 PAYSON RD	BELMONT	MA	02478	61 NEWCASTLE RD
37-38	MACKENZIE LAUREN PEPPER	4 WESTLUND RD	BELMONT	MA	02478	4 WESTLUND RD
37-106	FARJADIAN TR AMIR & MOSTOFI NAGHMEH	37 HOITT RD	BELMONT	MA	02478	37 HOITT RD
37-108	AURILIO TRS GIOVANNI T S	111 SHERMAN ST	BELMONT	MA	02478	111 SHERMAN ST
37-129	HELSING TE DANE	64 HOITT RD	BELMONT	MA	02478	64 HOITT RD
37-138	LEE TE HANG	57 WATERHOUSE RD	BELMONT	MA	02478	57 WATERHOUSE RD
37-150-A	BELMONT LAND TRUST INC	PO BOX 79138	BELMONT	MA	02479	17 HOITT RD
37-41	CHERTKOV TE HELEN	22 WESTLUND RD	BELMONT	MA	02478	22 WESTLUND RD
37-62	MONTTOYA TE SUSAN S	44 STATLER RD	BELMONT	MA	02478	44 STATLER RD
37-103	ADDUCI JOANNE M	55 HOITT RD	BELMONT	MA	02478	55 HOITT RD
37-127	OHANLON TE TIMOTHY	52 HOITT RD	BELMONT	MA	02478	52 HOITT RD
37-136	PAN TE FENG	66 NEWCASTLE RD	BELMONT	MA	02478	66 NEWCASTLE RD
37-43	PRIGOZHIN TE GREGORY	34 WESTLUND RD	BELMONT	MA	02478	34 WESTLUND RD
37-121	PURINTON ANNE D	94 COMMON ST	BELMONT	MA	02478	27 WESTLUND RD
38-40	HUANG TE WEI	32 STATLER RD	BELMONT	MA	02478	32 STATLER RD
37-126	BAUER TE STEVEN J	54 WATERHOUSE RD	BELMONT	MA	02478	54 WATERHOUSE RD
37-65	MCCARRON TE PAUL F	64 STATLER RD	BELMONT	MA	02478	64 STATLER RD
37-109	CONNOLLY TE DOUGLAS H	105 SHERMAN ST	BELMONT	MA	02478	105 SHERMAN ST
37-139	OCONNOR TE COREY J	45 WATERHOUSE RD	BELMONT	MA	02478	45 WATERHOUSE RD
37-42	KIELY TE JAMES P	28 WESTLUND RD	BELMONT	MA	02478	28 WESTLUND RD

MASTER SUITE ADDITION

YE-LEIGHTON RESIDENCE

3 WESTLUND ROAD, BELMONT, MA 02478

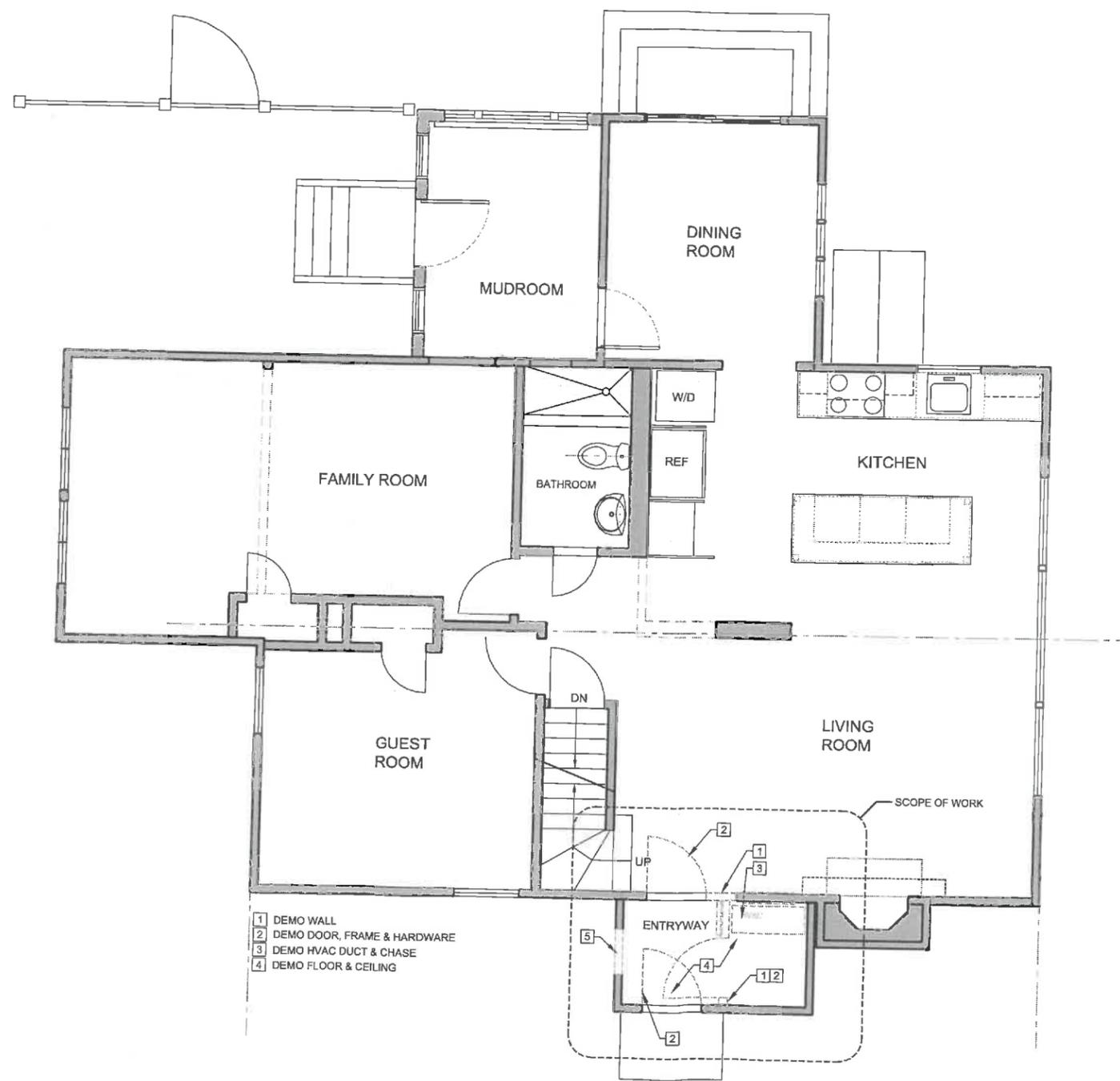


DRAWING LIST

- A0.1 FIRST FLOOR - DEMOLITION PLAN
- A0.2 SECOND FLOOR - DEMOLITION PLAN
- A1.1 FIRST FLOOR - PROPOSED PLAN
- A1.2 SECOND FLOOR - PROPOSED PLAN
- A2.1 SECOND FLOOR - CEILING PLAN + DOOR & WINDOW SCHEDULES
- A3.1 FRONT ELEVATION - EXISTING & PROPOSED
- A3.2 NORTH ELEVATION - EXISTING & PROPOSED
- A3.3 SOUTH ELEVATION - EXISTING & PROPOSED
- A4.1 BUILDING ELEVATION
- A4.2 BUILDING ELEVATIONS
- A5.1 SECOND FLOOR - FINISHES + MAIN BATHROOM ELEVATIONS

PERMIT SET

20 SEPTEMBER 2021



DEMOLITION PLAN NOTES

DEMOLITION STATEMENT INTENT:
 IT IS THE INTENT OF THE DEMOLITION SCOPE TO REMOVE ALL EXISTING ITEMS THAT WILL CONFLICT WITH NEW WORK, WETHER SHOWN OR NOT.
 THE CONTRACTOR SHALL VISIT THE SITE TO BECOME FAMILIAR WITH THE EXISTING CONDITIONS.

