



Town of Belmont  
Zoning Board of Appeals

**APPLICATION FOR A SPECIAL PERMIT**

Date: February 6, 2022

Zoning Board of Appeals  
Homer Municipal Building  
19 Moore Street  
Belmont, MA 02478

To Whom It May Concern:

Pursuant to the provisions of Massachusetts General Laws, Chapter 40A, Section 9, as amended, and the Zoning By-Laws of the Town of Belmont, I/we the undersigned, being the owner(s) of a certain parcel of land (with the buildings thereon) situated on 81 Orchard Street/Road, hereby apply to your Board for a **SPECIAL PERMIT** for the erection or alteration on said premises or the use thereof under the applicable Section of the Zoning By-Law of said Town to construct a rear addition located in a Single Residence C Zoning District

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

on the ground that the same will be in harmony with the general purpose and intent of said Zoning By-Law.

Signature of Petitioner Madeline Traser Cook  
Benjamin Cook  
Print Name Madeline and Benjamin Cook \_\_\_\_\_  
Address 81 Orchard St. \_\_\_\_\_  
Belmont, MA 02478 \_\_\_\_\_  
Daytime Telephone Number 617-304-4663 \_\_\_\_\_



OFFICE OF COMMUNITY DEVELOPMENT  
TOWN OF BELMONT  
19 Moore Street  
Homer Municipal Building  
Belmont, Massachusetts 02478-0900

Telephone: (617) 993-2650 Fax: (617) 993-2651

Building Division  
(617) 993-2664  
Engineering Division  
(617) 993-2665  
Planning Division  
(617) 993-2666

January 11, 2022

Madeline Cook  
81 Orchard Street  
Belmont, MA 02478

RE: Denial to Construct a Rear Addition.

Dear Ms. Cook,

The Office of Community Development is in receipt of your building permit application for your proposal to construct a rear addition at 81 Orchard Street located in a Single Residence C Zoning District.

Your application has been denied because it does not comply with the current Town of Belmont Zoning By-Law. More specifically, Section 4.2.2 - A-6 of the Zoning By-Law Dimensional Regulations require a minimum rear setback of 29.91'.

1. The existing and the proposed rear setback is 28.4'.

You may alter your plans to conform to the current Town of Belmont Zoning By-Law and resubmit a building permit application, or you may request One (1) Special Permit from the Zoning Board of Appeals. If you choose this option, please contact the Office of Community Development to schedule an appointment with Ara Yogurtian, Assistant Director, at (617) 993-2650 in order to begin the process.

Sincerely,

Glenn R. Clancy, P.E.  
Inspector of Buildings

February 6, 2022

Zoning Board of Appeals  
Homer Municipal Building  
19 Moore Street  
Belmont, MA 02478

To Whom It May Concern:

We are writing as the owners and occupants of the single family residence at 81 Orchard Street in Belmont to request approval of the minor modifications to the footprint of the residence. Our house is located in the SRC zoning district. Our proposed construction for a rear addition goes beyond the rear set-back zoning guidelines by 1.6 feet, and only for one of the proposed bump outs. The addition will effectively square off the rear footprint of the house and cause no discernable changes in terms of encroaching on the set back limits to the naked eye. We believe that these changes will be in harmony with the general purpose and intent of the Zoning By-Law.

