

PRIVACY
EVERGREEN SHRUBS

EXISTING MAPLE
TREE

EXISTING GRAVEL
PROPOSED PATIO
PAVERS

PATIO AREA: 104 SF

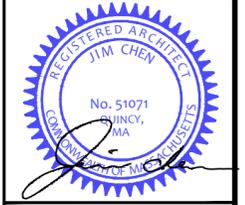
ZONING COMPLIANCE

	REQUIRED	EXISTING	PROPOSED
LOT AREA	5,000 SF	4,500 SF	4,500 SF
LOT FRONTAGE	50 FT	50 FT	50 FT
FLOOR AREA RATIO	N/A	N/A	N/A
LOT COVERAGE	30% MAX	33.9%	33.9%
OPEN SPACE	40% MIN	54.8%	40.6%
FRONT SETBACK	20 FT	6.1 FT	6.1 FT
SIDE SETBACK (L)	10 FT	3.2 FT	3.2 FT
SIDE SETBACK (R)	10 FT	7.7 FT	7.7 FT
REAR SETBACK	20 FT	42.8 FT	37.1 FT
BUILDING HEIGHT	33 FT	34.5 FT AVG.	34.5 FT AVG.
NO. OF STORY	2-1/2	3-1/2	3-1/2

OVERALL OPEN
SPACE = 1,828 SF
1,828 SF / 4,500 SF
= 40.6%

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REGISTRATION



REVISIONS

NO.	BY	DESCRIPTION	DATE

PROJECT

TWO-FAMILY RESIDENCE
ALTERATION

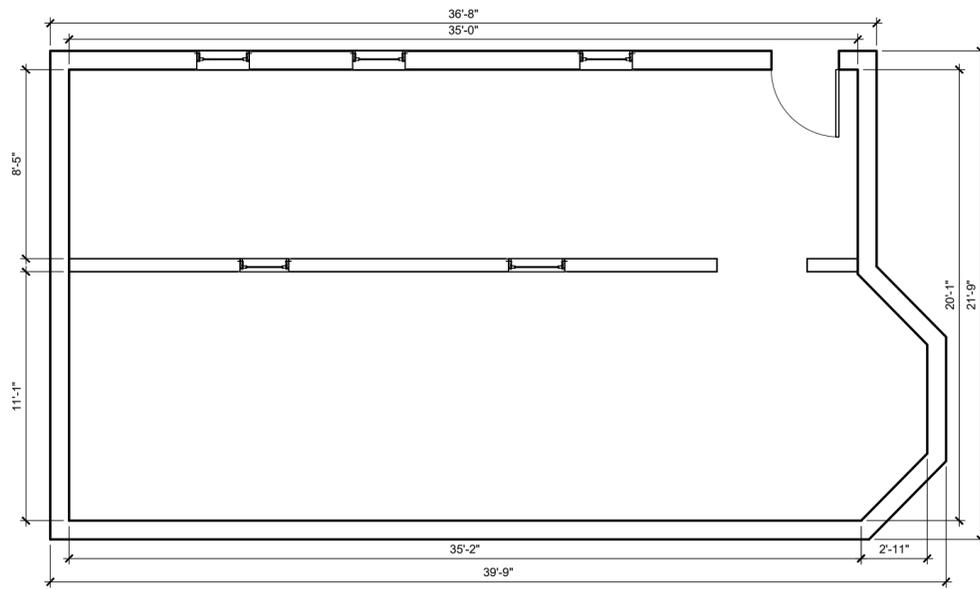
11 HARRIET AVE
BELMONT, MA

PROJECT NO. 20176

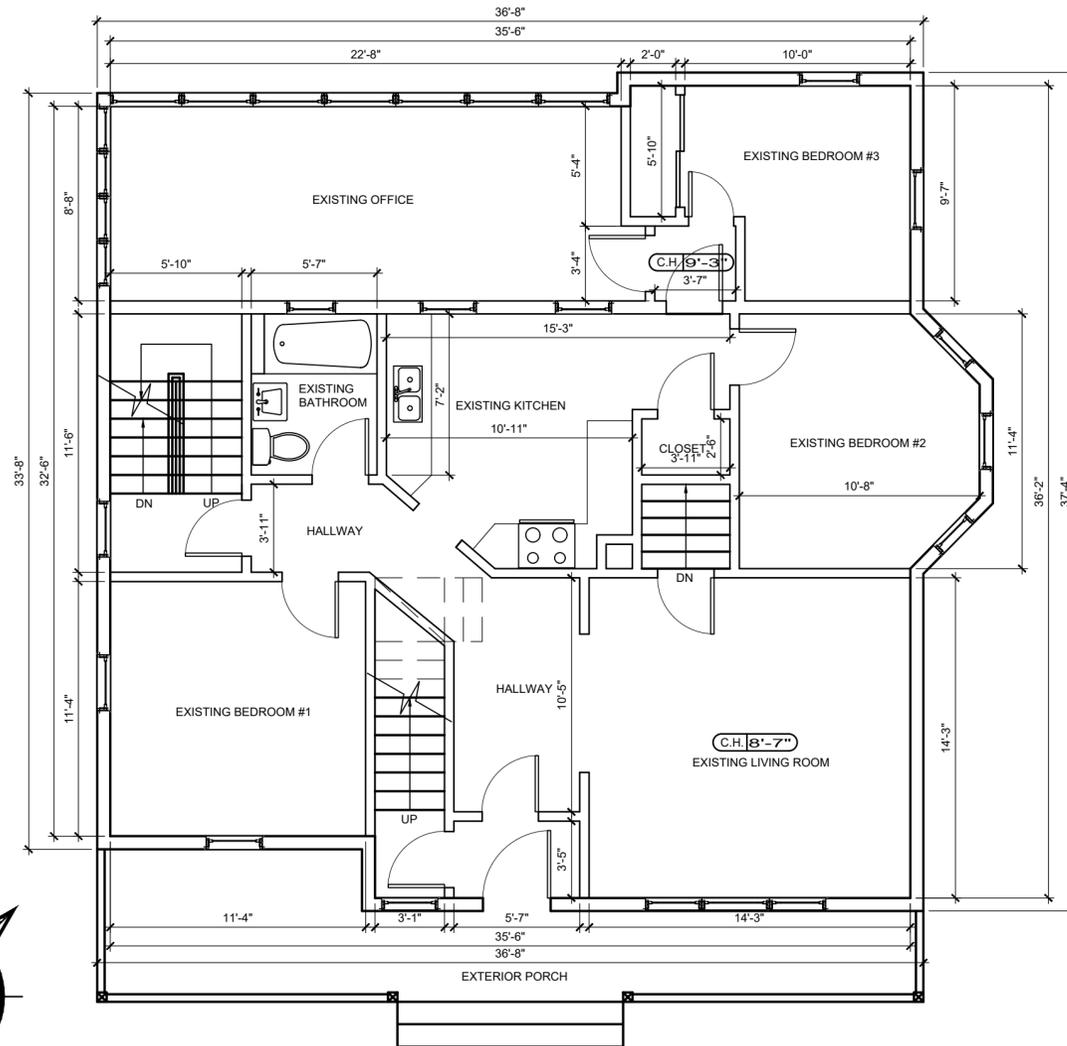
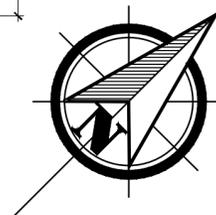
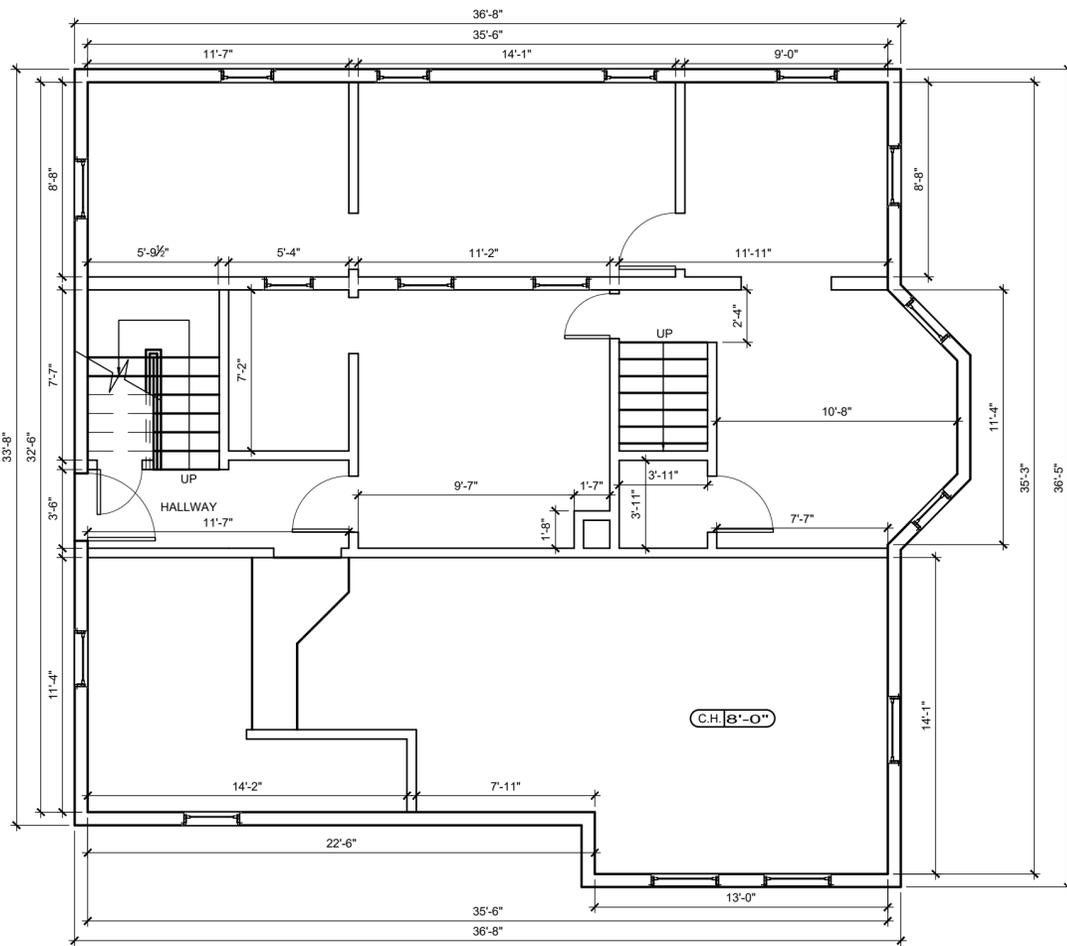
SHEET TITLE