GENERAL DEMOLITION NOTES SHALL APPLY TO ALL DEMOLITION DRAWINGS AS APPLICABLE. IF CONFLICT ARISES BETWEEN DEMOLITION DRAWINGS AND NEW WORK, BRING TO THE ATTENTION OF OWNER/ARCHITECT TO CLARIFY INTENT.

INTERIOR WALL:
 ANY EXISTING WALLS ALTERED DURING CONSTRUCTION/DEMOLITION WILL BE PATCHED AND PAINTED. COORDINATE WITH OWNERS FOR COLOR.

STRUCTURAL CONSIDERATIONS:
 ALL DEMOLITION SHALL BE COMPLETED IN A MANNER THAT MAINTAINS THE STRUCTURAL INTEGRITY OF THE EXISTING HOUSE. ONCE THE WALLS HAVE BEEN STRIPPED TO STUDS, THE STRUCTURAL ENGINEER SHALL WALK THROUGH THE HOUSE AND ADVISE WHERE TEMPORARY SUPPORTS/ BRACINGS ARE REQUIRED.



DEMOLITION PLAN LEGEND

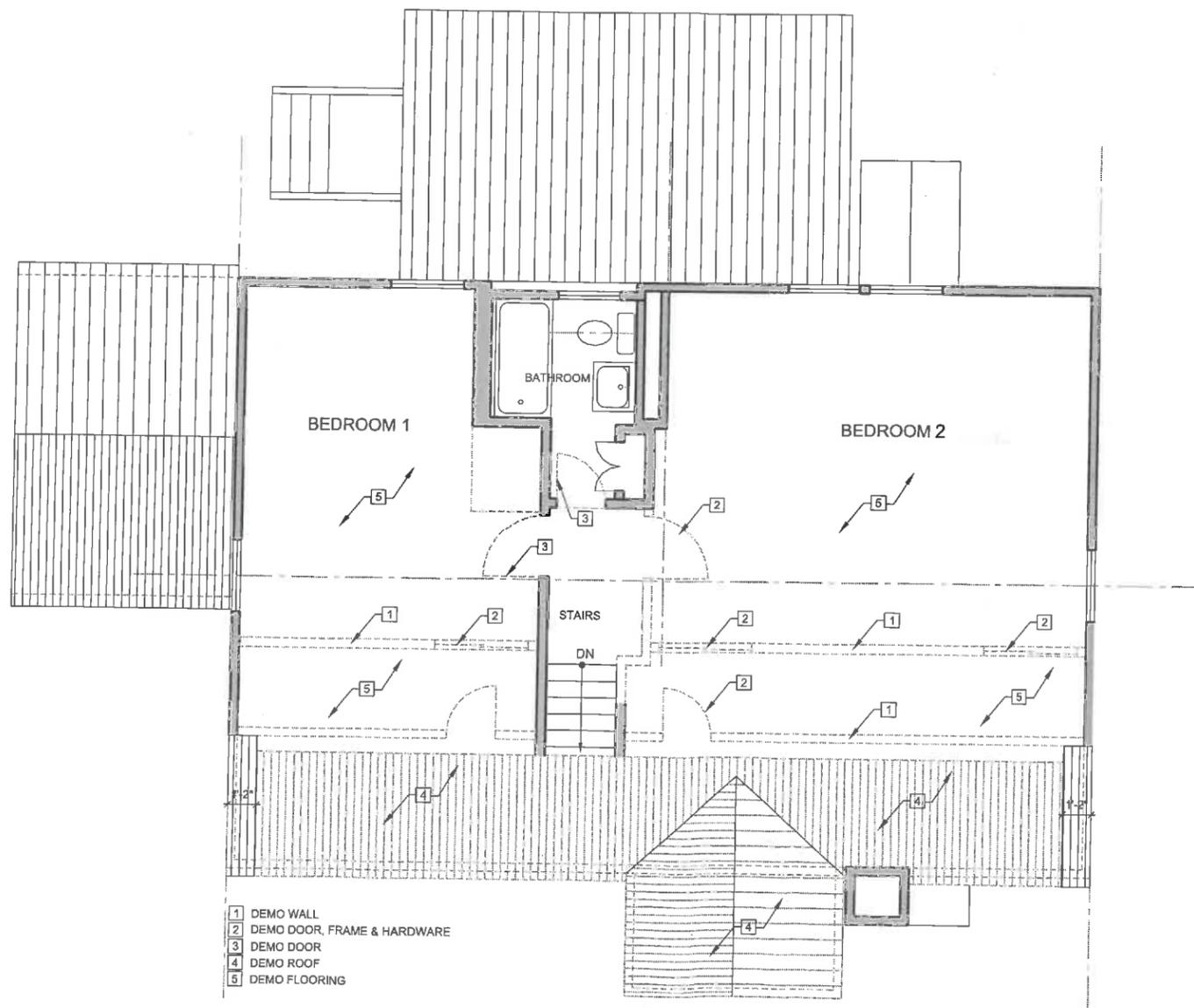
- DEMOLITION
- EXISTING WALL

YE-LEIGHTON Residence
 3 WESTLUND ROAD, BELMONT, MA 02478
MASTER SUITE ADDITION

DRAWING NUMBER

A0.1

ISSUE DATE
 20 SEPTEMBER 2021



- 1 DEMO WALL
- 2 DEMO DOOR, FRAME & HARDWARE
- 3 DEMO DOOR
- 4 DEMO ROOF
- 5 DEMO FLOORING

DEMOLITION PLAN NOTES

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DEMOLITION PLAN LEGEND

- DEMOLITION
- EXISTING WALL



YE-LEIGHTON Residence
 3 WESTLUND ROAD, BELMONT, MA 02478
MASTER SUITE ADDITION

DRAWING NUMBER

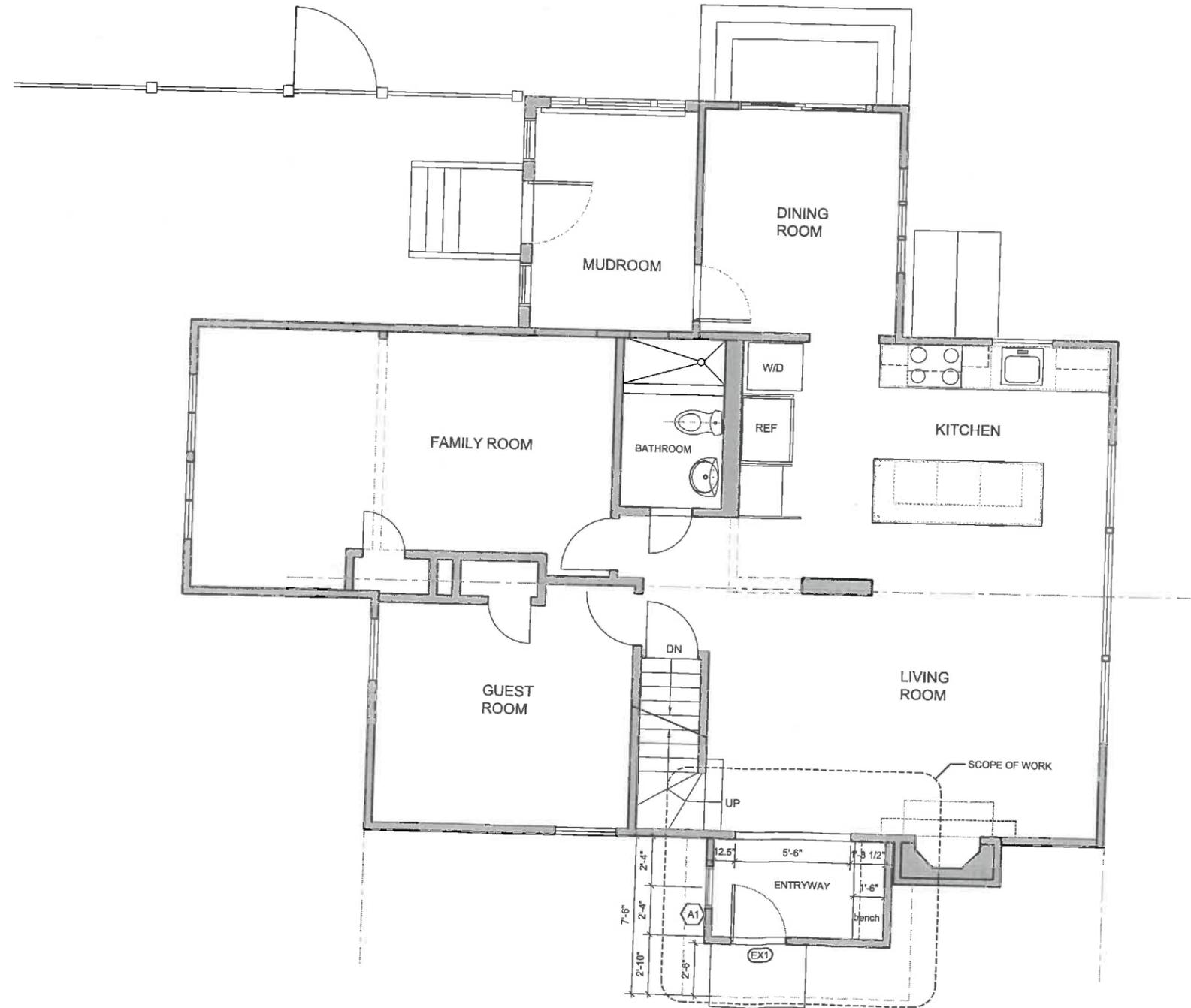
A0.2

ISSUE DATE