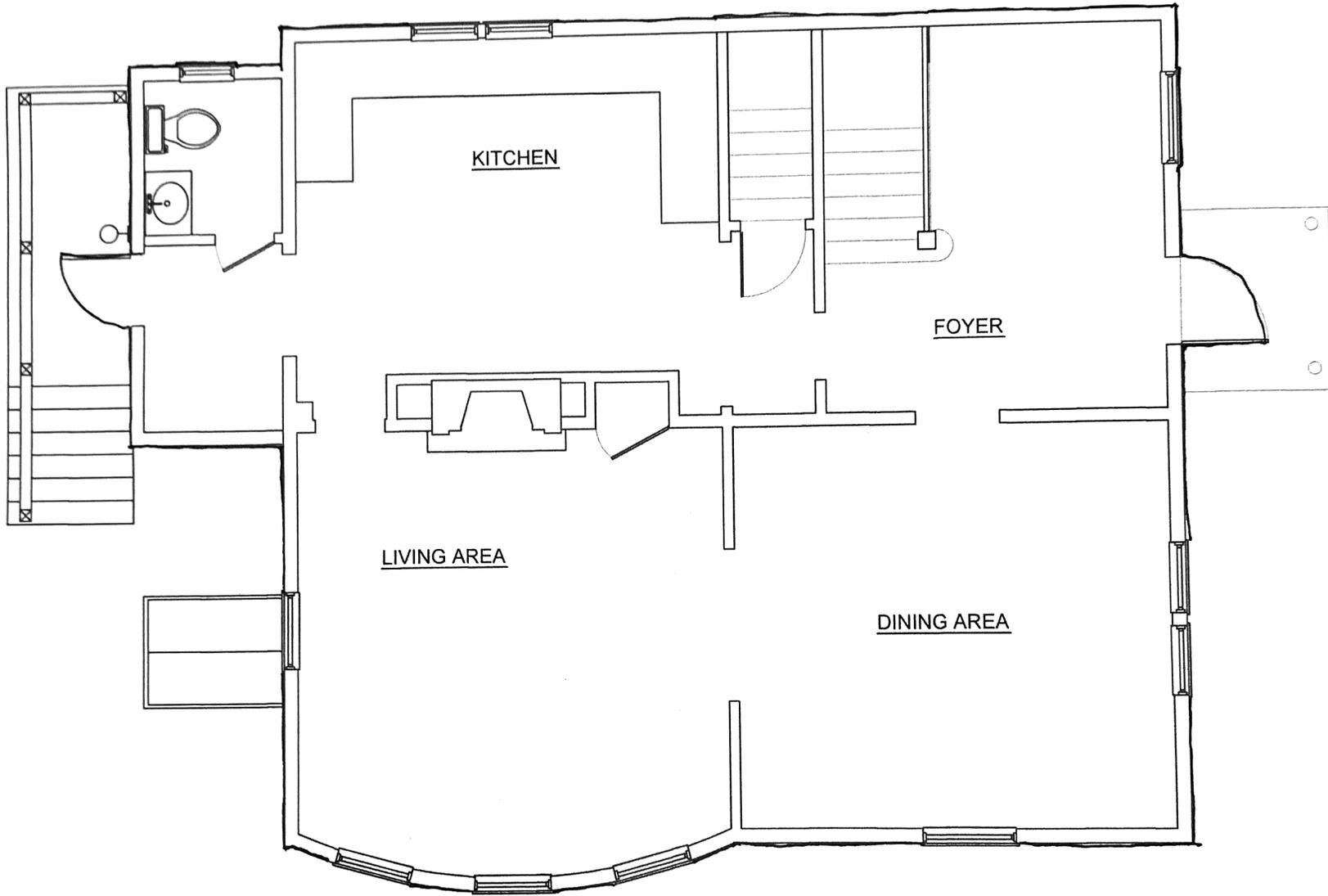
The purpose of the bump outs is to make the overall layout of the kitchen more user-friendly. When the small existing extension of the house was done, it did not extend to the side of the rest of the house, and it left a strange 1.2 foot "notch" at the rear corner of the house. Filling in the 1.2'x5.5' space there would allow for a more logical footprint of the kitchen. Given modern uses of a kitchen as the heart of the home, the proposed minor modifications would create a space that is more conducive to our family's use of the space, where our family of four, grandparents, and friends can gather.

Thank you for your time and consideration of this special permit application. Please feel free to reach out to us with any questions or comments.