PROPOSED
SITE PLAN

DRAWN: AF/JJC	DRAWING NO:
SCALE: 3/16"=1'-0"	
DATE: 04-26-2022	
CHECKED:	
SHEET OF	A10



11 HARRIET AVE. EXISTING AREA		
LOWER LEVEL	1,300 SQ.FT.	UNIT #1
FIRST FLOOR	1,343 SQ.FT.	
SECOND FLOOR	965 SQ.FT.	UNIT #2
THIRD FLOOR	731 SQ.FT.	
TOTAL	4,339 SQ.FT.	



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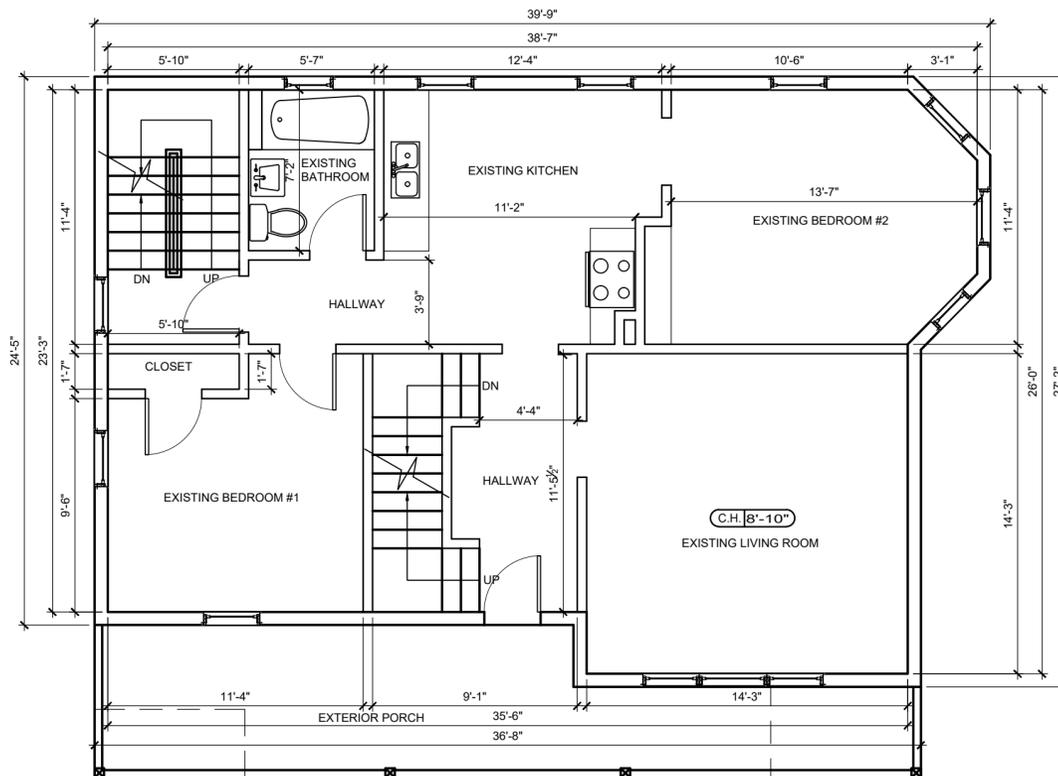
PROJECT