 20 SEPTEMBER 2021

SECOND FLOOR - DEMOLITION PLAN

1/4"=1'-0"

1



FLOOR PLAN NOTES

1. GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS & CONDITIONS PRIOR TO CONSTRUCTION.
2. GENERAL CONTRACTOR TO ASSUMES ALL LIABILITY FOR ANY CHANGES TO THE PLAN NOT APPROVED BY THE ARCHITECT/OWNER.
3. DIMENSIONS ARE FINISHED DIMENSIONS.
5. REFER TO STRUCTURAL DRAWINGS FOR ALL STRUCTURAL ELEMENTS AND DIMENSIONS.
6. REFER TO KITCHEN & BATH CONSULTANTS DRAWINGS FOR CASEWORK.

KVS
 KVS Design
 Residential & Interior Design
 11 Perry Lane
 North Andover, MA 02348
 508.272.9245



FLOOR PLAN LEGEND

- NEW WALL
- EXISTING WALL

YE-LEIGHTON Residence
 3 WESTLUND ROAD, BELMONT, MA 02478
MASTER SUITE ADDITION

DRAWING NUMBER

A1.1

ISSUE DATE
 20 SEPTEMBER 2021

FIRST FLOOR - PROPOSED PLAN 1
 1/4"=1'-0"

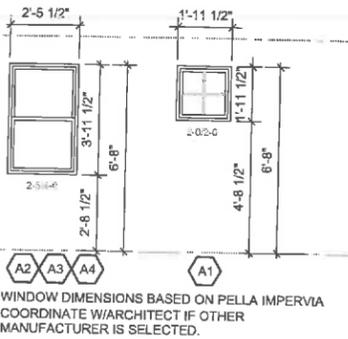
Egress window:
Min. clear opening is 3.3 ft², 20"x24" in either direction.

IECC 2018 -
Zone 5 required U factor: U-30

Pella Impervia
2-6x4-0
clear opening width: 25 3/8"
clear opening height: 20"
clear opening: 3.5 ft²

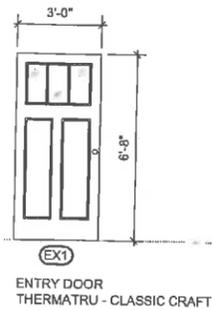
Glazing: Advanced Comfort E IG
(argon filled gap): U-27

WINDOW SCHEDULE

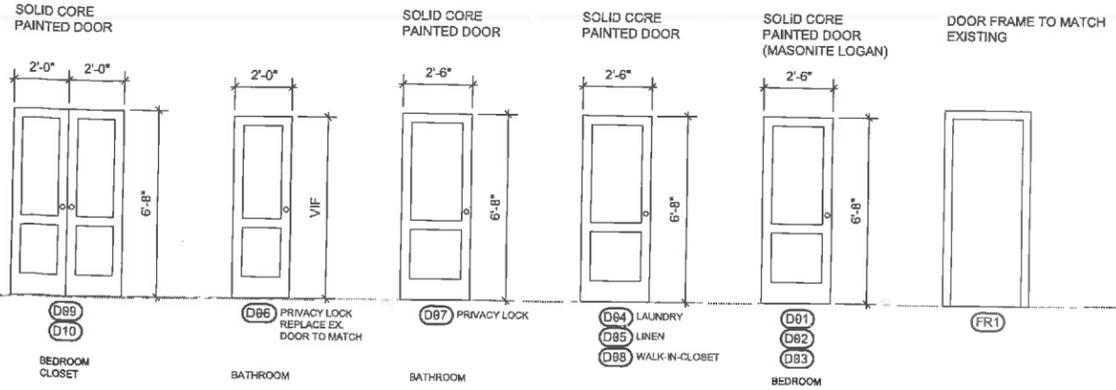


WINDOW SCHEDULE
1/4"=1'-0"