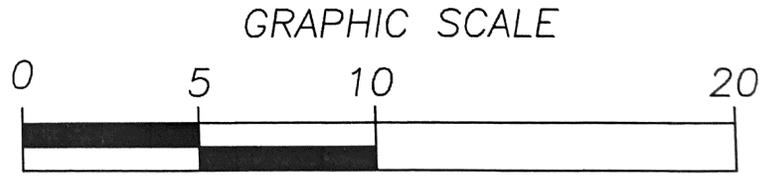
Sincerely,



Madeline and Benjamin Cook  
81 Orchard Street  
Belmont, MA 02478



1 EXISTING  
3/16" = 1'-0"



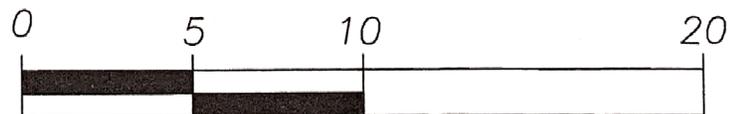


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REAR ELEVATION— EXISTING

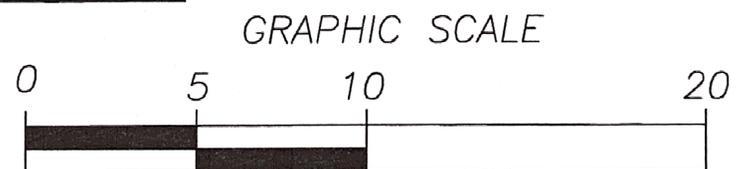
$3/16'' = 1'-0''$

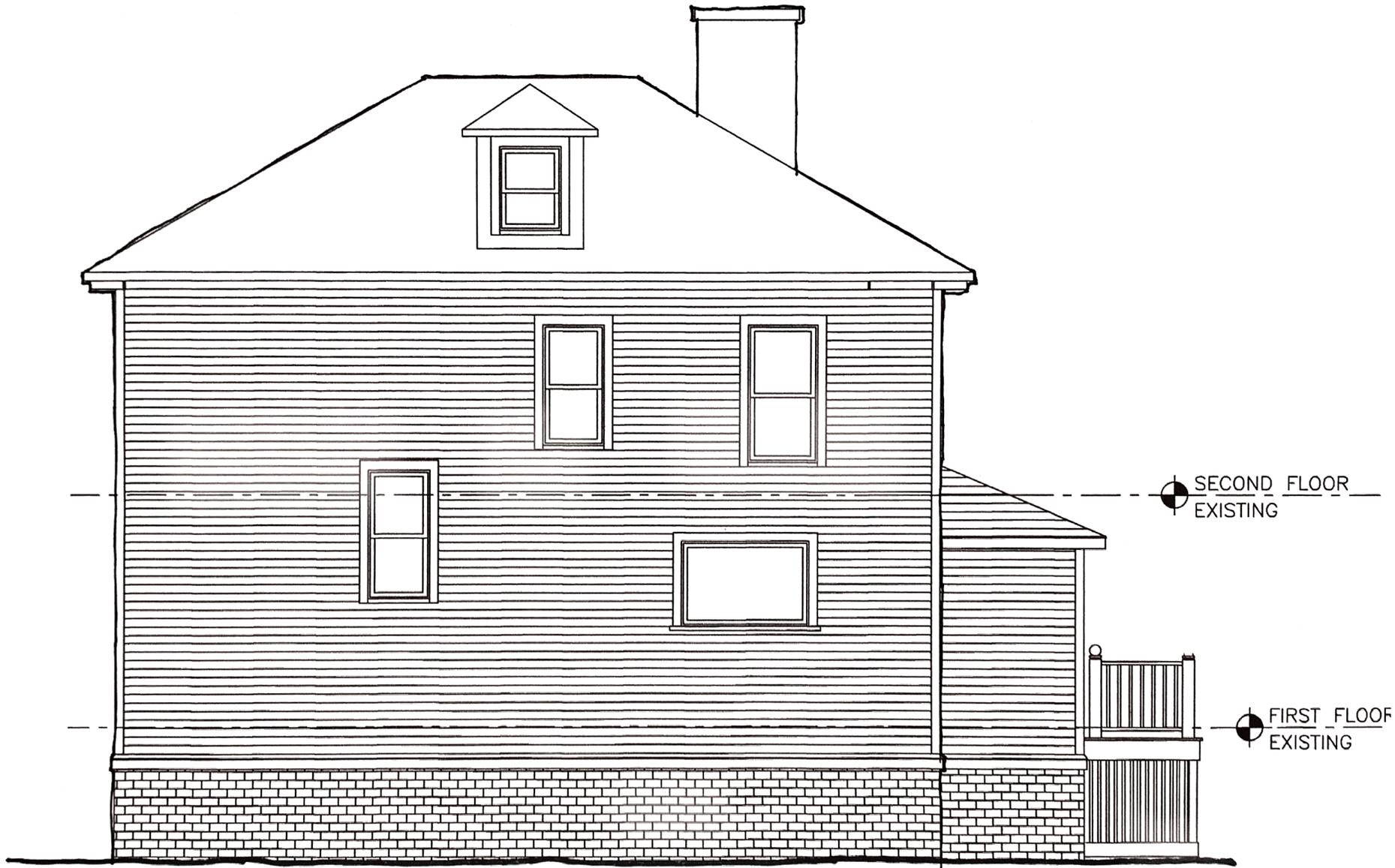
GRAPHIC SCALE



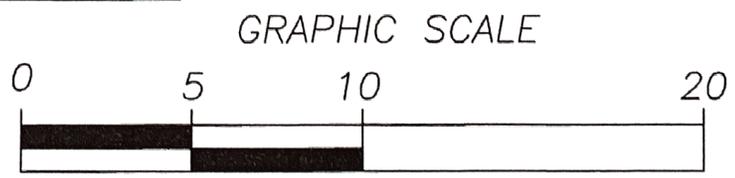


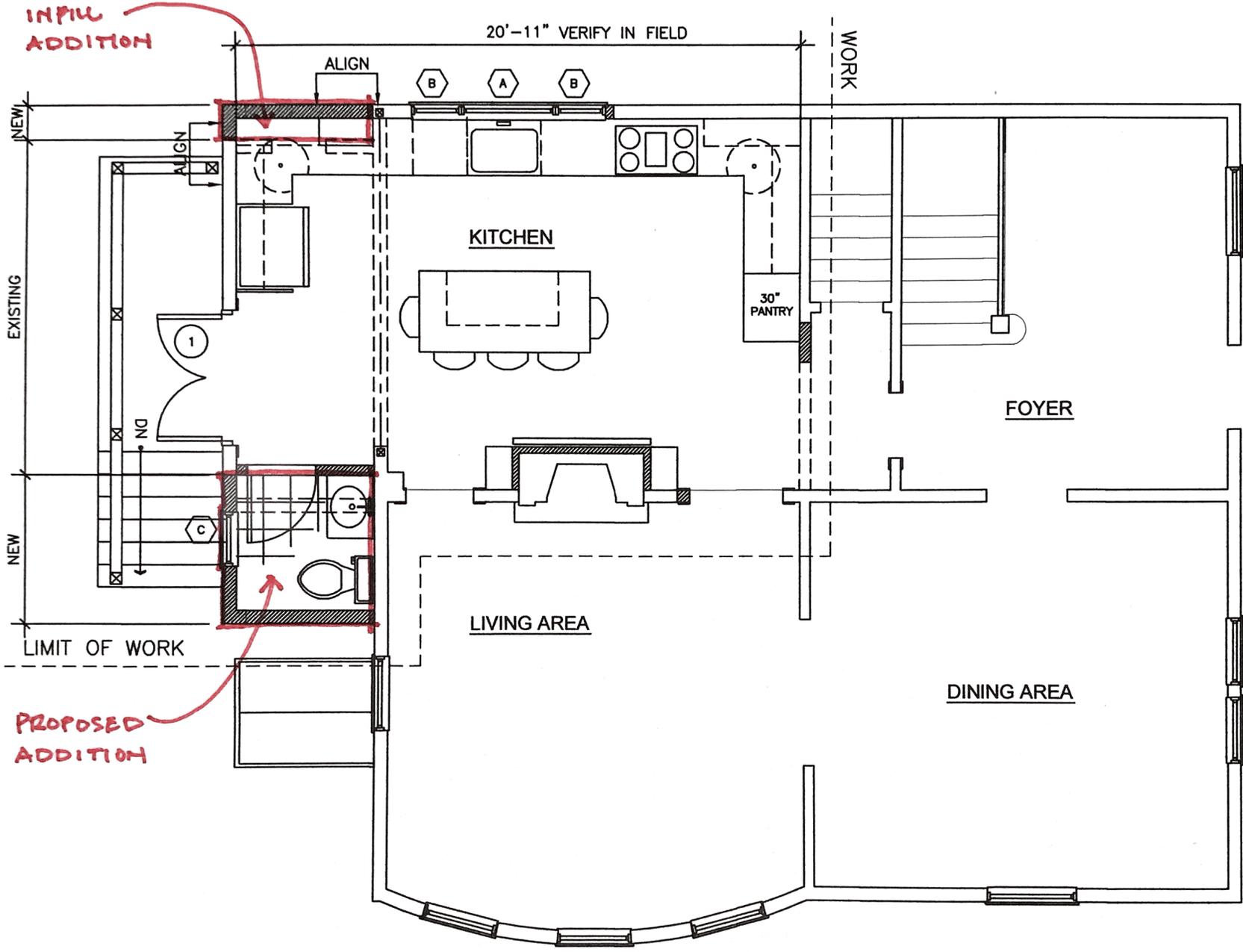
1 SIDE ELEVATION— EXISTING  
3/16" = 1'-0"