TWO-FAMILY RESIDENCE ALTERATION
11 HARRIET AVE
BELMONT, MA
PROJECT NO. 20176

SHEET TITLE

EXISTING FLOOR PLANS

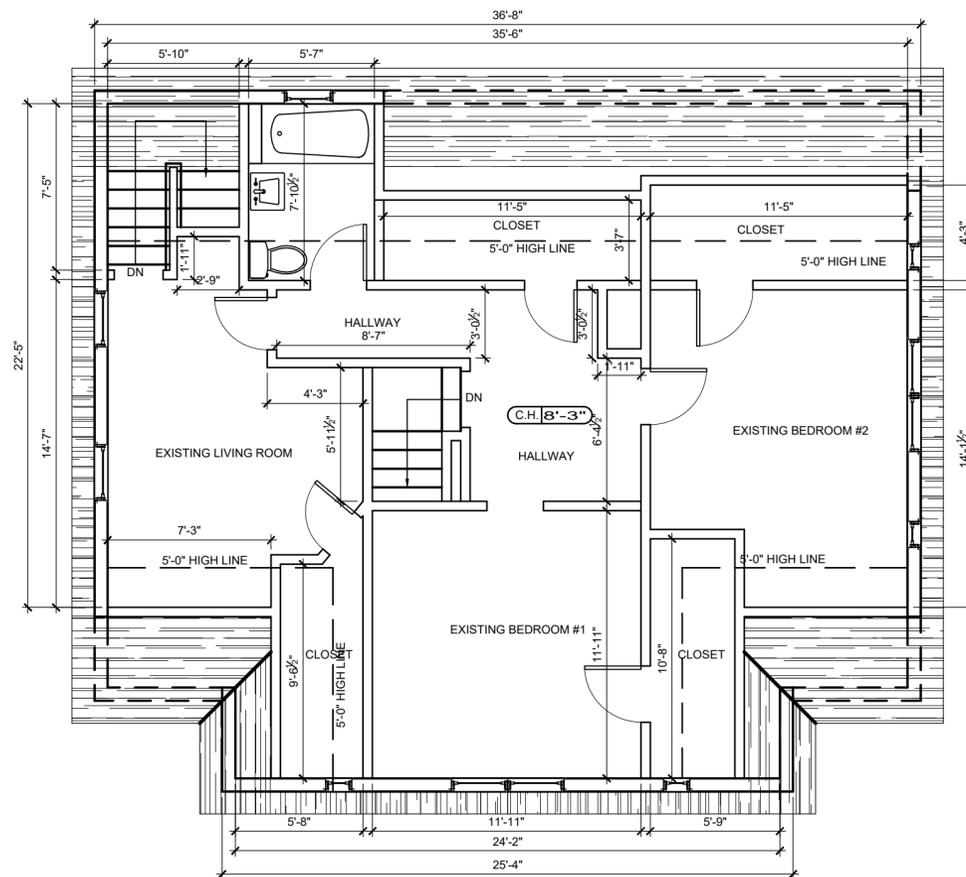
DRAWN: JL/JC	DRAWING NO:
SCALE: 3/16"=1'-0"	
DATE: 12/04/2020	
CHECKED:	
SHEET OF	A1.1



EXISTING 2ND FLOOR PLAN

SCALE: NOTED

1
A1.2



EXISTING ATTIC FLOOR PLAN

SCALE: NOTED

2
A1.2

11 HARRIET AVE. EXISTING AREA		
LOWER LEVEL	1,300 SQ.FT.	UNIT #1
FIRST FLOOR	1,343 SQ.FT.	
SECOND FLOOR	965 SQ.FT.	UNIT #2
THIRD FLOOR	731 SQ.FT.	
TOTAL	4,339 SQ.FT.	



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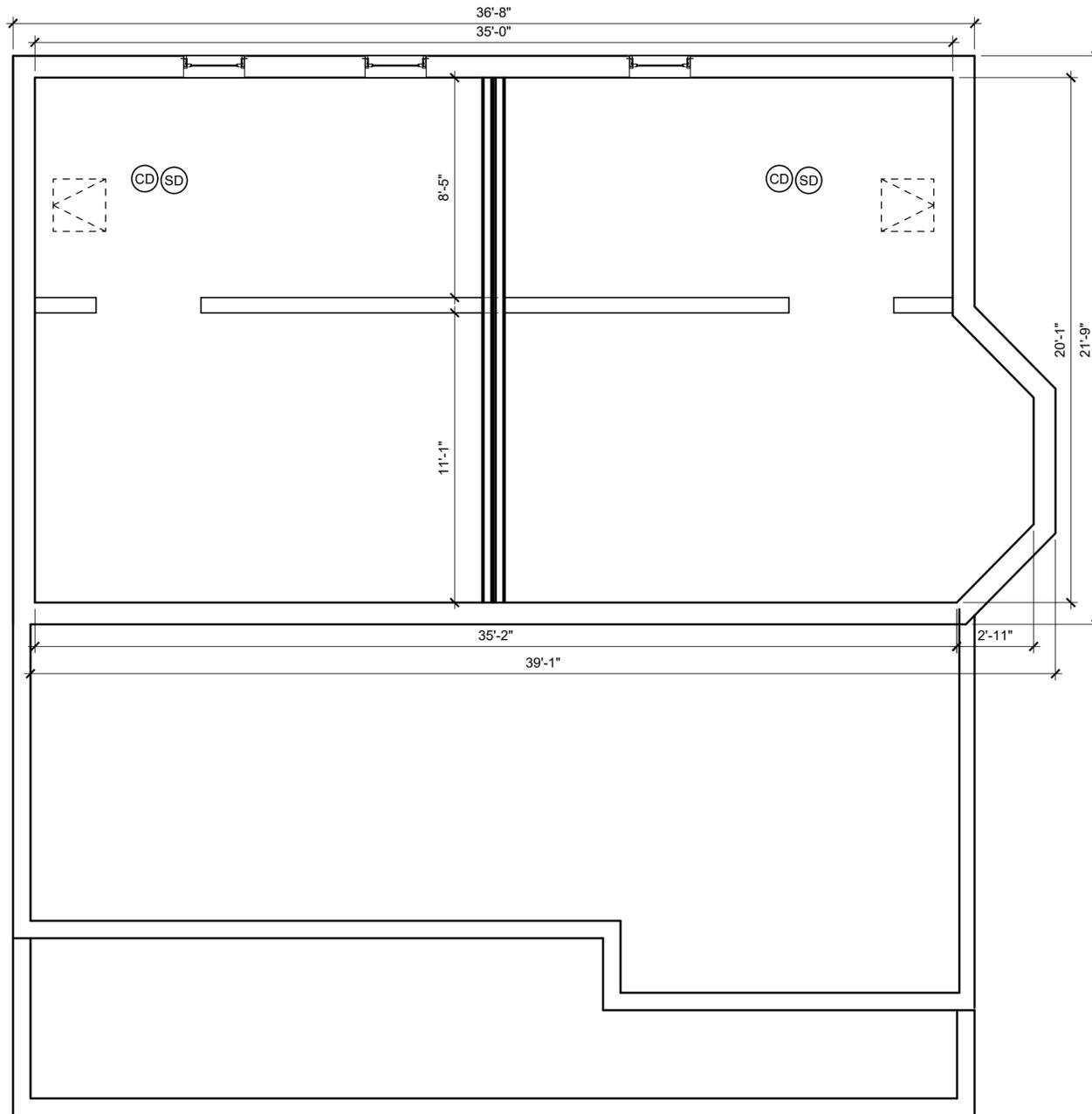
SHEET TITLE

EXISTING FLOOR PLANS

DRAWN: JL/JC	DRAWING NO:
SCALE: 3/16"=1'-0"	
DATE: 12/04/2020	
CHECKED:	
SHEET OF	A1.2

	UNIT #1	UNIT #2
LOWER LEVEL	617 SQ.FT.	683 SQ.FT.
FIRST FLOOR	667 SQ.FT.	694 SQ.FT.
SECOND FLOOR	572 SQ.FT.	598 SQ.FT.
THIRD FLOOR	351 SQ.FT.	351 SQ.FT.
TOTAL	2,207 SQ.FT.	2,326 SQ.FT.

