



Town of Belmont  
Zoning Board of Appeals

**APPLICATION FOR A SPECIAL PERMIT**

Date: March 1, 2022

Zoning Board of Appeals  
Homer Municipal Building  
19 Moore Street  
Belmont, MA 02478

To Whom It May Concern:

Pursuant to the provisions of Massachusetts General Laws, Chapter 40A, Section 9, as amended, and the Zoning By-Laws of the Town of Belmont, I/we the undersigned, being the owner(s) of a certain parcel of land (with the buildings thereon) situated on 3a Poplar Street Road, hereby apply to your Board for a **SPECIAL PERMIT** for the erection or alteration on said premises or the use thereof under the applicable Section of the Zoning By-Law of said Town for \_\_\_\_\_

construct deck, canopy, and stairs  
to replace existing

on the ground that the same will be in harmony with the general purpose and intent of said Zoning By-Law.

Signature of Petitioner

[Handwritten Signature]

Print Name

Andrew Flaming

Address

3a Poplar St  
Belmont MA 02478

Daytime Telephone Number

617 458 9157



OFFICE OF COMMUNITY DEVELOPMENT  
TOWN OF BELMONT  
19 Moore Street  
Homer Municipal Building  
Belmont, Massachusetts 02478-0900

Telephone: (617) 993-2650 Fax: (617) 993-2651

Building Division  
(617) 993-2664  
Engineering Division  
(617) 993-2665  
Planning Division  
(617) 993-2666

February 16, 2022

Andrew Flamang  
39 Poplar Street  
Belmont, MA 02478

RE: Denial to Construct Deck with Canopy.

Dear Mr. Flamang,

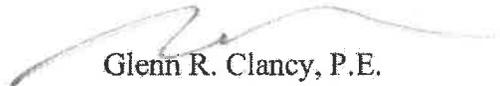
The Office of Community Development is in receipt of your building permit application for your proposal to construct a deck with a canopy at 39 Poplar Street located in a General Residence (GR) Zoning District.

Your application has been denied because it does not comply with the current Town of Belmont Zoning By-Law. More specifically, §1.5.4A of the By-Law allows alterations and expansions in the GR district by a Special Permit granted by the Board of Appeals.

1. The proposed alterations and expansions are allowed by a Special Permit granted by the Board of Appeals.

You may alter your plans to conform to the current Town of Belmont Zoning By-Law and resubmit a building permit application, or you may request one (1) Special Permit from the Zoning Board of Appeals. If you choose this option, please contact the Office of Community Development to schedule an appointment with Ara Yogurtian, Assistant Director, at (617) 993-2650 in order to begin the process.

Sincerely,



Glenn R. Clancy, P.E.  
Inspector of Buildings

Andrew Flamang & Brittany Charlton  
39 Poplar Street  
Belmont, MA 02478

Zoning Board of Appeals  
Town of Belmont

Thank you for hearing our application for a special permit.

We purchased this home in the summer of 2021. Andrew grew up in Belmont and we decided to raise our family here based on his childhood experience here. Andrew's parents still live in the home he grew up in and are deeply involved in the community. We have immediately benefited from Belmont's community activities like Mini Marauders, Women's Learn to Play Hockey, etc.

The scope of the project in this application is demolition of our existing back stairs, deck, and canopy, which are in disrepair, and building a new set of stairs, deck, and canopy in their place. The new deck and stairs will be ~160 square feet larger than the existing ones. Increasing the size of the deck will allow us some additional living space and weather resistant storage below without requiring a full, indoor addition.

The most pressing reason for the project in this application is replacing our existing deck and stairs. Our home inspector described the existing structure as "marginal" – lacking a proper footing, held up by brackets, and pulling away from the house.

It is also the most concerning source of lead paint on our home that remains after we de-leaded the interior. The lead paint is of particular note because we have three children under four years old.

Our family is passionate about historic preservation and is committed to maintaining the architectural style of our home. We worked closely with our architect to ensure that our project is in keeping with the prevailing colonial revival style of most homes in our neighborhood. And, while the original house is an existing nonconforming structure, this project itself conforms with all setbacks, open space requirements, etc. as documented in the zoning compliance checklist.

