

RECEIVED  
TOWN CLERK  
BELMONT, MA

CASE NO. 21-29

2021 OCT 13 AM 10:50

NOTICE OF PUBLIC HEARING BY THE  
ZONING BOARD OF APPEALS

ON APPLICATION FOR TWO SPECIAL PERMITS

Notice is hereby given that the Belmont Zoning Board of Appeals will hold a public hearing on Monday, November 1, 2021 at 7:00 PM by remote access through the Zoom app. to consider the application of Fushang Liu and Fan Zhang for Two Special Permits under §1.5 of the Zoning By-Law to construct a dormer at 11 Harriet Ave. located in General Residence (GR) Zoning district. §1.5.4A of the By-Law allows alterations and expansions in the GR district by a Special Permit granted by the Board of Appeals and §4.2 of the Zoning By-Law Dimensional Regulations requires a minimum side setback of 10.0', the existing and proposed side setback is 7.6'.

ZONING BOARD OF APPEALS



Town of Belmont  
Zoning Board of Appeals

RECEIVED  
TOWN CLERK  
BELMONT, MA.

2021 OCT 13 AM 10:50

**APPLICATION FOR A SPECIAL PERMIT**

Date: September 16, 2021

Zoning Board of Appeals  
Homer Municipal Building  
19 Moore Street  
Belmont, MA 02478

To Whom It May Concern:

Pursuant to the provisions of Massachusetts General Laws, Chapter 40A, Section 9, as amended, and the Zoning By-Laws of the Town of Belmont, I/we the undersigned, being the owner(s) of a certain parcel of land (with the buildings thereon) situated on 11 Harriet Street Street/Road, hereby apply to your Board for a **SPECIAL PERMIT** for the erection or alteration on said premises ~~on the use thereof~~ under the applicable Section of the Zoning By-Law of said Town for \_\_\_\_\_

two special permits to construct an addition and rear stairways under Section 1.5.4A

and 4.2 of the By-law. Section 1.5.4A permits alterations to non-conforming structures.

The existing and proposed side setback is 7.6 feet. Section 4.2 requires a 10 foot

side setback.

on the ground that the same will be in harmony with the general purpose and intent of said Zoning By-Law.

Signature of Petitioner

*Fushuang Liu by J. Noone*

Print Name

Fushuang Liu and Fan Zhang

Address

73 Trowbridge Street

Belmont, MA 02478

Daytime Telephone Number

(978) 760-5588

By their attorneys,

*Joseph M. Noone*

Joseph M. Noone, Esquire  
AVERY, DOOLEY & NOONE, LLP  
3 Brighton Street, Belmont, MA 02478  
(617) 489-5300

December 6, 2005



OFFICE OF COMMUNITY DEVELOPMENT  
TOWN OF BELMONT  
19 Moore Street  
Homer Municipal Building  
Belmont, Massachusetts 02478-0900

Telephone: (617) 993-2650 Fax: (617) 993-2651

Building Division  
(617) 993-2664  
Engineering Division  
(617) 993-2665  
Planning Division  
(617) 993-2666

July 7, 2021

Fushang Liu and Fan Zhang  
11 Harriett Avenue  
Belmont, MA 02478

RE: Denial to Construct a Second Story Addition and Rear Stairways

Dear Fushang Liu and Fan Zhang,

The Office of Community Development is in receipt of your building permit application for your proposal to construct a second story addition and rear stairways at 11 Harriett Avenue located in a General Residence (GR) Zoning District.

Your application has been denied because it does not comply with the current Town of Belmont Zoning By-Law. More specifically, §1.5.4A of the By-Law allows alterations and expansions in the GR district by a Special Permit granted by the Board of Appeals and §4.2 of the Zoning By-Law Dimensional Regulations require a minimum side setback of 10.0'.

1. The proposed alterations and expansions are allowed by a Special Permit granted by the Board of Appeals.
2. The existing and proposed side setback is 7.6'.

You may alter your plans to conform to the current Town of Belmont Zoning By-Law and resubmit a building permit application, or you may request two (2) Special Permits from the Zoning Board of Appeals. If you choose this option, please contact the Office of Community Development to schedule an appointment with Ara Yogurtian, Assistant Director, at (617) 993-2650 in order to begin the process.