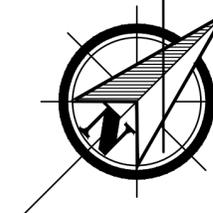
R



R

PROPOSED BASEMENT FLOOR PLAN
SCALE: AS NOTED

1
A1.3



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PROJECT

TWO-FAMILY RESIDENCE
ALTERATION

11 HARRIET AVE
BELMONT, MA

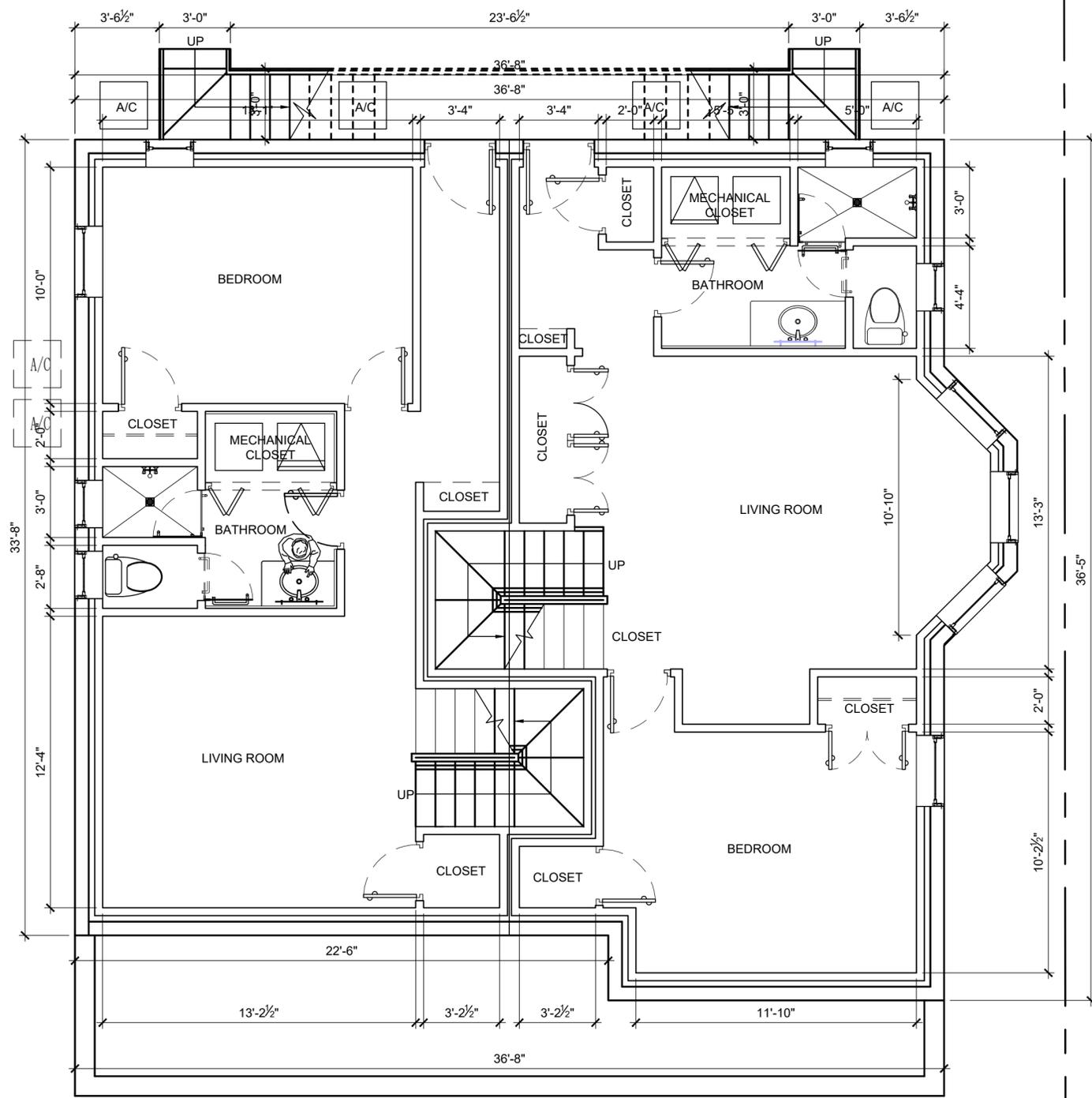
PROJECT NO. 20176

SHEET TITLE

PROPOSED
FLOOR PLAN

DRAWN: AF/JL/JC	DRAWING NO:
SCALE: 3/16"=1'-0"	A1.3
DATE: 04-26-2022	
CHECKED:	
SHEET OF	

	UNIT #1	UNIT #2
LOWER LEVEL	617 SQ.FT.	683 SQ.FT.
FIRST FLOOR	667 SQ.FT.	694 SQ.FT.
SECOND FLOOR	572 SQ.FT.	598 SQ.FT.
THIRD FLOOR	351 SQ.FT.	351 SQ.FT.
TOTAL	2,207 SQ.FT.	2,326 SQ.FT.



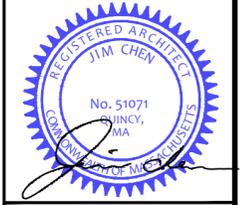
PROPOSED LOWER FLOOR PLAN
SCALE: 1/4" = 1'-0"