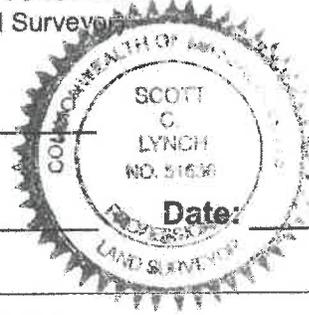
Thank you for your consideration, and for your work on behalf of the town.

Andrew Flamang & Brittany Charlton

**Zoning Compliance Check List**  
**Properties Located within the GR Districts**  
 (To be Completed by a Registered Land Surveyor)

Property Address: 39 Poplar Street

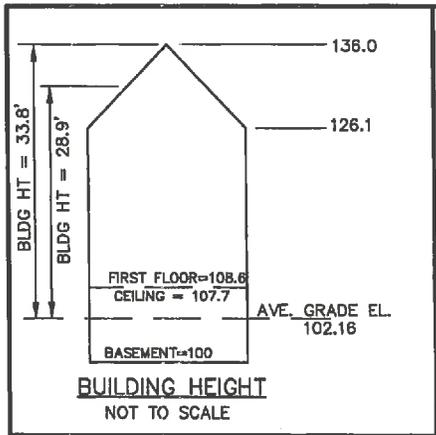
Surveyor Signature and Stamp: Scott C. Lynch