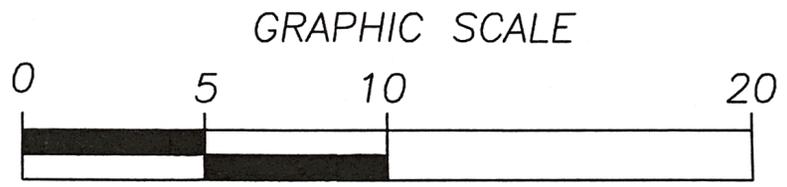


1 SIDE ELEVATION - EXISTING  
3/16" = 1'-0"

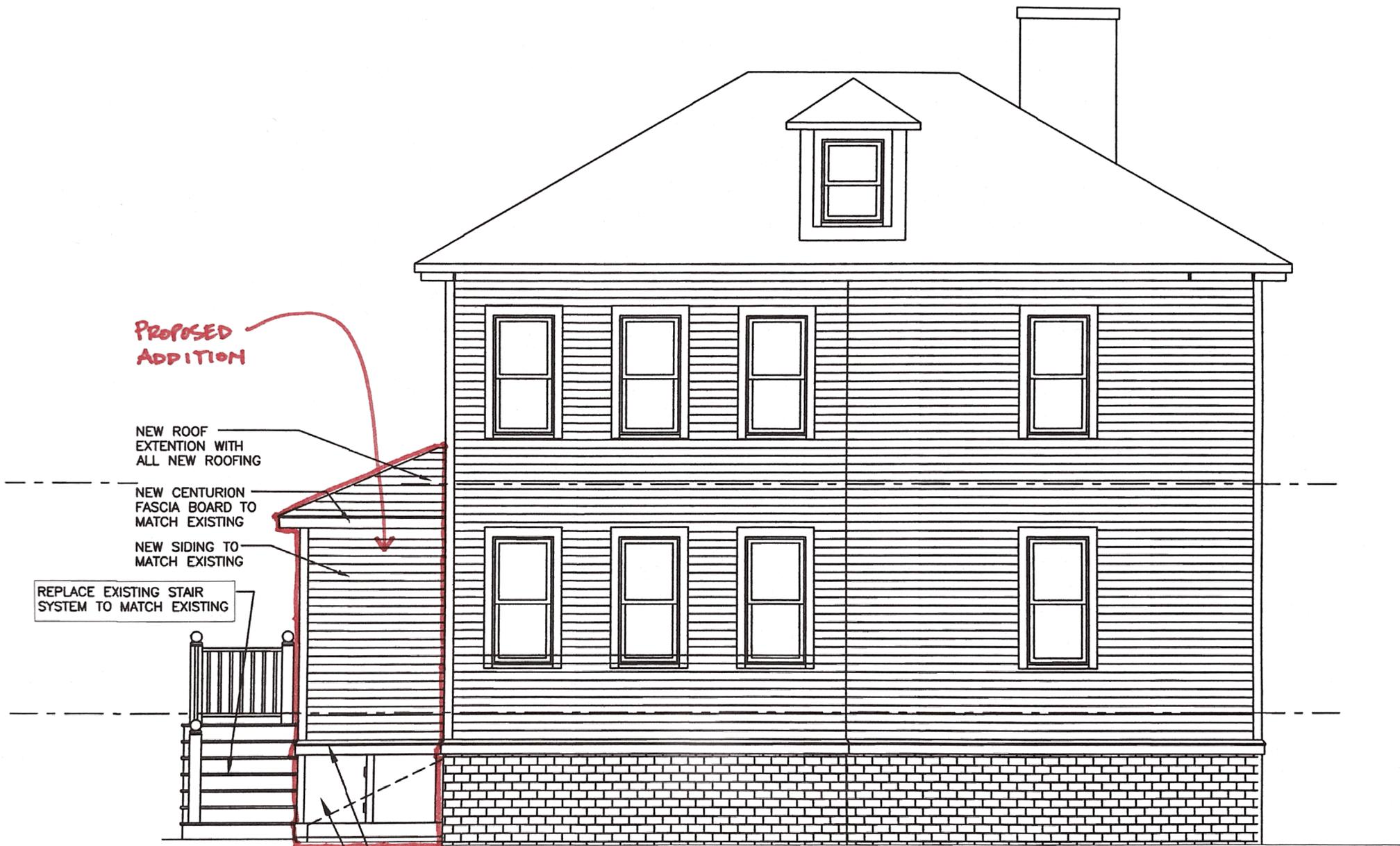




1 FIRST FLOOR PLAN  
 $3/16" = 1'-0"$







**PROPOSED  
ADDITION**

NEW ROOF  
EXTENTION WITH  