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REVISIONS

NO.	BY	DESCRIPTION	DATE
1	J.C.	REAR CANOPY	11/2/22
2	J.C.	UPDATED	4/6/22
3	K.X.	UPDATED	4/26/22

PROJECT

TWO-FAMILY RESIDENCE ALTERATION
11 HARRIET AVE
BELMONT, MA
PROJECT NO. 20176

SHEET TITLE

PROPOSED FLOOR PLAN

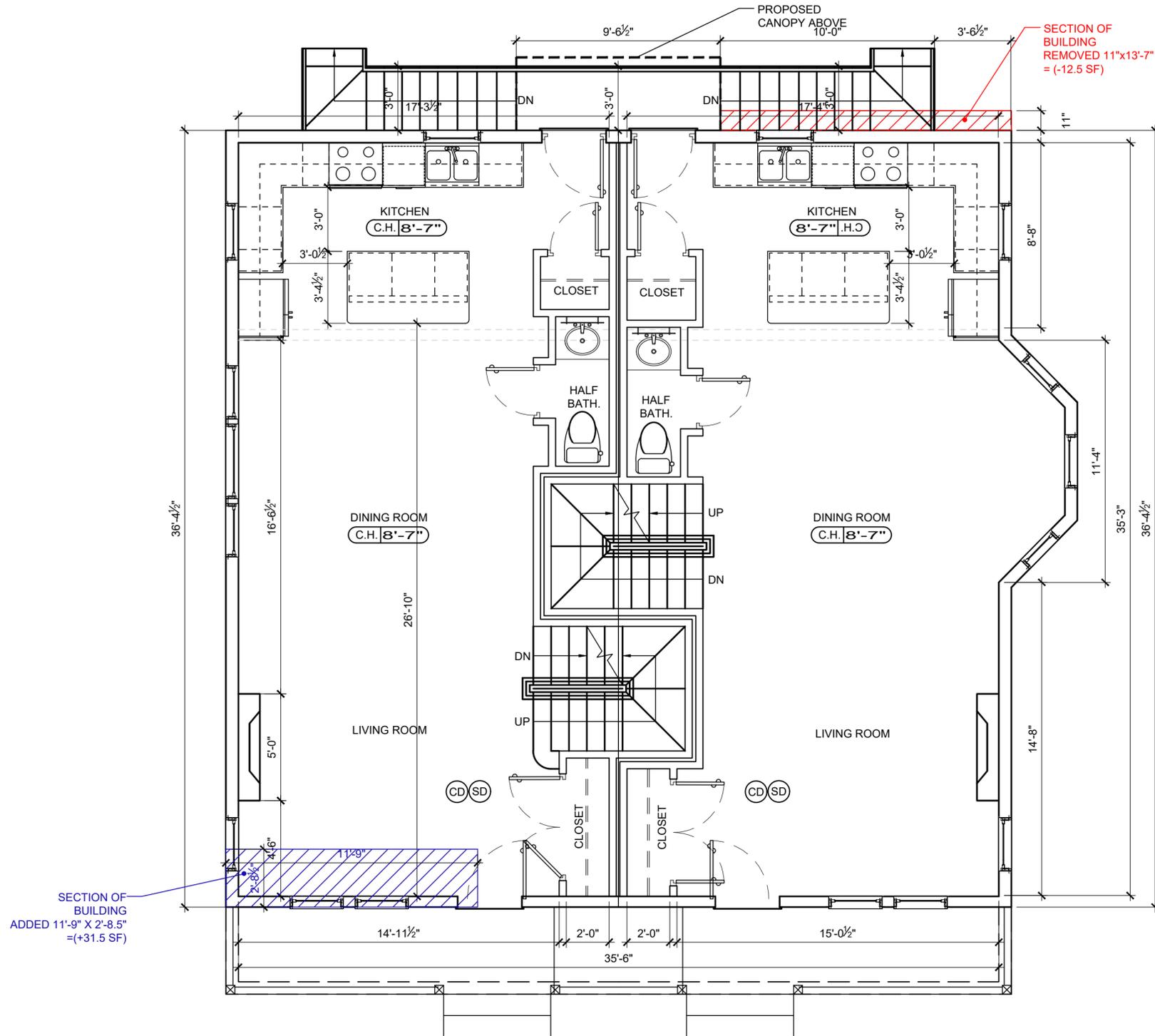
DRAWN: AF/JJC	DRAWING NO:
SCALE: NOTED	
DATE: 04-26-2022	
CHECKED:	
SHEET OF	A13a

	UNIT #1	UNIT #2
LOWER LEVEL	617 SQ.FT.	683 SQ.FT.
FIRST FLOOR	667 SQ.FT.	694 SQ.FT.
SECOND FLOOR	572 SQ.FT.	598 SQ.FT.
THIRD FLOOR	351 SQ.FT.	351 SQ.FT.
TOTAL	2,207 SQ.FT.	2,326 SQ.FT.

FLOOR	SF. ADDED	SF. REMOVED
1ST FL:	+31.5 SF.	-12.5 SF.
2ND FL:	+206 SF.	-0 SF.
3RD FL:	+55.7 SF.	-29 SF.
TOTAL:	+293.2 SF.	-41.5 SF.

AREA ADDED: 293.2 SF (SHOWN IN 'BLUE')
 AREA REMOVED: -41.5 SF (SHOWN IN 'RED')
 TOTAL: ADDED 251.7 SF < 300 SF
 NO PLANNING BOARD APPROVAL REQUIRED

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PROPOSED 1ST FLOOR PLAN
 SCALE: 1/4" = 1'-0"