Sincerely,

Glenn R. Clancy, P.E.  
Inspector of Buildings

**STATEMENT OF APPLICANTS**  
**FOR SPECIAL PERMITS TO 11 HARRIET AVENUE**

The Applicants, Fushuang Liu and Fan Zhang (“Applicants”), seek two special permits under Sections 4.2 and 4.2.2 of the Zoning By-Law to alter a non-conforming structure at 11 Harriet Avenue in order to enclose two second floor porches and relocate and enlarge the existing dormer in the rear of the house.

The Applicants purchased the property in February 2021. The property is located in a General Residence Zoning District. It is a two-family home and was constructed in 1913. The lot size is 4500 square feet. The existing structure is 39.5’ in height.

The existing dwelling is in poor condition and in need of significant upgrade. Photos of the existing dwelling submitted herewith depict the poor condition.

The applicants’ proposal will not alter the footprint of the dwelling. The proposed renovations will add 247 square feet to the property. A small portion of the existing first floor front porch will be enclosed to add 31.5 square feet. On the second floor, the porch will be enclosed to add 206 square feet, and open roof decks will be constructed above the first floor of the house. In the attic, the existing dormer will be relocated to the center of the structure and enlarged to increase the square footage by a net 22 square feet. Uncovered stairways to the rear will be constructed to satisfy the requirements of the building code. New stairs will be installed in the front. The proposed renovations do not increase the lot coverage or the height of the building.

The Applicants respectfully submit that the proposed renovations and requested special permits will not be substantially more detrimental to the neighborhood than the existing home, as they will be in character with the neighborhood. Throughout this neighborhood, many homes have similar additions to the second story. The proposed renovations have been designed to reflect the architectural character of the neighborhood and are consistent with additions built to the surrounding homes. The renovations will enhance the property and increase its value.

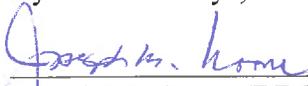
The Applicants have reached out to the abutters, and those that have responded are in favor of the proposal.

The Applicants respectfully request that the Zoning Board grant the special permits, as the proposed addition is in general harmony and will not be substantially more detrimental than the existing dwelling to the neighborhood.

Thank you for your time and consideration.

FUSHUANG LIU and FAN ZHANG

By their attorneys,

  
\_\_\_\_\_  
Joseph M. Noone (BBO #559644)  
AVERY, DOOLEY & NOONE, LLP  
3 Brighton Street  
Belmont, MA 02478  
(617) 489-5300  
[jnoone@averydooley.com](mailto:jnoone@averydooley.com)