ALL NEW ROOFING

NEW CENTURION  
FASCIA BOARD TO  
MATCH EXISTING

NEW SIDING TO  
MATCH EXISTING

REPLACE EXISTING STAIR  
SYSTEM TO MATCH EXISTING

NEW WATER TABLE  
TO MATCH EXISTING

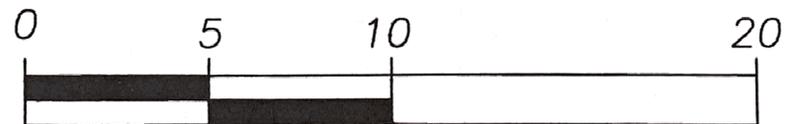
PAINTED MDO  
PANELS AND TRIM  
PROVIDE ACCESS PANEL

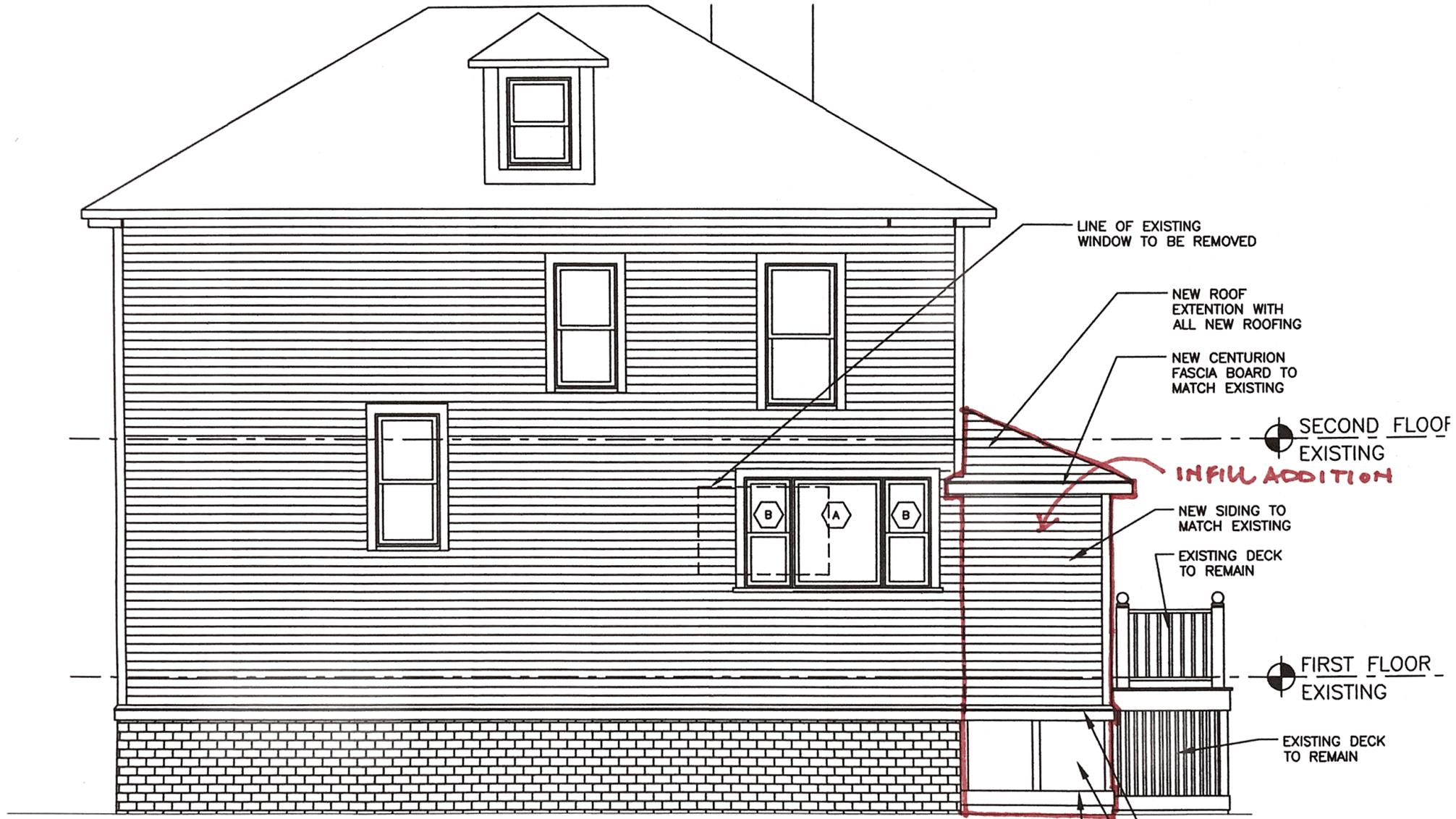
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**SIDE ELEVATION – PROPOSED**

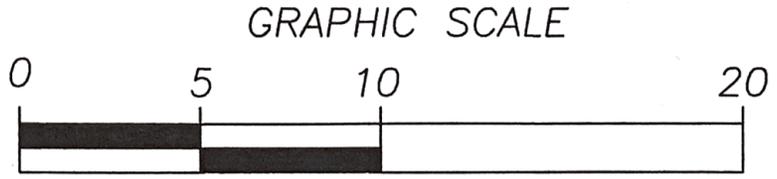
3/16" = 1'-0"