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REGISTRATION

REGISTERED ARCHITECT
 JIM CHEN
 No. 51071
 QUINCY, MA
 COMMONWEALTH OF MASSACHUSETTS

REVISIONS

NO.	BY	DESCRIPTION	DATE
1	J.C.	REAR CANOPY	11/2/22
2	J.C.	UPDATED	4/6/22
3	K.X.	UPDATED	4/26/22

PROJECT

TWO-FAMILY RESIDENCE ALTERATION
 11 HARRIET AVE
 BELMONT, MA
 PROJECT NO. 20176

SHEET TITLE

PROPOSED FLOOR PLAN

DRAWN: AF/JJC **DRAWING NO.:**
SCALE: NOTED
DATE: 04-26-2022
CHECKED:
SHEET OF

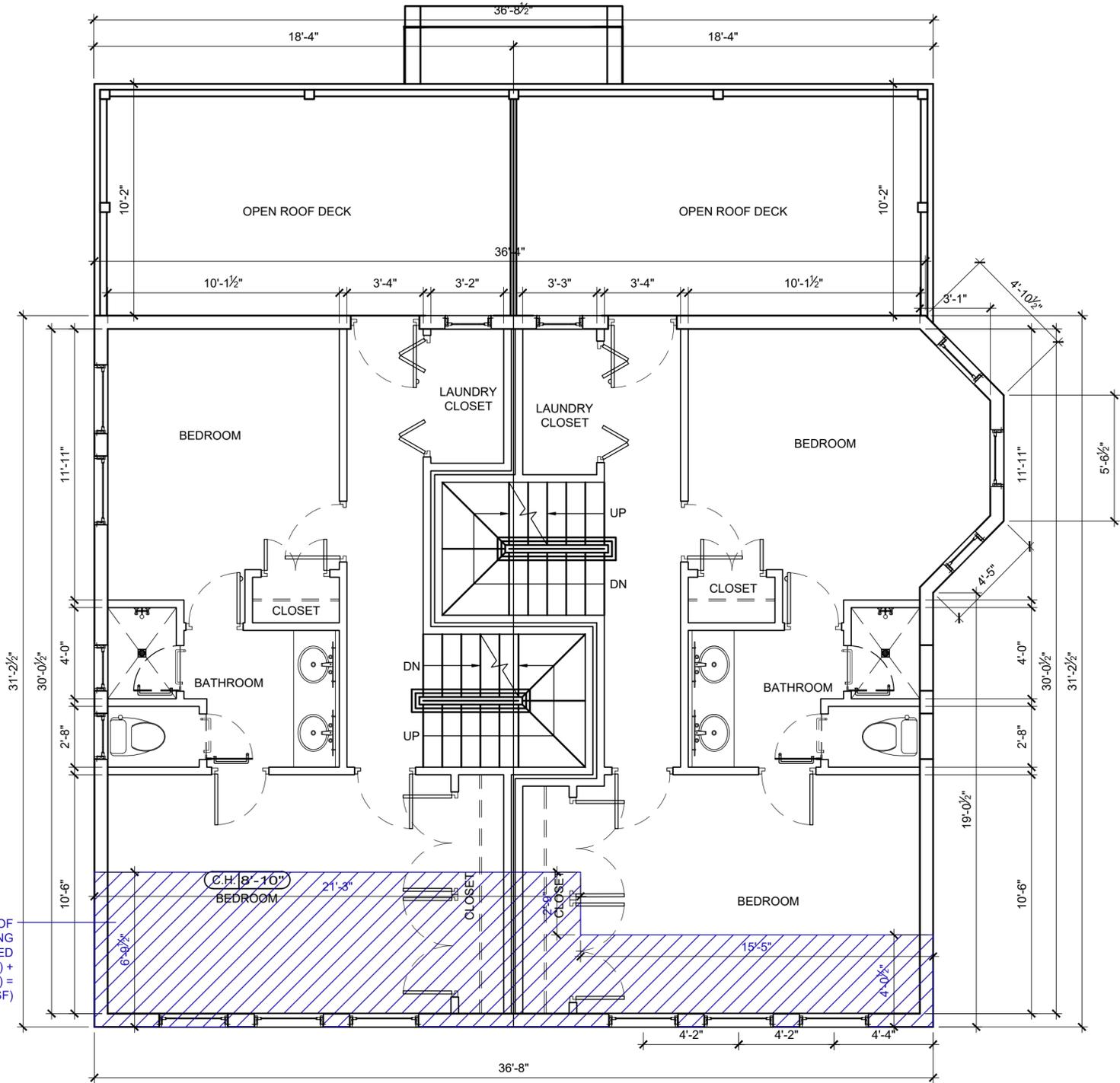
A1.4

	UNIT #1	UNIT #2
LOWER LEVEL	617 SQ.FT.	683 SQ.FT.
FIRST FLOOR	667 SQ.FT.	694 SQ.FT.
SECOND FLOOR	572 SQ.FT.	598 SQ.FT.
THIRD FLOOR	351 SQ.FT.	351 SQ.FT.
TOTAL	2,207 SQ.FT.	2,326 SQ.FT.

FLOOR	SF. ADDED	SF. REMOVED
1ST FL:	+31.5 SF.	-12.5 SF.
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3RD FL:	+55.7 SF.	-29 SF.
TOTAL:	+293.2 SF.	-41.5 SF.

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 TOTAL: ADDED 251.7 SF < 300 SF
 NO PLANNING BOARD APPROVAL REQUIRED

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SECTION OF BUILDING ADDED SHADED (6'-9.5"X21'-3") + (4'-5"X15'-5") = (+206 SF)

PROPOSED 2ND FLOOR PLAN
 SCALE: 1/4" = 1'-0"



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2	J.C.	UPDATED	4/6/22
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PROJECT

TWO-FAMILY RESIDENCE ALTERATION

11 HARRIET AVE
 BELMONT, MA

PROJECT NO. 20176

SHEET TITLE

PROPOSED FLOOR PLAN

DRAWN: AF/JL/JC **DRAWING NO.:**

SCALE: NOTED

DATE: 04-26-2022

CHECKED:

SHEET OF **A15**

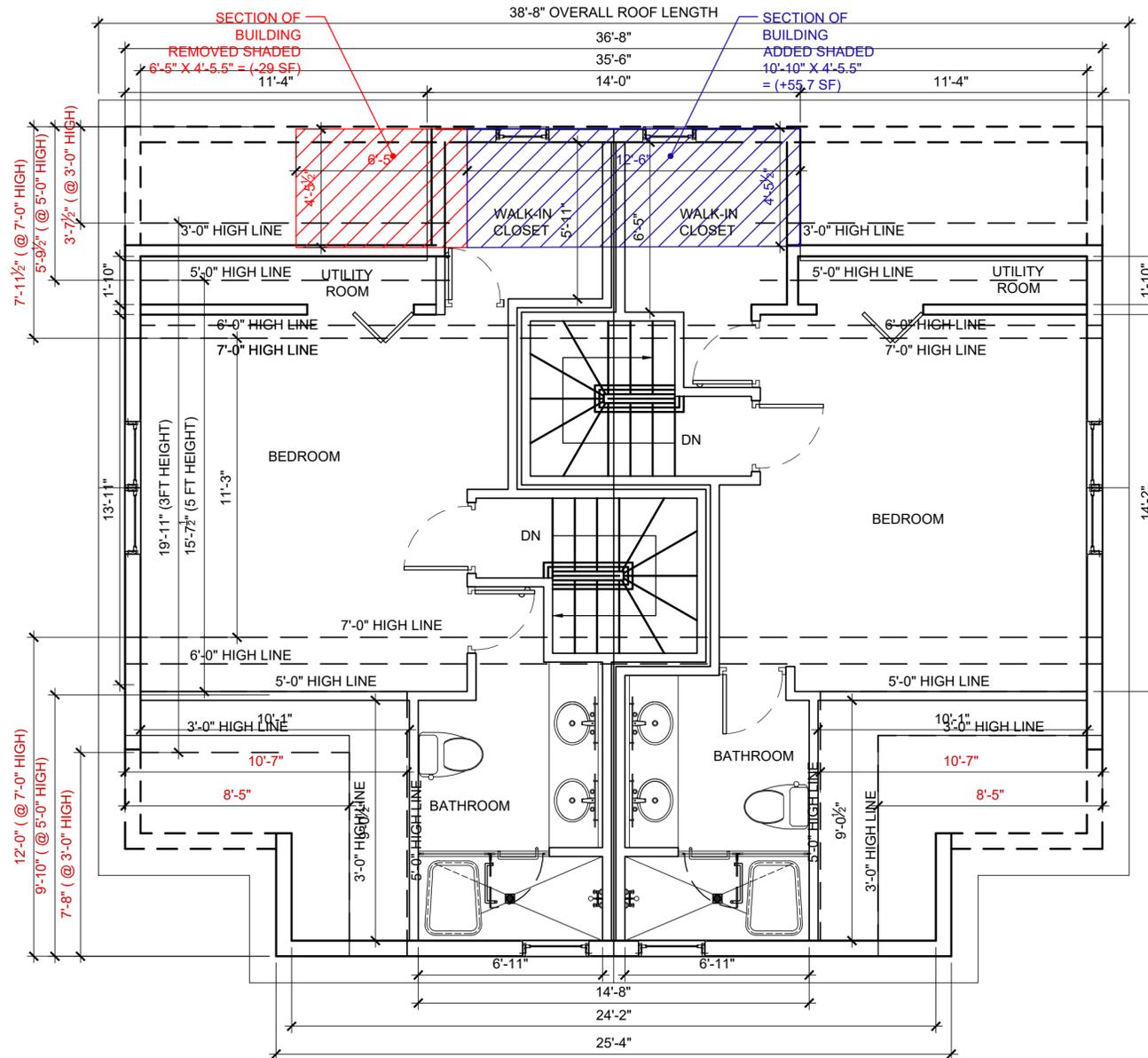
HALF STORY CALCULATION: A SPACE UNDER THE ROOF WHERE:

	UNIT #1	UNIT #2
LOWER LEVEL	617 SQ.FT.	683 SQ.FT.
FIRST FLOOR	667 SQ.FT.	694 SQ.FT.
SECOND FLOOR	572 SQ.FT.	598 SQ.FT.
THIRD FLOOR	351 SQ.FT.	351 SQ.FT.
TOTAL	2,207 SQ.FT.	2,326 SQ.FT.