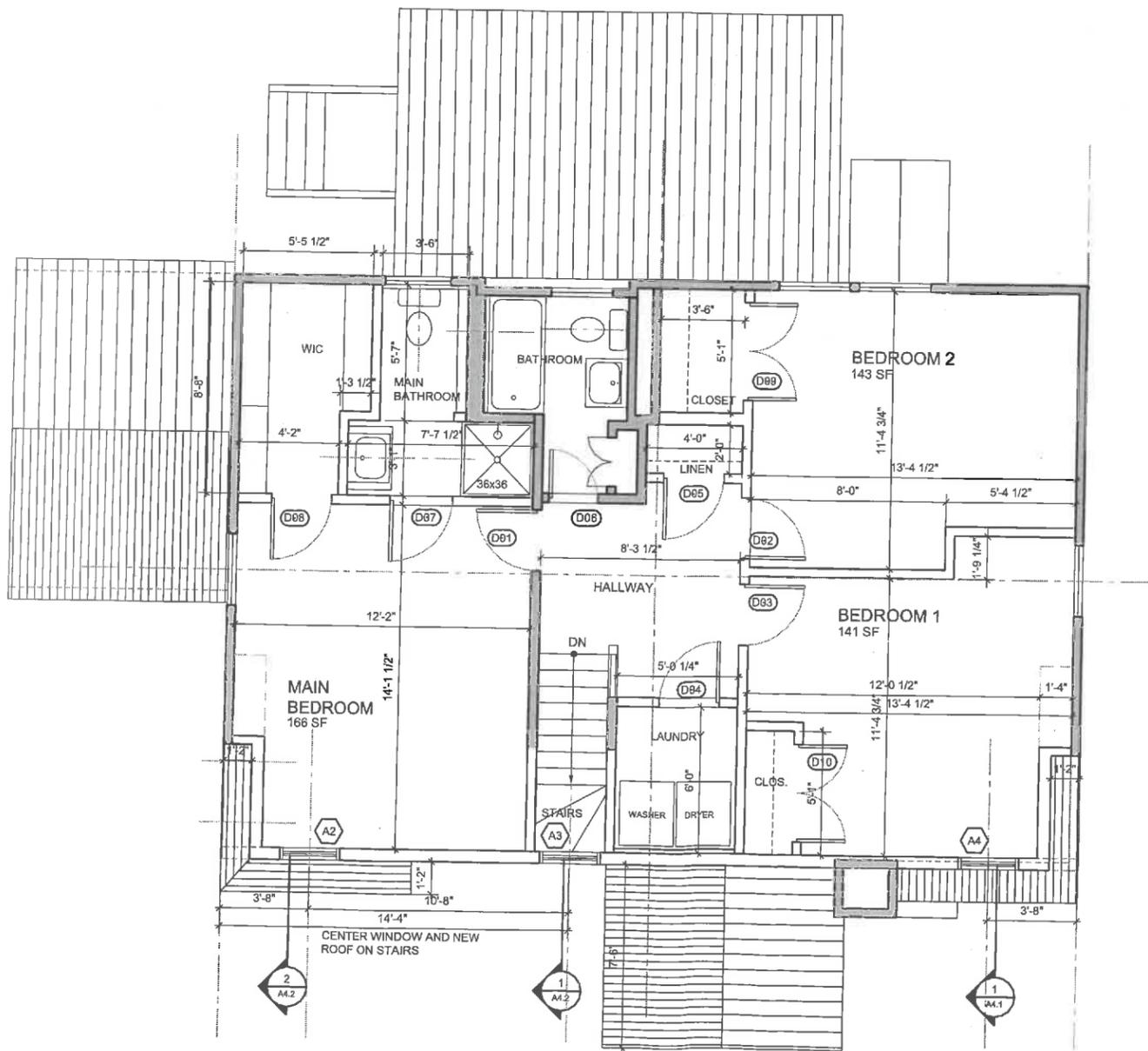
EXTERIOR DOOR SCHEDULE



INTERIOR DOOR SCHEDULE



DOOR SCHEDULE
1/4"=1'-0"



SECOND FLOOR - PROPOSED PLAN
1/4"=1'-0"

FLOOR PLAN NOTES

1. GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS & CONDITIONS PRIOR TO CONSTRUCTION.
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FLOOR PLAN LEGEND

- NEW WALL
- EXISTING WALL

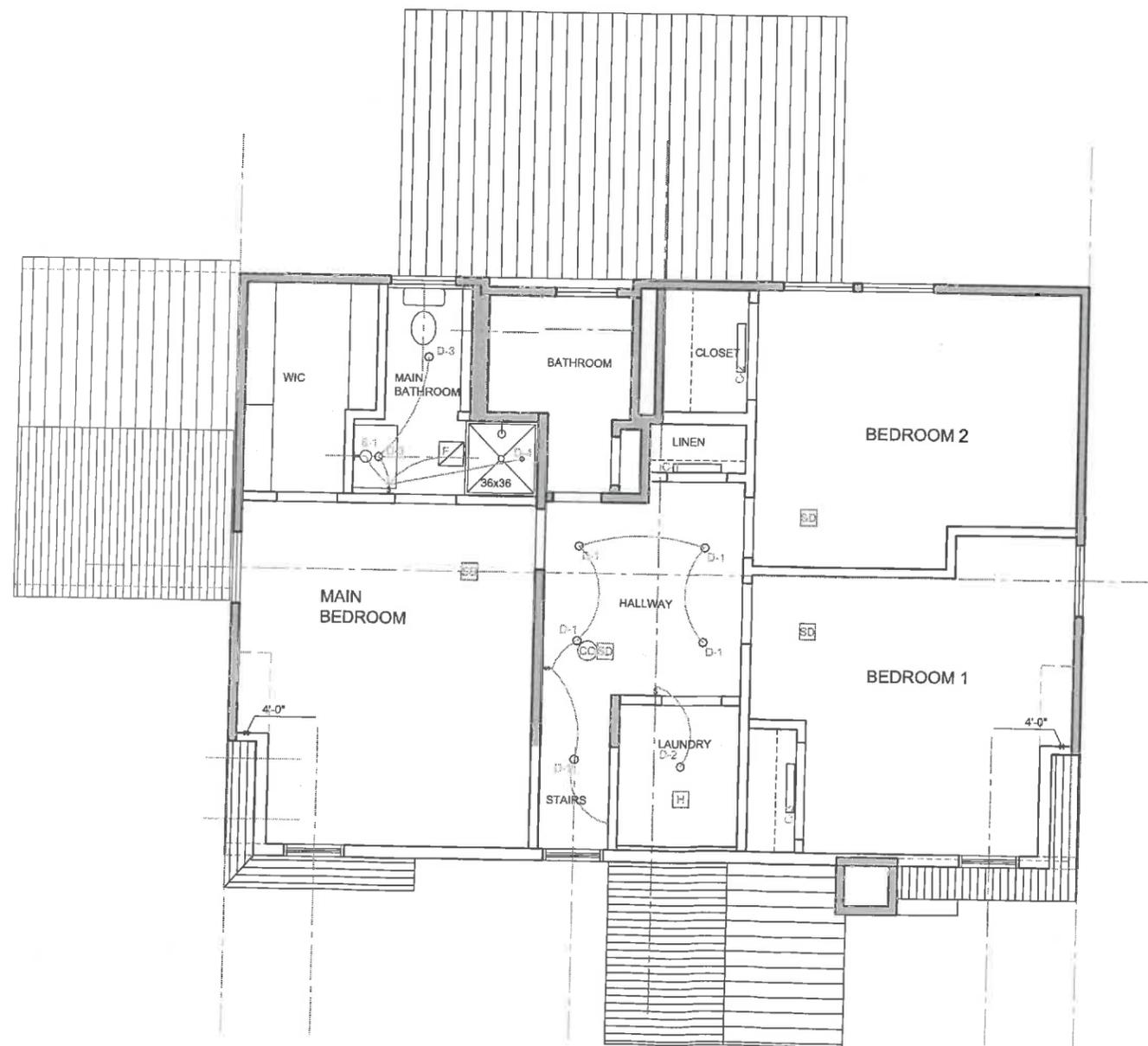


YE-LEIGHTON Residence
3 WESTLUND ROAD, BELMONT, MA 02478
MASTER SUITE ADDITION

DRAWING NUMBER

A1.2

ISSUE DATE
20 SEPTEMBER 2021



SECOND FLOOR - CEILING PLAN
1/4"=1'-0"

1

CEILING PLAN NOTES

FIRE PROTECTION NOTES

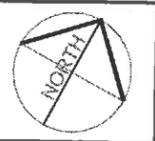
SD SMOKE DETECTOR
CC CARBON MONOXIDE DETECTOR
HD HEAT DETECTOR
 PROVIDE SMOKE ALARMS, CARBON MONOXIDE DETECTORS AND GARAGE HEAT DETECTORS AS REQUIRED PER CODE.
 ALL DETECTORS AND ALARMS TO BE HARDWIRED AND INTERCONNECTED.
 IN LOCATIONS WHERE BOTH SMOKE AND CO DETECTORS ARE REQUIRED, INSTALL COMBO UNIT

FLOOR PLAN LEGEND

NEW WALL
 EXISTING WALL

CEILING PLAN LEGEND

D RECESSED DOWN LIGHT
P PENDANT / CEILING MOUNTED FIXTURE
U UNDER CABINET LIGHT
W WALL MOUNTED FIXTURE
S SWITCH
J JUNCTION BOX
F BATHROOM FAN
L LED CEILING WALL MOUNTED
R RECESSED WALL WASHER