Date: September 16, 2021

## Zoning Compliance Check List (Registered Land Surveyor)

Property Address: 11 Harriet Avenue

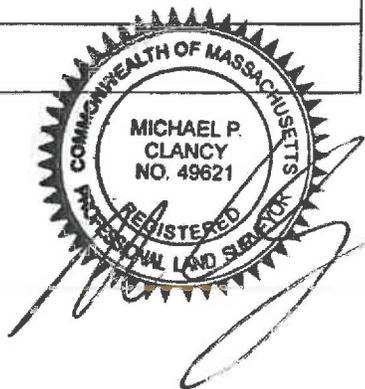
Zone **GR**

Surveyor Signature and Stamp: Michael Clancy 49621

Date: September 2, 2021

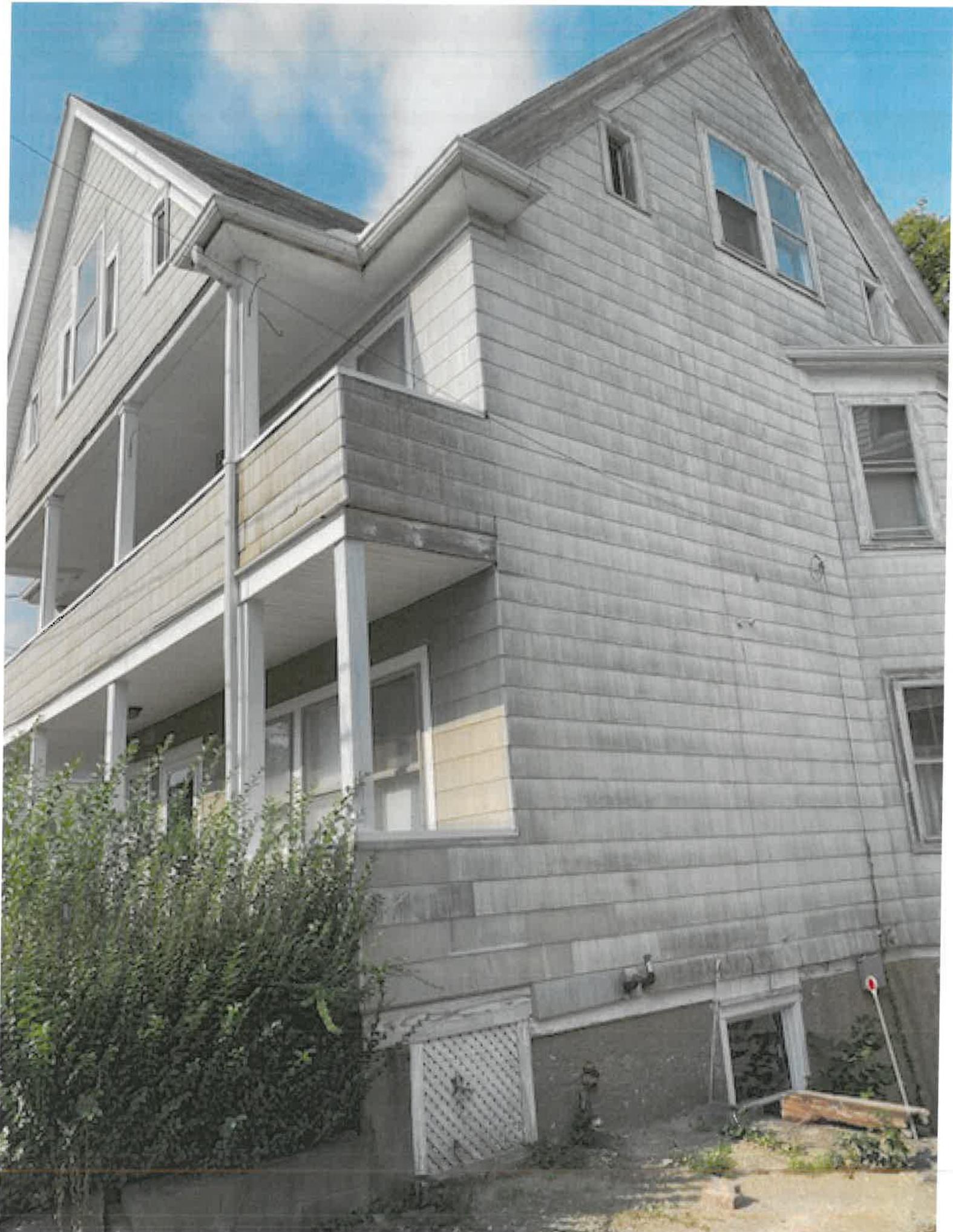
	REQUIRED	EXISTING	PROPOSED
Lot Area	5000,7000 (2F)	4500	4500
Lot Frontage	50/70 (2F)	50.0	50.0
Floor Area Ratio	NA	NA	NA
Lot Coverage	30%	33.9%	33.9% /36.3% **
Open Space	40%	23%	23%
Front Setback	20/or Average	6.1	6.1
Side Setback	10	3.2	3.2
Side Setback	10	7.7	7.7
Rear Setback	20	42.8	37.1
Building Height	33	34.5	34.5
Stories	2.5(Max)	3.5	3.5
½ Story Calculation			