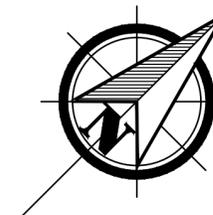
<p>Δ THE LINE OF INTERSECTION OF THE RAFTER BOTTOMS AND THE INTERIOR WALL SURFACE IS NOT MORE THAN THREE FEET ABOVE FLOOR LEVEL ON AT LEAST HALF THE PERIMETER OF THE SECOND FLOOR.</p> <p>SECOND FLOOR PERIMETER: $36'-8" + 31'-2" + 36'-8" + 19'-0" + 4'-5" + 5'-6" + 4'-11" = 138'-4"$ OR $(138.33') \times 50\% = 69.17'$</p> <p>ATTIC FLOOR PERIMETER GREATER THAN 3 FEET: $17'-10" + 17'-10" + 19'-10" + 5'-1" + 5'-1" = 66'-8"$ COMPLY: $66'-8" < 69.17'$</p>
<p>Β THE POTENTIAL SPACE HAVING HEADROOM OF FIVE FEET OR MORE IS NOT MORE THAN 60% AS LARGE AS THE SECOND FLOOR.</p> <p>SECOND FLOOR AREA: 1,172 GSF ATTIC FLOOR AREA (5'-0" OR MORE): TOTAL 5'-0" OR MORE = 753 SQ.FT.</p> <p>SECOND FLOOR AREA: $1,172 \text{ SF} \times 60\% = 703.2 \text{ SQ.FT.}$ NON - COMPLY: $753 \text{ SQ.FT.} < 703.2 \text{ SQ.FT.}$ REQUIRED "SPECIAL PERMIT APPROVAL"</p>
<p>Γ PROVIDED THAT THE LENGTH OF ANY DORMER DOES NOT EXCEED 75% OF THE LENGTH OF THE ROOFLINE OF THE SIDE OF THE STRUCTURE WHERE THE DORMER IS CONSTRUCTED.</p> <p>PROPOSED DORMER LENGTH: 14'-0" OVERALL ROOF LENGTH: 38'-8" $14'-0" / 38'-8" = 36.0\%$ COMPLY: $36.0\% < 75\%$</p>

FLOOR	SF. ADDED	SF. REMOVED
1ST FL:	+31.5 SF.	-12.5 SF.
2ND FL:	+206 SF.	-0 SF.
3RD FL:	+55.7 SF.	-29 SF.
TOTAL:	+293.2 SF.	-41.5 SF.

AREA ADDED: 293.2 SF (SHOWN IN 'BLUE')
AREA REMOVED: -41.5 SF (SHOWN IN 'RED')
TOTAL: ADDED 251.7 SF < 300 SF
"NO" PLANNING BOARD APPROVAL REQUIRED



PROPOSED ATTIC FLOOR PLAN
SCALE: 1/4" = 1'-0"



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NO.	BY	DESCRIPTION	DATE
1	J.C.	UPDATED	4/6/22
3	K.X.	UPDATED	4/26/22

PROJECT

TWO-FAMILY RESIDENCE ALTERATION
11 HARRIET AVE
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SHEET TITLE

PROPOSED FLOOR PLAN

DRAWN: AF/JJC	DRAWING NO:
SCALE: NOTED	
DATE: 04-26-2022	
CHECKED:	
SHEET OF	A16

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REGISTRATION



REVISIONS

NO.	BY	DESCRIPTION	DATE

PROJECT

TWO-FAMILY RESIDENCE ALTERATION
 11 HARRIET AVE
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SHEET TITLE

EXISTING ELEVATIONS

DRAWN: JL/JC	DRAWING NO:
SCALE: 3/16"=1'-0"	A2.1
DATE: 12/04/2020	
CHECKED:	
SHEET OF	



EXISTING FRONT (SOUTHEAST) ELEVATION
 SCALE: NOTED

1
A2.1



EXISTING RIGHT (NORTHEAST) ELEVATION
 SCALE: NOTED

2
A2.1



EXISTING REAR (NORTHWEST) ELEVATION
 SCALE: NOTED

1
 A2.2



EXISTING LEFT (SOUTHWEST) ELEVATION
 SCALE: NOTED

2
 A2.2

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REVISIONS

NO.	BY	DESCRIPTION	DATE

PROJECT

TWO-FAMILY RESIDENCE
 ALTERATION
 11 HARRIET AVE
 BELMONT, MA

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SHEET TITLE

EXISTING
 ELEVATIONS

DRAWN: JL/JC	DRAWING NO:
SCALE: 3/16"=1'-0"	A2.2
DATE: 12/04/2020	
CHECKED:	
SHEET OF	



PROPOSED FRONT (SOUTHEAST) ELEVATION 1
 SCALE: NOTED A2.3



PROPOSED RIGHT (NORTHEAST) ELEVATION 2
 SCALE: NOTED A2.3

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NO.	BY	DESCRIPTION	DATE
1	J.C.	REAR CANOPY	11/2/22