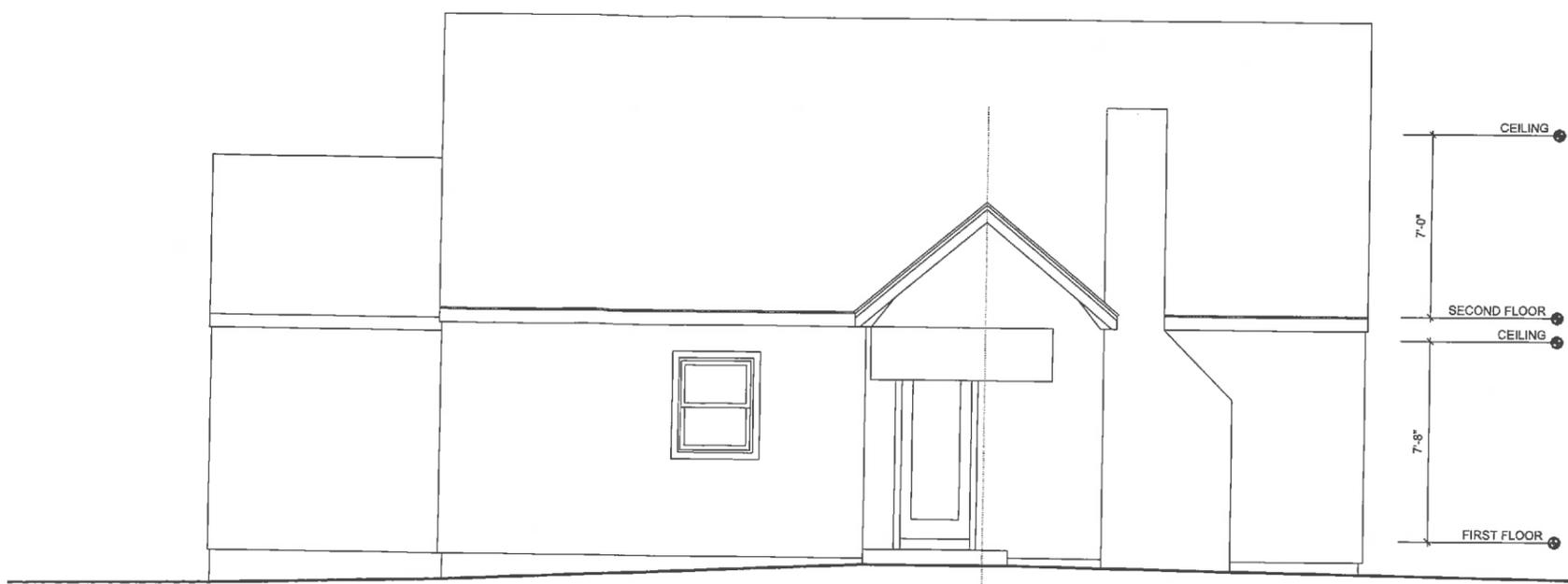


YE-LEIGHTON Residence
 3 WESTLUND ROAD, BELMONT, MA 02478
MASTER SUITE ADDITION

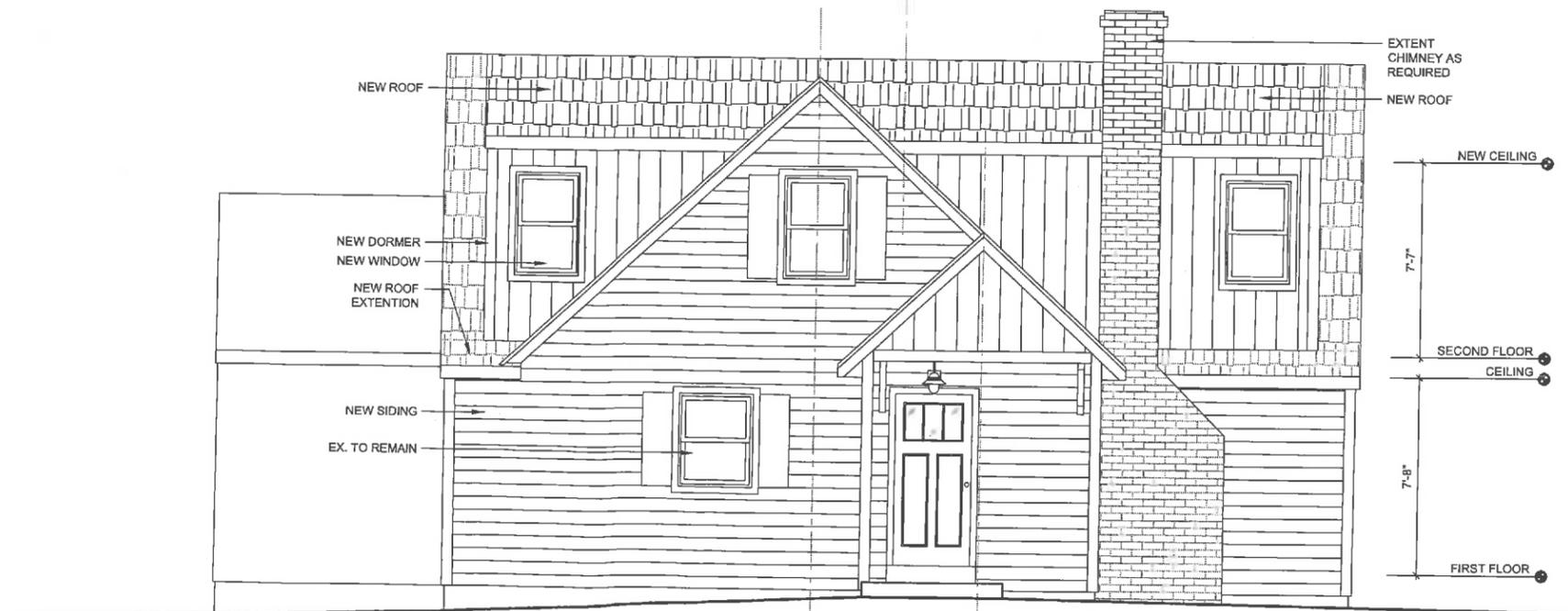
DRAWING NUMBER
A2.1
 ISSUE DATE
 20 SEPTEMBER 2021

KVS

KVS Design
Residential & Interior Design
11 Penny Lane
North Easton, MA 02550
508.272.0248



FRONT ELEVATION - EXISTING 2
1/4"=1'-0"



FRONT ELEVATION - PROPOSED 1
1/4"=1'-0"