<b>NOTES:</b>
** 105SF NEW STAIRS & LANDING



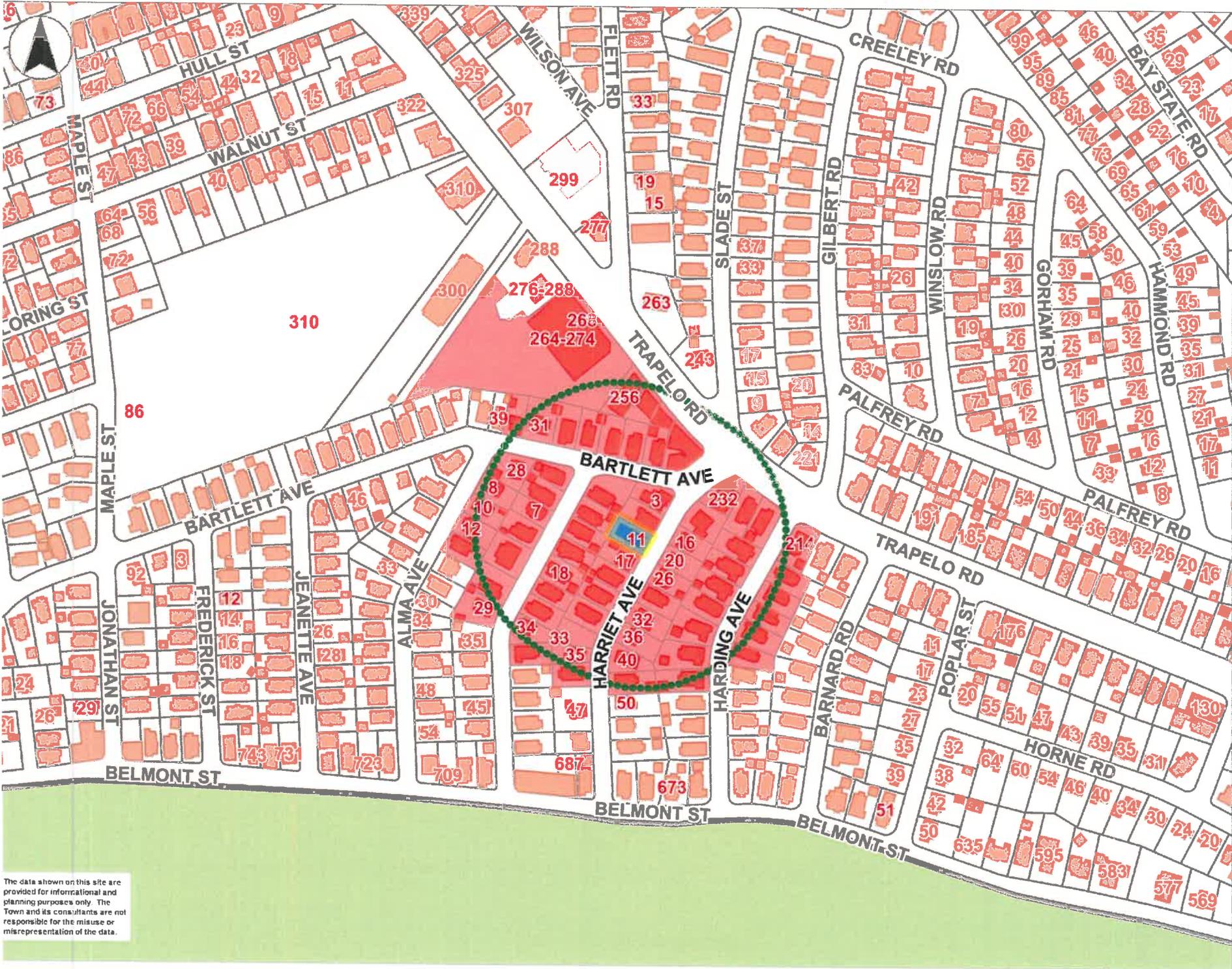








- Town-Owned Building
- McLean Buildings
- BUILDINGS
- Parcels
- Town Boundary
- MA Highways
  - Interstate
  - US Highway
  - Numbered Rout
- Charles\_poly
- Charles\_arc
- Abutting Town Labels
- Abutting Towns
- Roads
  - Major Road, Co
  - Minor Road, Art