PROJECT

TWO-FAMILY RESIDENCE ALTERATION
 11 HARRIET AVE
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SHEET TITLE

PROPOSED ELEVATIONS

DRAWN: JL/JC	DRAWING NO.:
SCALE: 3/16"=1'-0"	
DATE: 04-26-2022	
CHECKED:	
SHEET OF	A2.3

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SHEET TITLE

PROPOSED ELEVATIONS

DRAWN: JL/JC	DRAWING NO:
SCALE: 3/16"=1'-0"	A2.4
DATE: 04-26-2022	
CHECKED:	
SHEET OF	



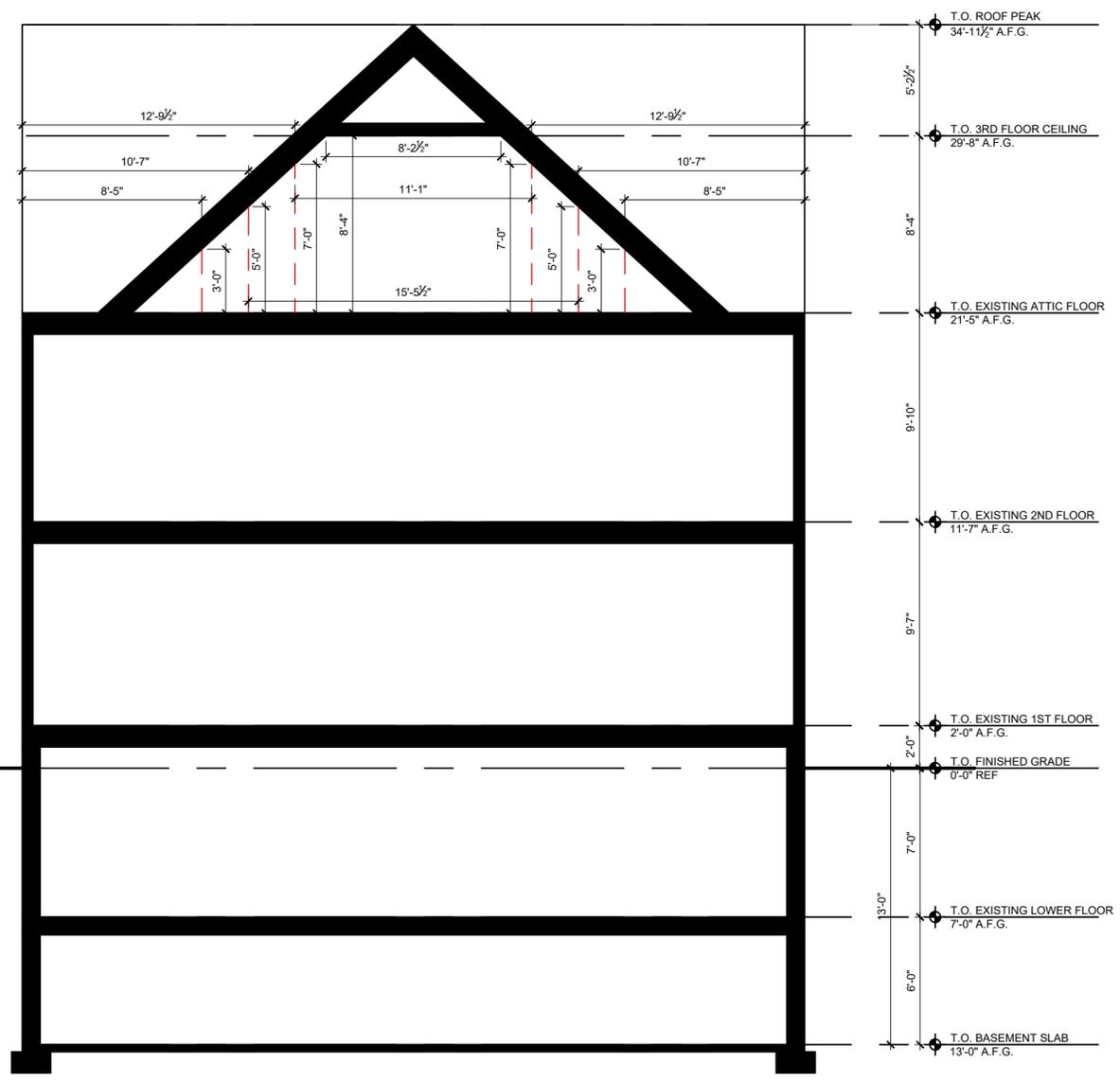
PROPOSED REAR (NORTHWEST) ELEVATION
 SCALE: NOTED

1
 A2.4

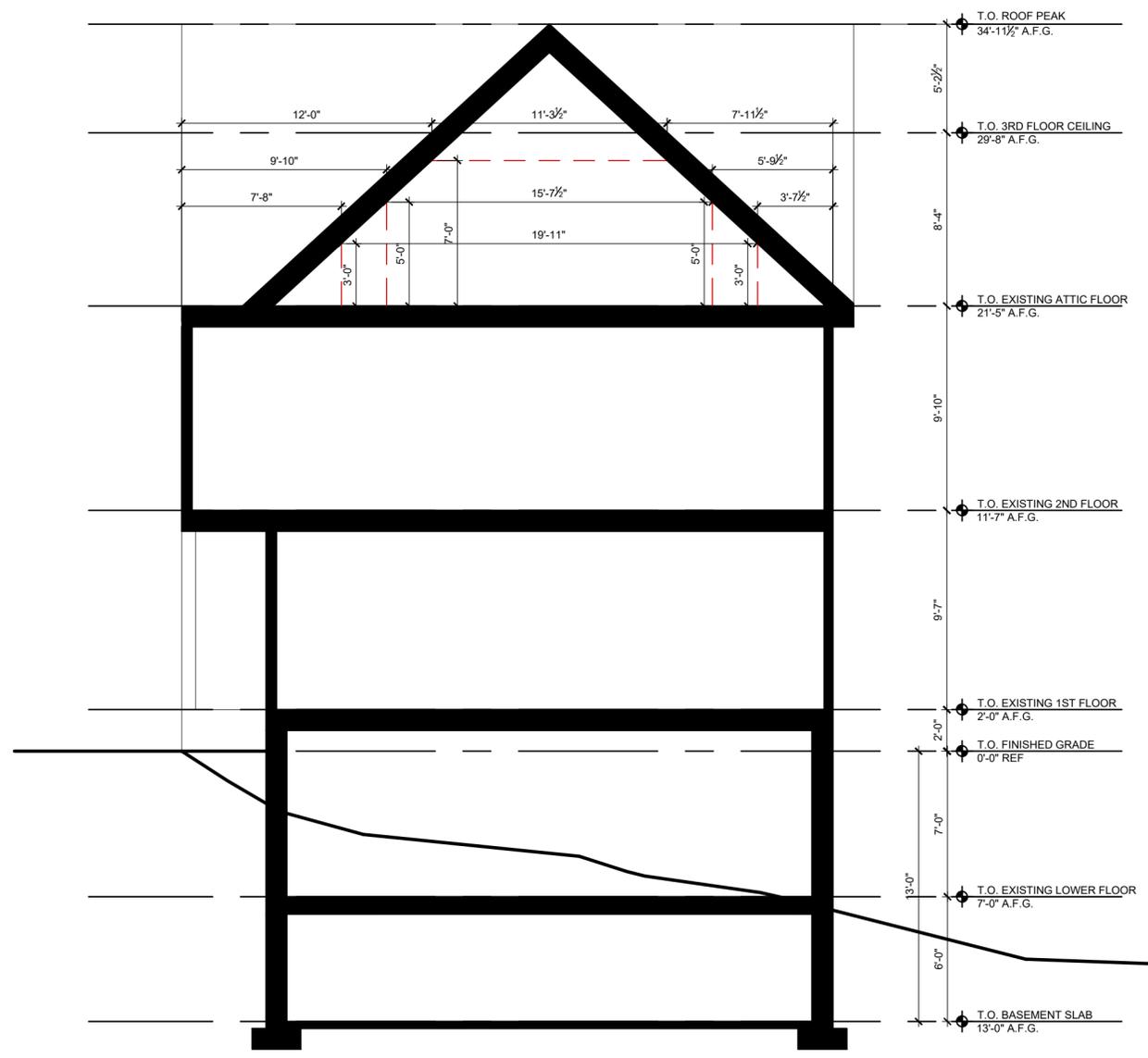


PROPOSED LEFT (SOUTHWEST) ELEVATION
 SCALE: NOTED

2
 A2.4



PROPOSED CROSS SECTION -1 1
 SCALE: 3/16" = 1'-0"
 A3.1



PROPOSED CROSS SECTION-2 2
 SCALE: 3/16" = 1'-0"
 A3.1

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1	J.C.	UPDATED	4/6/22

PROJECT

TWO-FAMILY RESIDENCE ALTERATION
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SHEET TITLE

PROPOSED CROSS SECTIONS

DRAWN: JL/JC	DRAWING NO:
SCALE: 3/16"=1'-0"	A3.1
DATE: 04-26-2022	
CHECKED:	
SHEET OF	