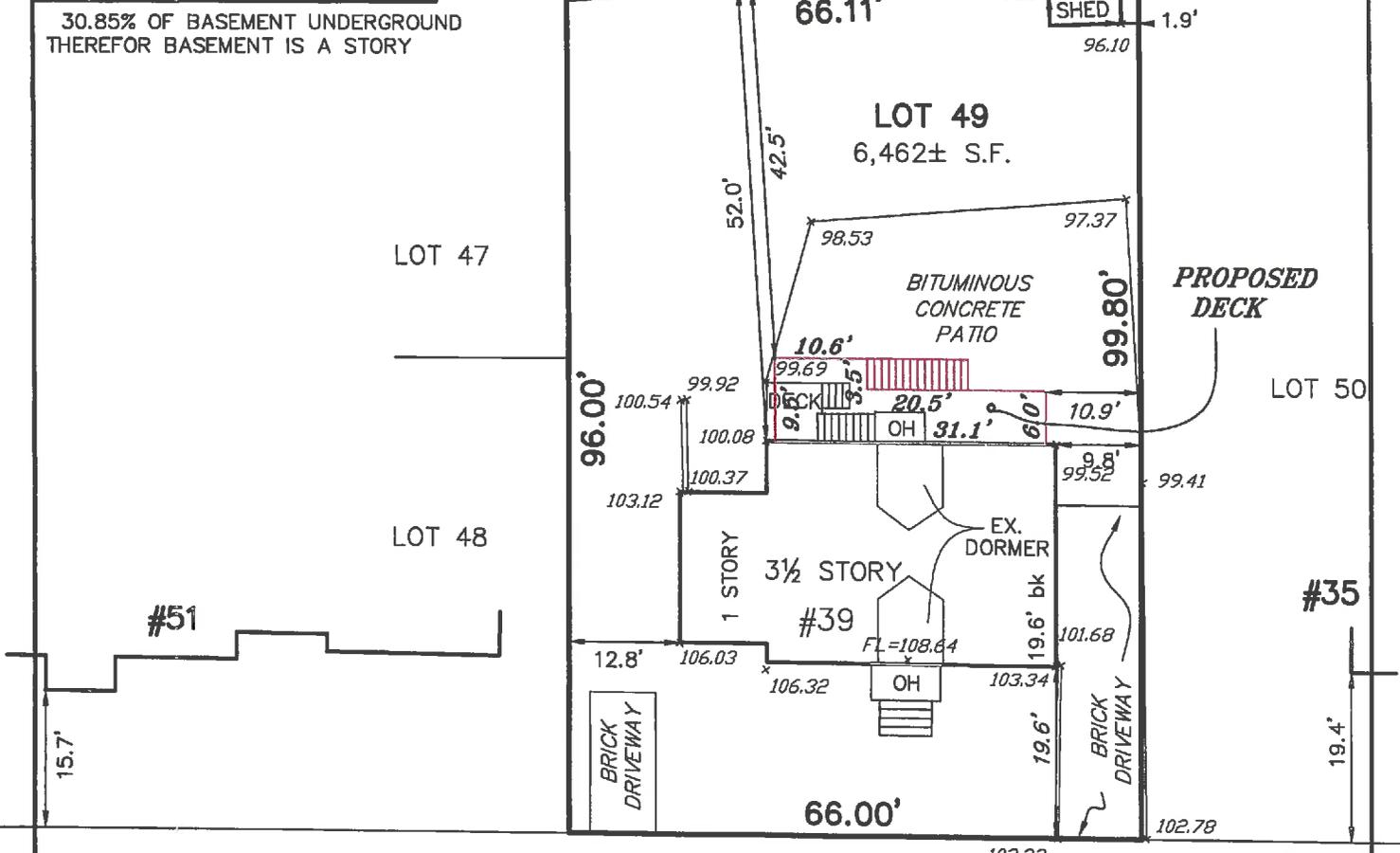
Date: 11/30/2020

Per §4.2 of the Zoning By-Laws				
		REQUIRED	EXISTING	PROPOSED
Lot Area (sq. ft.)		5,000	6,462	—
Lot Frontage (feet)		50'	66'	—
Lot Area/Unit (sq. ft./d.u.)				
Lot Coverage (% of lot)		30%	17.3%	19.8%
Open Space (% of lot)		40%	75.1%	72.6%
Setbacks: (feet)	➤ Front	17.5'	19.6'	—
	➤ Side/Side	10'   10'	12.8   9.8	—   10.9'
	➤ Rear	20'	52'	42.5'
Building Height:	➤ Feet	33'	—	—
	➤ Stories	2 1/2	—	—
1/2 Story (feet) (Per §1.4)	➤ Perimeter			
	➤ Area			
	➤ Length			
Per §6D of the Zoning By-Laws				
		REQUIRED	EXISTING	PROPOSED
Front Doors:	➤ Face Street			
	➤ Setback			
Curb Cut				
HVAC:	➤ Front Yard			
	➤ Side/Rear Setbacks			

**SUBMIT CALCULATIONS** for all of the requirements listed above on a separate piece of paper(s) to verify how they were calculated



30.85% OF BASEMENT UNDERGROUND  
 THEREFOR BASEMENT IS A STORY



# POPLAR STREET

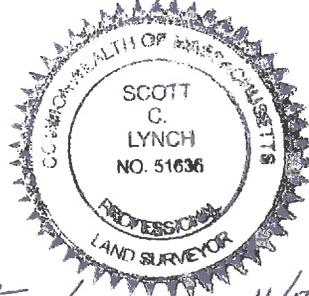
THE PROPERTY IS NOT LOCATED  
 WITHIN WETLANDS AS SHOWN  
 ON THE TOWN OF BELMONT  
 WETLANDS ATLAS.

ZONING DISTRICT:	GR (GENERAL RESIDENCE)	REQ.	EXISTING	PROP.
FRONT SETBACK:	17.5'	19.6'	-	-
SIDE SETBACK:	10'	9.8'	10.9'	10.9'
REAR SETBACK:	20'	52.0'	42.5'	42.5'
MAXIMUM LOT COVERAGE:	30%	17.3%	19.8%	19.8%
MINIMUM OPEN SPACE:	40%	75.1%	72.6%	72.6%
LOT FRONTAGE:	50.00'			

AVERAGE FRONT SETBACK  
 $19.4 + 15.7 = 35.1/2 = 17.5'$

PREPARED FOR: ANDREW FLAMANG  
 78015/427  
 ASSESSORS MAP 12 - PARCEL 188

TOTAL LOT AREA: 6,462± S.F.