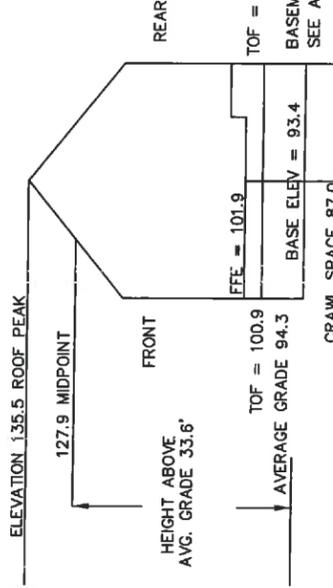
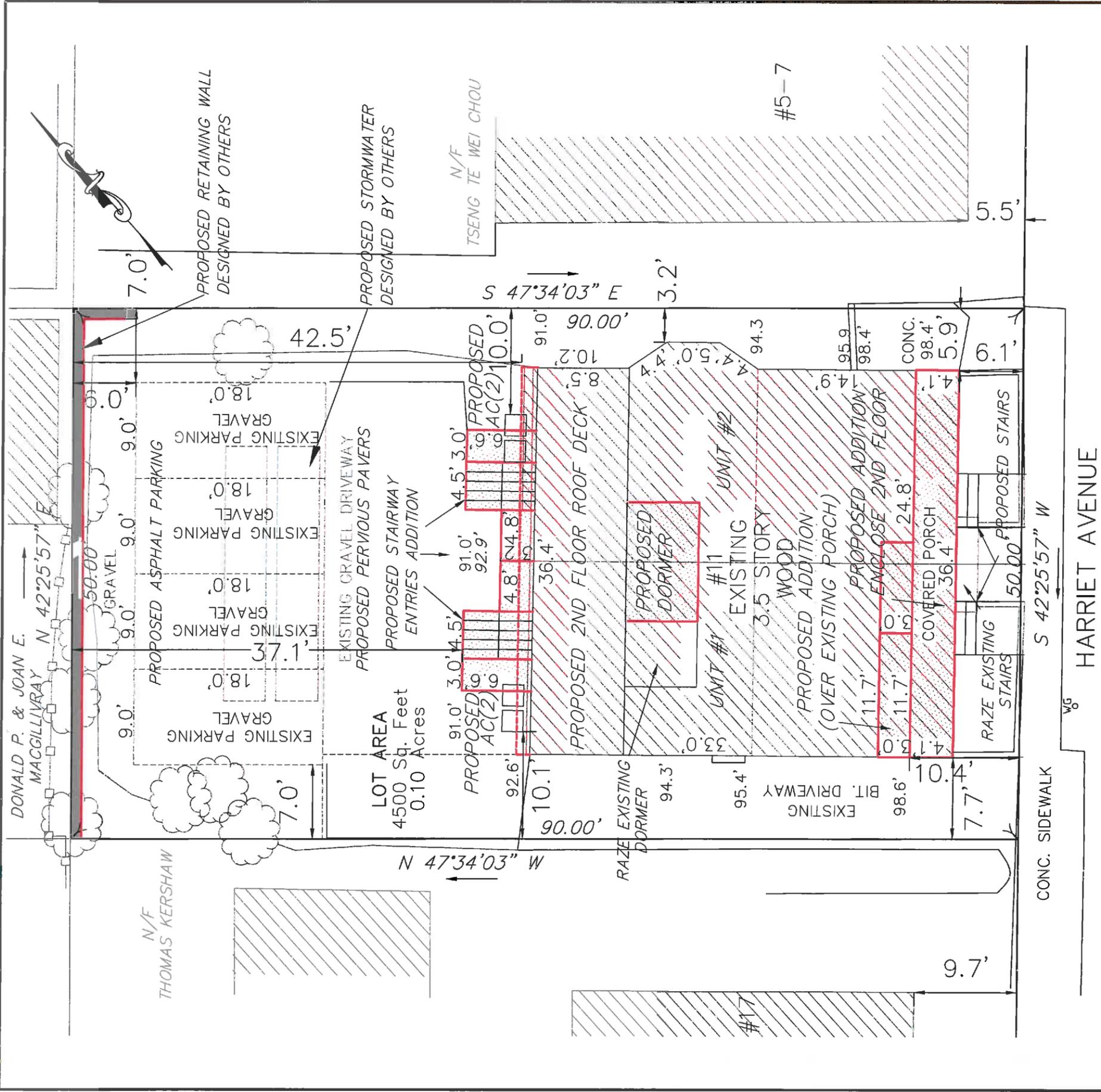


The data shown on this site are provided for informational and planning purposes only. The Town and its consultants are not responsible for the misuse or misrepresentation of the data.