GRAPHIC SCALE

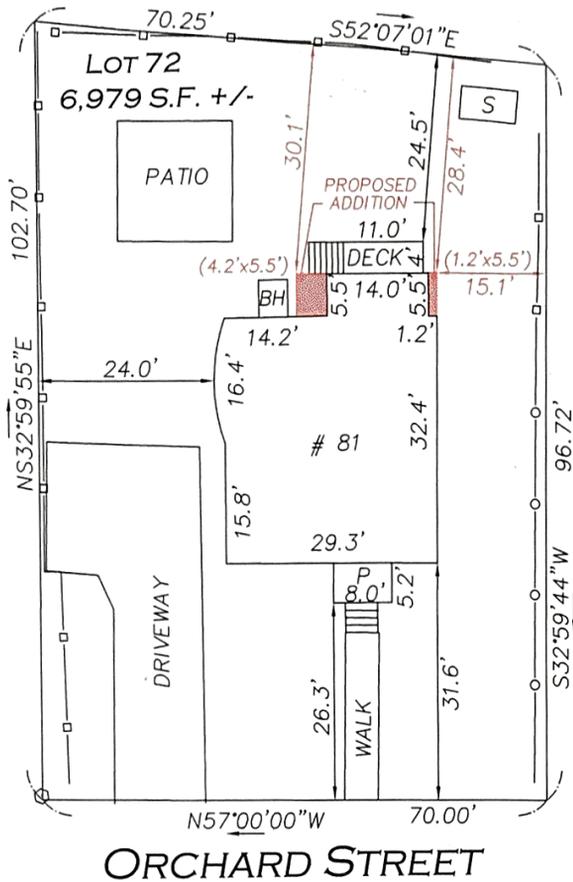




1 SIDE ELEVATION— PROPOSED  
 3/16" = 1'-0"



SITE FALLS WITHIN ZONE X  
 FEMA MAP # 25017C0418E  
 DATED JUNE 4, 2010



**ORCHARD STREET**

OWNER: MADELINE COOK &  
 BENJAMIN COOK  
 LOCUS HOUSE # - 81 ORCHARD STREET

LOCUS DEED - BOOK 54711 PAGE 270  
 LOCUS PLAN - PLAN BOOK 87 PLAN 7

ZONING DISTRICT= SRC

	REQ.	EXIST.	PROP.
MAX. LOT COVERAGE	25%	16.6%	17.1% *
MIN. OPEN SPACE	50%	69.2%	68.7% **
FRONT SETBACK	25'	26.3'	26.3'
SIDE SETBACK	10'	15.1'	15.1'
REAR SETBACK	30'	24.5'	28.4'

\* HOUSE (1045 S.F.+ ADDITIONS 31 S.F.  
 + 32 S.F. SHED + 44 S.F. DECK + 42 S.F. PORCH  
 =1194/6979=17.1%

\*\* HOUSE (1045 S.F.+ ADDITIONS 31 S.F.  
 + 32 S.F. SHED + 44 S.F. DECK + 42 S.F. PORCH  
 + 248 S.F. PATIO + 741 S.F. DRIVE) =  
 2183/6979=31.3% OR 68.7%



**PLOT PLAN**  
**81 ORCHARD STREET**  
**BELMONT MASS.**  
 SCALE: 1" = 20' SEPT. 15, 2021

Prepared By  
**EDWARD J. FARRELL**  
 PROFESSIONAL LAND SURVEYOR  
 110 WINN STREET ~ SUITE 203 ~ WOBURN, MA.  
 (781)-933-9012

## Zoning Compliance Check List (Registered Land Surveyor)

Property Address: 81 Orchard Street

Zone: SRC

Surveyor Signature and Stamp: \_\_\_\_\_

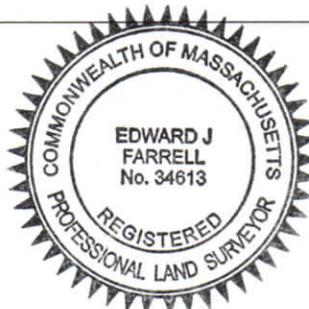
Date: 2/3/22

	REQUIRED	EXISTING	PROPOSED
Lot Area	9,000 S.F.	6,979 S.F.	6,979 S.F.
Lot Frontage	75'	70'	70'
Floor Area Ratio	—	—	—
Lot Coverage	25%	17.0%	17.4%
Open Space	50%	71%	70.5%
Front Setback	25'	26.3'	26.3'
Side Setback	10'	15.1'	15.1'
Side Setback	10'	24.0'	24.0'
Rear Setback	30'	28.5'	28.4'
Building Height	N/A		
Stories	2½	2.0	2.0
½ Story Calculation			

**NOTES:**

Addition @ First Floor Level. Not Going up in Height. Rear Setback in Table From House, Not Deck. Deck is 4' Wide and less than 4' in Height

June 4, 2013



*[Handwritten Signature]* 2-3-22

**Photos of Existing 81 Orchard Street**