*Scott Lynch*  
 SCOTT LYNCH, PLS      DATE 11/30/2021

## PROPOSED PLOT PLAN #39 POPLAR STREET IN BELMONT, MA (MIDDLESEX COUNTY)

SCALE: 1" = 20'      DATE: 11/30/2021

**ROBER SURVEY**  
 1072 MASSACHUSETTS AVENUE  
 ARLINGTON, MA 02476  
 (781) 648-5533  
 DWG. NO. 4723PP4.DWG

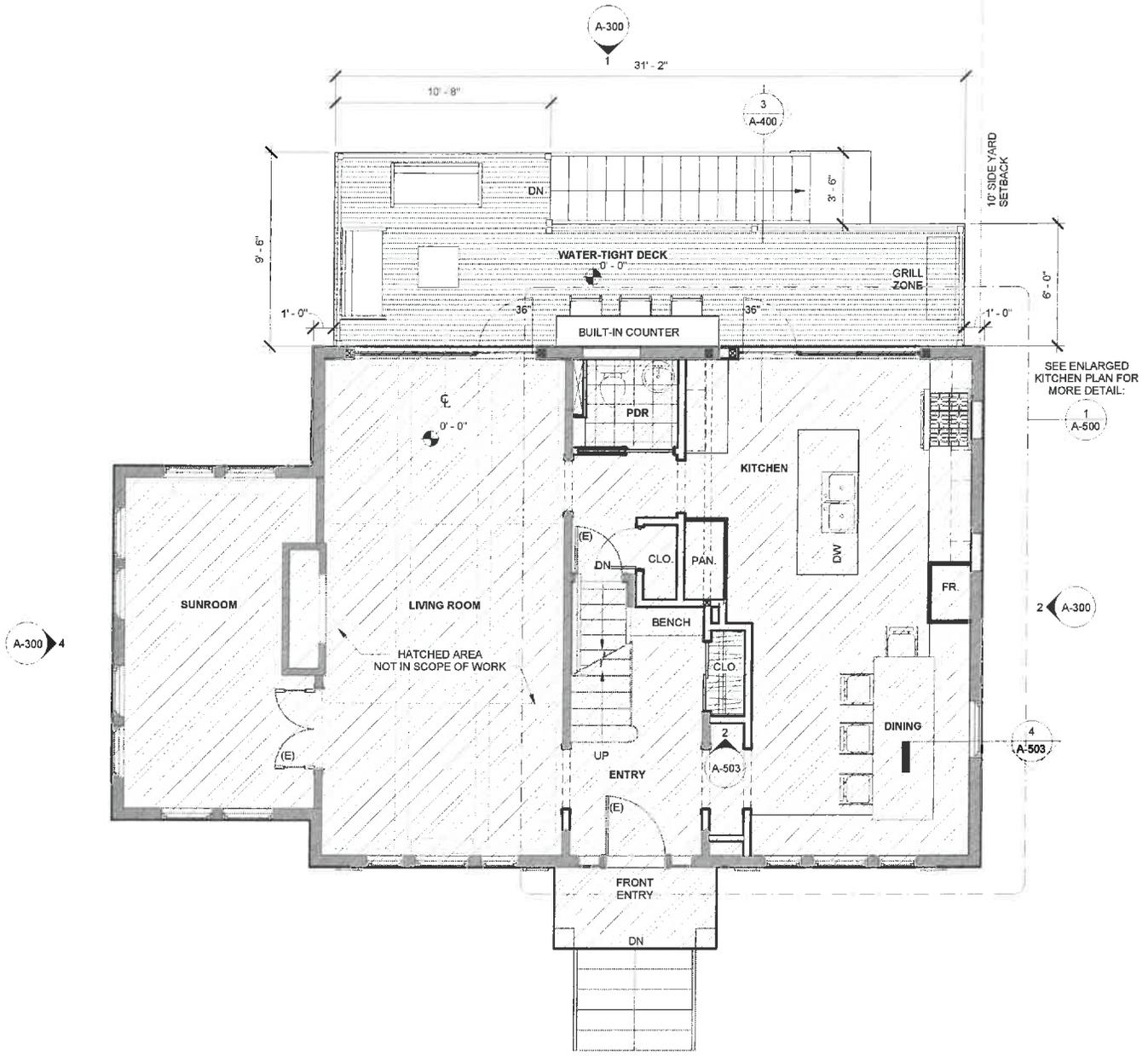


EXISTING



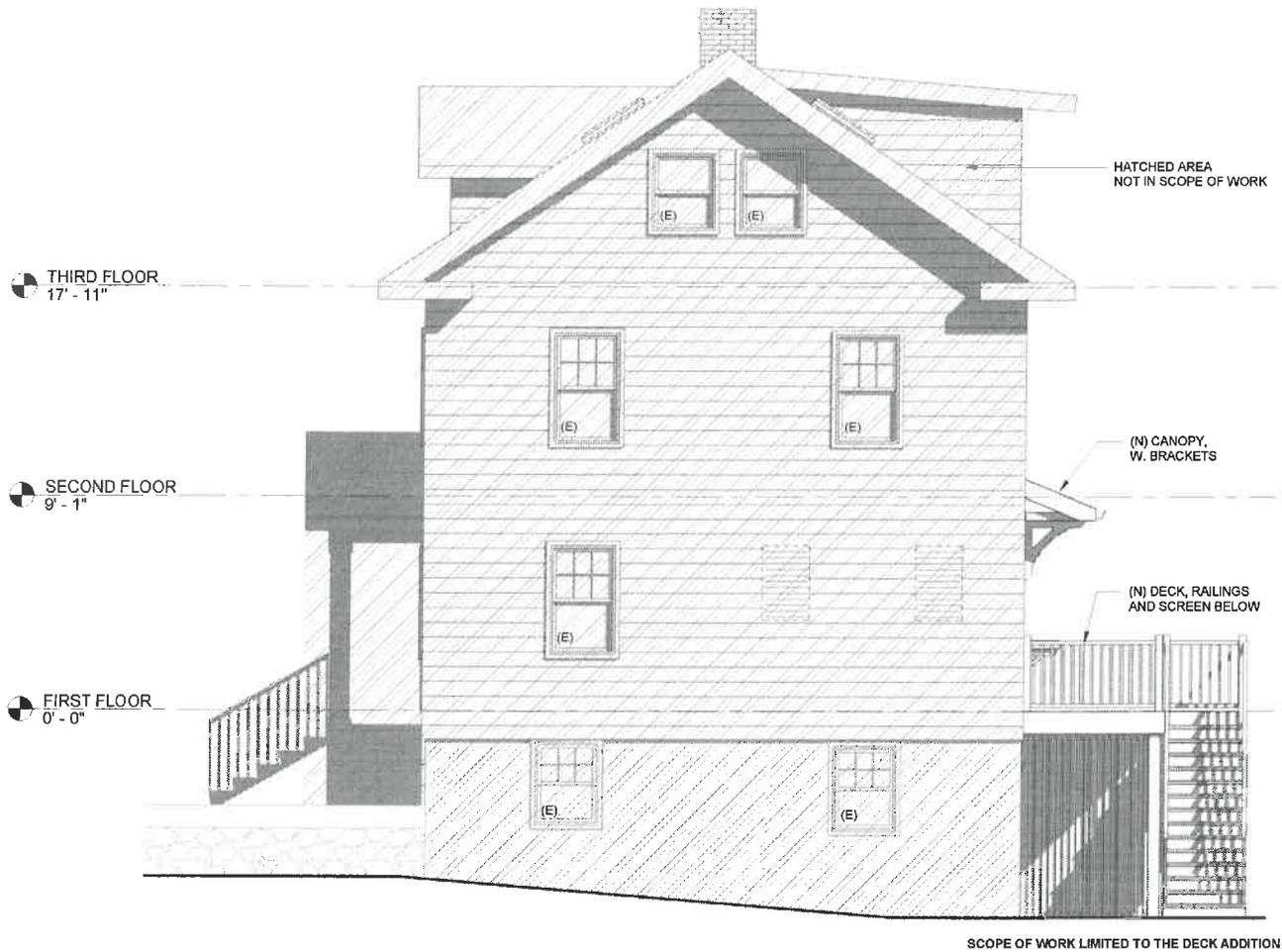
PROPOSED

SCOPE OF WORK LIMITED TO THE DECK ADDITION



② FIRST FLOOR PLAN  
1/4" = 1'-0"





(2) NORTH ELEVATION  
1/4" = 1'-0"



4 SOUTH ELEVATION  
1/4" = 1'-0"