Parcel ID	abutters_owner1	mailing address	Town	State	Zip	abutters_location
13-12-1	ZHANG TE TIANSHENG	222 TRAPELO RD	BELMONT	MA	02478	222 TRAPELO RD, UNIT 1
13-12-2	WAKABAYASHI TE DANIEL	224 TRAPELO RD	BELMONT	MA	02478	224 TRAPELO RD, UNIT 2
13-16	LOCKWOOD TC JOHN K	16 HARRIETT AVE	BELMONT	MA	02478	16 HARRIET AVE
13-6	HAMPARIAN TE DAVID G	105 BIRCH HILL RD	BELMONT	MA	02478	33-35 HARDING AVE
13-65	GREENE TE JOHN D	29 VINCENT AVE	BELMONT	MA	02478	29 VINCENT AVE
13-7-29	FLAHERTY TE DANIEL	29 HARDING AVE	BELMONT	MA	02478	29 HARDING AVE, UNIT 29
13-7-31	LUKIN TE ALEXEY	31 HARDING AVE	BELMONT	MA	02478	31 HARDING AVE, UNIT 31
14-221-21	MORENO FERNANDO JOSE MARTELL	21 BARTLETT AVE	BELMONT	MA	02478	21 BARTLETT AVE, UNIT 21
14-221-23	UVAYDOV TE MASANEL	23 BARTLETT AVE	BELMONT	MA	02478	23 BARTLETT AVE, UNIT 23
13-17	HERETZ TE LEONID	20 HARRIET AVE	BELMONT	MA	02478	20 HARRIET AVE
13-18	PACINI MARIE	26 HARRIET AVE	BELMONT	MA	02478	26 HARRIET AVE
13-22	KEEGAN TE LEO J	40 HARRIET AVE	BELMONT	MA	02478	40 HARRIET AVE
13-35	PRACH DIANA M	35 HARRIET AVE	BELMONT	MA	02478	33 HARRIET AVE
13-48	DONNELLY TRS RICHARD & ANN M	106 SHIRLEY RD	WALTHAM	MA	02452	22-24 VINCENT AVE
13-20-1	HAO TE QUANZHEN	32 HARRIET AVE U1	BELMONT	MA	02478	32 HARRIET AVE, UNIT 1
13-20-2	HALVEY TE PATRICK J	32 HARRIET AVE U2	BELMONT	MA	02478	32 HARRIET AVE, UNIT 2
13-38-19	ISHAKIAN TE VATCHE	19 HARRIET AVE	BELMONT	MA	02478	19 HARRIET AVE, UNIT 19
13-38-21	GUEBENLIAN LENA	21 HARRIET AVE	BELMONT	MA	02478	21 HARRIET AVE, UNIT 21
13-47-18	RAMOS TE RENAN H	18 VINCENT AVE	BELMONT	MA	02478	18 VINCENT AVE, UNIT 18
13-47-20	GALVEZ EDUARDO	20 VINCENT AVE	BELMONT	MA	02478	20 VINCENT AVE, UNIT 20
13-51	HOU TE ZHEN	7 WINCHESTER DR	LEXINGTON	MA	02420	36-38 VINCENT AVE
14-217	SOLGI TE REZA	37 BARTLETT AVE	BELMONT	MA	02478	37 BARTLETT AVE
13-14	CROCKETT TE JULIE	232 TRAPELO RD	BELMONT	MA	02478	232 TRAPELO RD
13-44	MACGILLIVRAY LE DONALD P AND JOAN E	8 VINCENT AVE	BELMONT	MA	02478	6-8 VINCENT AVE
13-9	ZHENG SHI WANG	19-21 HARDING RD	BELMONT	MA	02478	19-21 HARDING AVE
13-13-1	COLOMBINI TE MATTHEW	226 TRAPELO RD U1	BELMONT	MA	02478	226 TRAPELO RD, UNIT 1
13-13-2	KUNDAKOVIC LJILJANA	226 TRAPELO RD U2	BELMONT	MA	02478	226 TRAPELO RD, UNIT 2
13-36	MUTCH PAUL K REVOCABLE TRUST 2017	21 DEAN ST	BELMONT	MA	02478	27-29 HARRIET AVE
13-49	NELSON TE BARTON D	26-28 VINCENT AVE	BELMONT	MA	02478	26-28 VINCENT AVE
13-66	FRENI TC DAVID JOSEPH	25 VINCENT AVE	BELMONT	MA	02478	25-27 VINCENT AVE
13-68	TOBIN TRS JOHN J AND PATRICIA J	13 VINCENT AVE	BELMONT	MA	02478	15 VINCENT AVE
13-70-1	PERROTTA WENDY E	5 VINCENT AVE UNIT 1	BELMONT	MA	02478	5 VINCENT AVE, UNIT 1
13-70-2	LIN SHANWERN STEVE	5 VINCENT AVE UNIT 2	BELMONT	MA	02478	5 VINCENT AVE, UNIT 2
14-220	TRICOMI TC JAMES	25 BARTLETT AVE	BELMONT	MA	02478	25-27 BARTLETT AVE
14-227-A	DIARBAKERLY TRS NAGEEB & NOGOGOS ATINIZ	PO BOX 79213	WAVERLEY	MA	02479	250-254 TRAPELO RD
12-160-28	RUBESKI PATRICK C	133 DALTON RD	BELMONT	MA	02478	28 HARDING AVE, UNIT 28