YE-LEIGHTON Residence
3 WESTLUND ROAD, BELMONT, MA 02478
MASTER SUITE ADDITION

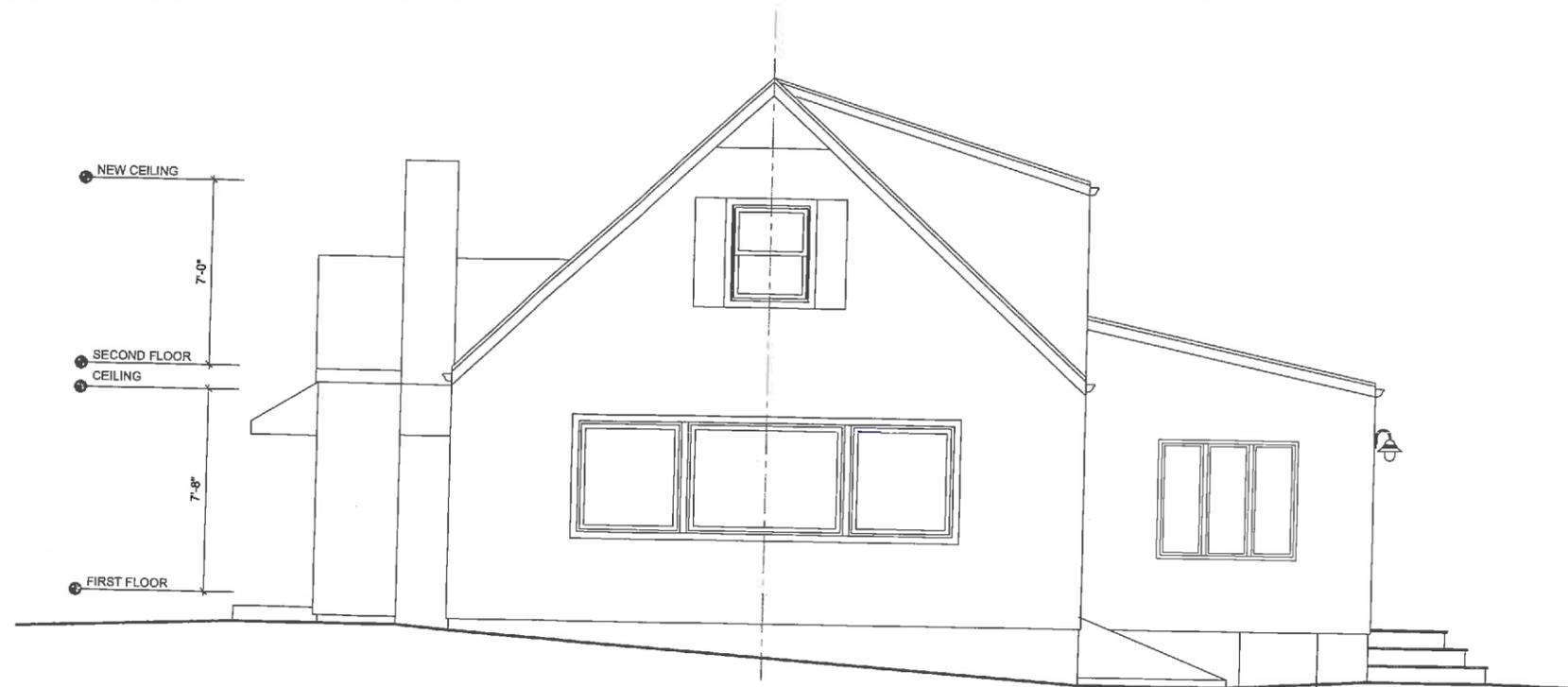
DRAWING NUMBER

A3.1

ISSUE DATE
20 SEPTEMBER 2021

KVS

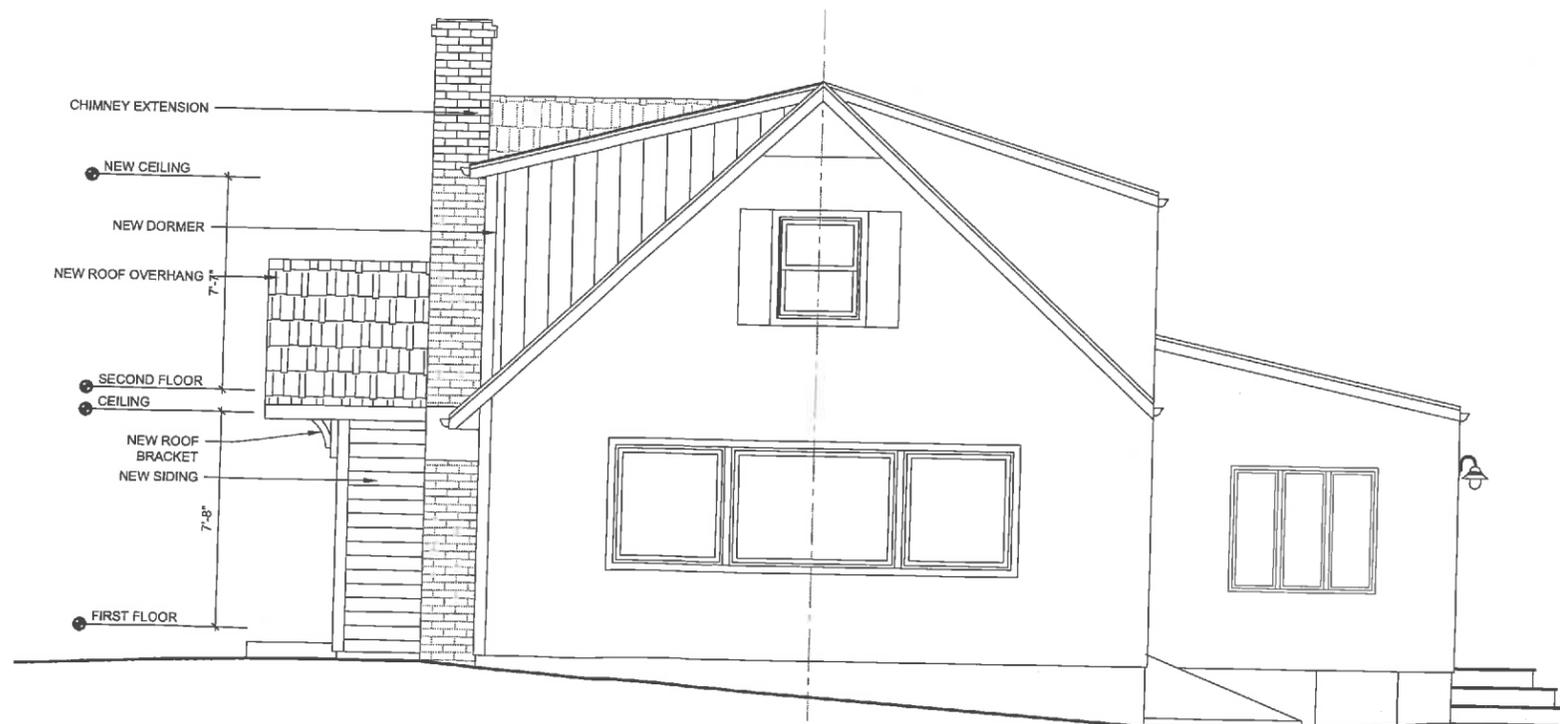
KVS Design
Residential & Interior Design
11 Perry Lane
North Easton, MA 02356
508.272.0248



NORTH SIDE ELEVATION - EXISTING

1/4"=1'-0"

2



NORTH SIDE ELEVATION - PROPOSED

1/4"=1'-0"

1

YE-LEIGHTON Residence
3 WESTLUND ROAD, BELMONT, MA 02478
MASTER SUITE ADDITION

DRAWING NUMBER

A3.2

ISSUE DATE
20 SEPTEMBER 2021

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11 Perry Lane
North Easton, MA 02356
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SOUTH SIDE ELEVATION - EXISTING
1/4"=1'-0"

2



SOUTH SIDE ELEVATION - PROPOSED
1/4"=1'-0"

1

YE-LEIGHTON Residence
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MASTER SUITE ADDITION

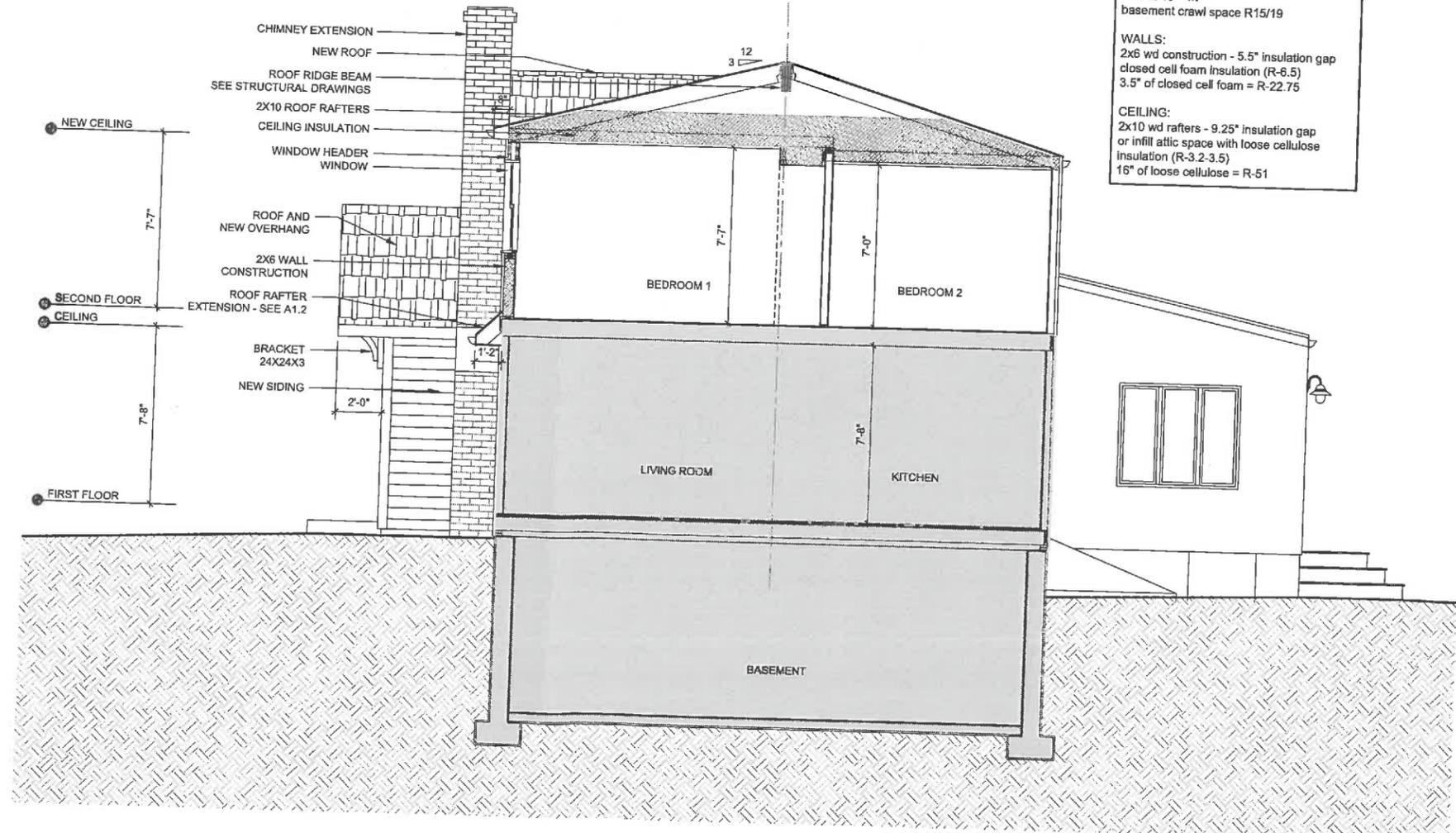
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IECC 2018 Insulation:
 roof R-49
 walls R-20 or R-13+5
 slab R-10 - 4ft
 basement crawl space R15/19

WALLS:
 2x6 wd construction - 5.5" insulation gap
 closed cell foam insulation (R-6.5)
 3.5" of closed cell foam = R-22.75

CEILING:
 2x10 wd rafters - 9.25" insulation gap
 or infill attic space with loose cellulose
 insulation (R-3.2-3.5)
 16" of loose cellulose = R-51

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BUILDING SECTION

1/4"=1'-0"

1

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A4.1

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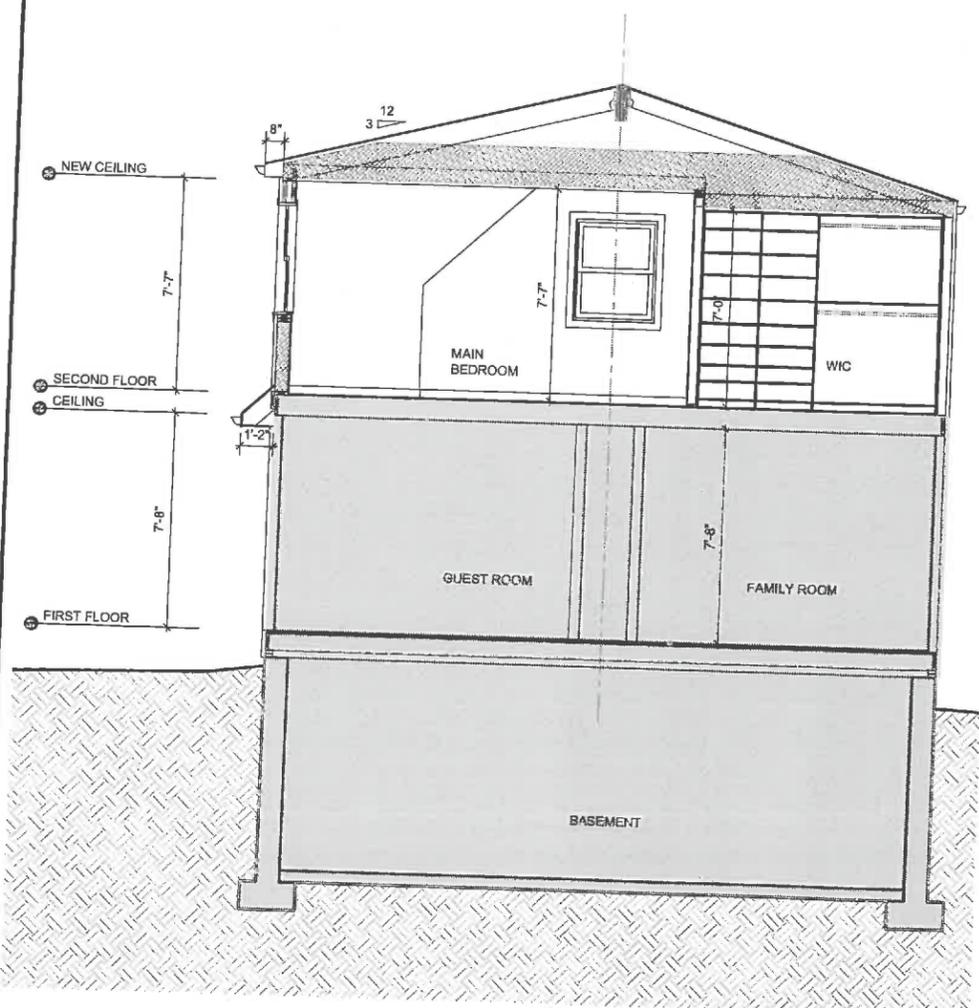
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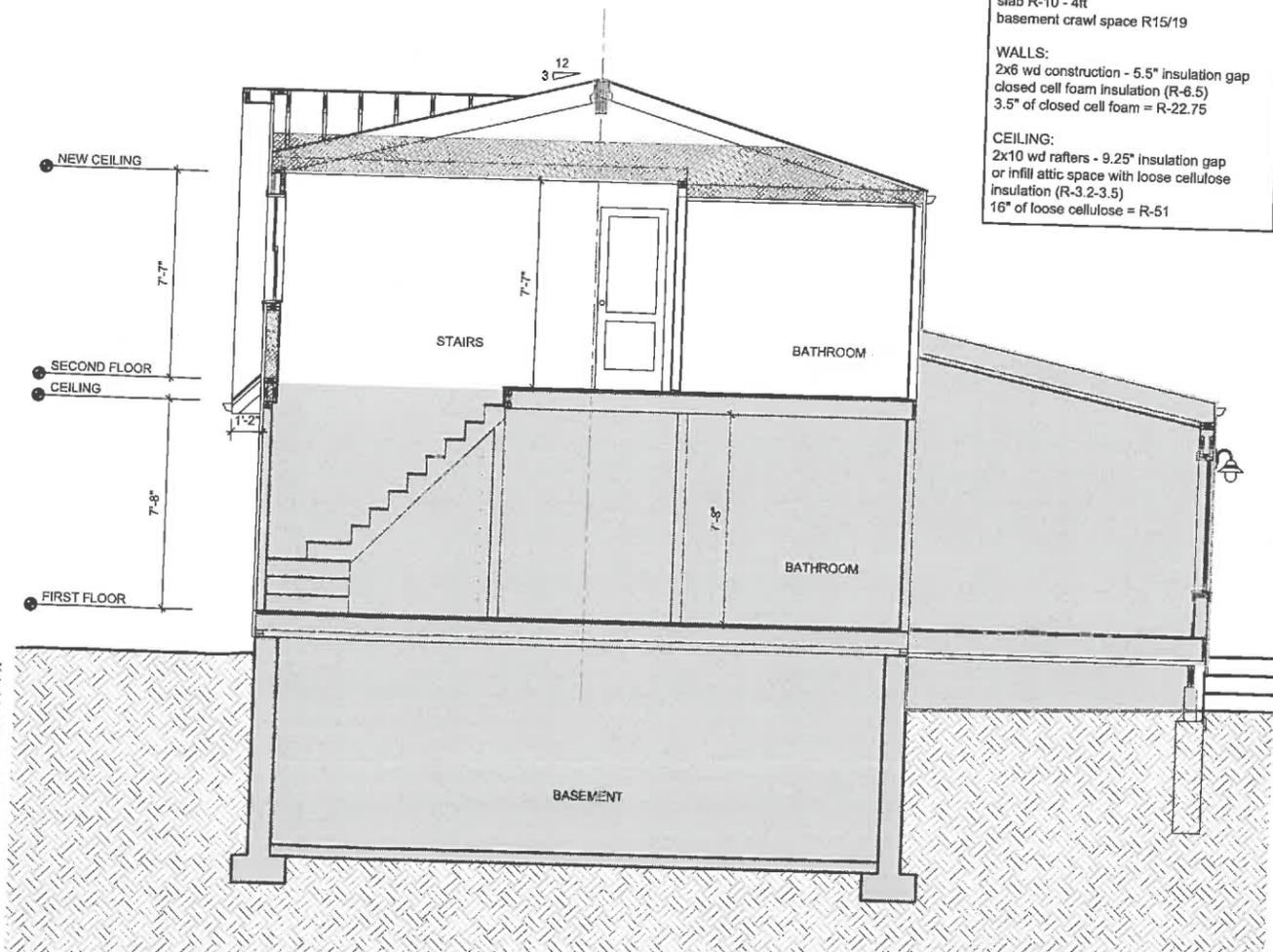
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WALLS:
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closed cell foam insulation (R-6.5)
3.5" of closed cell foam = R-22.75

CEILING:
2x10 wd rafters - 9.25" insulation gap
or infill attic space with loose cellulose
insulation (R-3.2-3.5)
16" of loose cellulose = R-51



BUILDING SECTION 2
1/4"=1'-0"



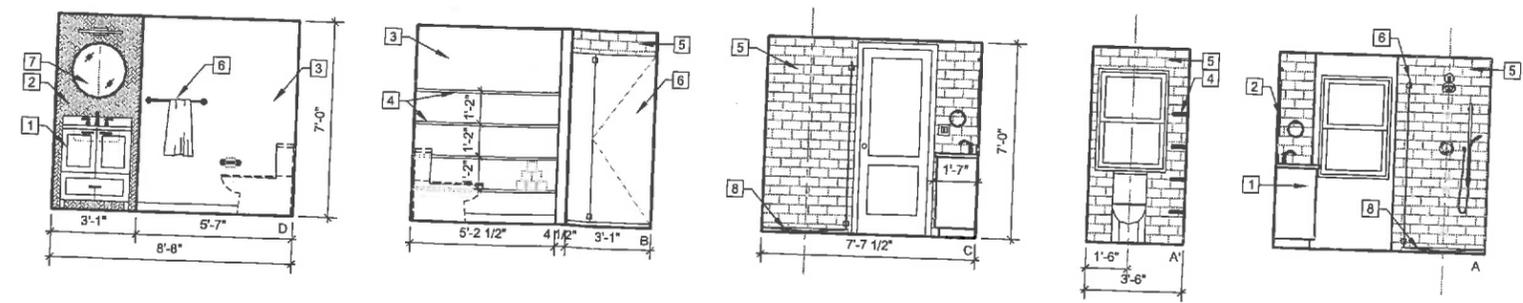
BUILDING SECTION 1
1/4"=1'-0"

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MASTER SUITE ADDITION

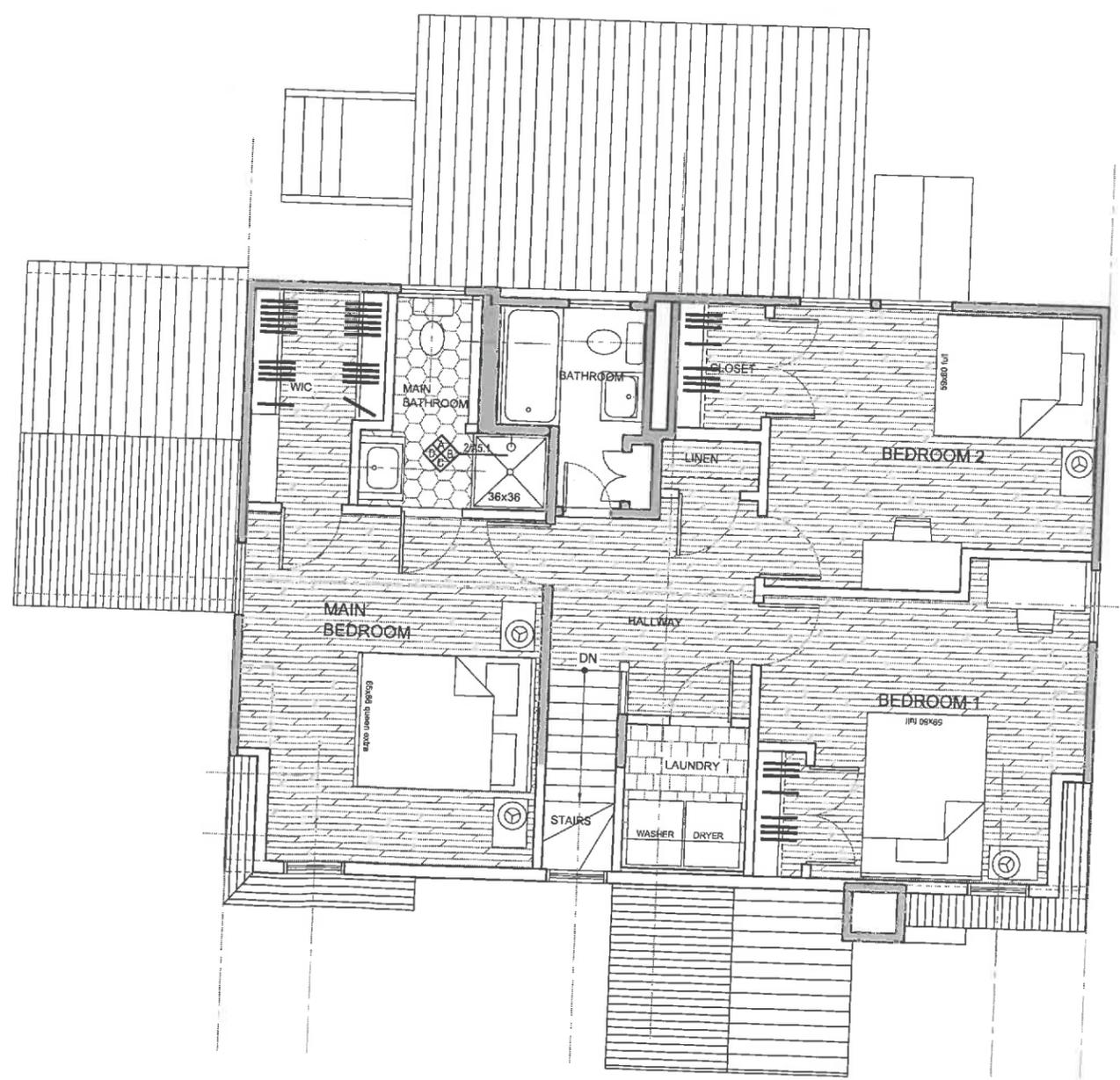
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- 1 VANITY
- 2 ACCENT WALL TILE
- 3 PAINTED WALL
- 4 FLOATING SHELF
- 5 TILED WALL
- 6 SHOWER GLASS DOOR
- 7 TOWEL BAR
- 8 MIRROR
- 9 SHOWER BASE



MAIN BATHROOM - ELEVATIONS

1/4"=1'-0" 2



SECOND FLOOR - FINISHES

1/4"=1'-0" 1

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