12-160-30	WEI TE GUOJIAN	30 HARDING AVE	BELMONT	MA	02478	30 HARDING AVE, UNIT 30
13-5	GARTAGANIS TE PARIS	37 HARDING AVE	BELMONT	MA	02478	37-39 HARDING AVE
14-222-1	DONOFRIO TE NICHOLAS S	17 BARTLETT AVE UNIT 1	BELMONT	MA	02478	17 BARTLETT AVE, UNIT 1
14-222-2	TURE TE RIZA	17 BARTLETT AVE UNIT 2	BELMONT	MA	02478	17 BARTLETT AVE, UNIT 2
12-155	TORTOLA TE CARL	19 POND VIEW DRIVE	ACTON	MA	01720	214 TRAPELO RD
13-74	SCLAFANI TE MICHAEL	10 ALMA AVE	BELMONT	MA	02478	10 ALMA AVE
14-224	MINASSIAN JT ANTRANIK	37 STEWART TERR	BELMONT	MA	02478	9-11 BARTLETT AVE
14-227	DISPENA JOSEPH J	169 CEDAR AVE	ARLINGTON	MA	02476	256 TRAPELO RD
13-21	DUNHAM JR JT WILLIAM P	36 HARRIET AVE	BELMONT	MA	02478	36 HARRIET AVE
13-42	EHLER TE JOHN K	3 HARRIET AVE	BELMONT	MA	02478	3 HARRIET AVE
13-45-10	LIN TE JIANCHANG	10 VINCENT AVE	BELMONT	MA	02478	10 VINCENT AVE, UNIT 10
13-45-12	BLOOM MARTHA E	12 VINCENT AVE	BELMONT	MA	02478	12 VINCENT AVE, UNIT 12
13-67-1	SCHOR TE JAMES E	17 FOREST HILL ROAD	MEREDITH	NH	03253	19-21 VINCENT AVE, UNIT 1
13-67-2	CHO TE WONJOON	1221 HARBOR DUNE CT	IVING	TX	75063	19-21 VINCENT AVE, UNIT 2
14-219	SARRACINO DAVID A	31 BARTLETT AVE	BELMONT	MA	02478	31 BARTLETT AVE
13-46	CHEN SHAN	50 BROADLAWN PARK APT #409	CHESTNUT HILL	MA	02467	14-16 VINCENT AVE
13-76-18	MA TE YAN	18 ALMA AVE	BELMONT	MA	02478	18 ALMA AVE, UNIT 18
13-76-20	MCGILLIVRAY KRISTEN L	20 ALMA AVE	BELMONT	MA	02478	20 ALMA AVE, UNIT 20
14-225	MARANGOS TRS ARGRIOS	23 RAVEN RD	CANTON	MA	02021	234-240 TRAPELO RD
14-226	GOLDSTEIN INVESTMENT TRUST	PO BOX 79213	WAVERLY	MA	02479	244-248 TRAPELO RD
13-19	WHITMAN TE LAWRENCE W	28 HARRIET AVE	BELMONT	MA	02478	28-30 HARRIET AVE
14-223-13	FOLEY THOMAS F	13 BARTLETT AVE	BELMONT	MA	02478	13 BARTLETT AVE, UNIT 13
14-223-15	FERNANDEZ TE JOSE I	15 BARTLETT AVE	BELMONT	MA	02478	15 BARTLETT AVE, UNIT 15
12-158-1	JOSEPH TE ERIC	20 HARDING AVE	BELMONT	MA	02478	20 HARDING AVE, UNIT 1
12-158-2	JONES TE NICOLE	22 HARDING AVE	BELMONT	MA	02478	22 HARDING AVE, UNIT 2
13-34	PRACH DIANA M	35 HARRIET AVE	BELMONT	MA	02478	35 HARRIET AVE
13-41-1	KINKADE TE SCOTT L	5 HARRIET AVE	BELMONT	MA	02478	5 HARRIET AVE, UNIT 1
13-41-2	CATHERINE JIN TANG	7 HARRIET AVE	BELMONT	MA	02478	7 HARRIET AVE, UNIT 2
13-71	ZHANG HANYING	3 VINCENT AVE	BELMONT	MA	02478	1-3 VINCENT AVE
12-157	REARDON TR MARIE G & PAUL W REARDON	18 HARDING AVE	BELMONT	MA	02478	16-18 HARDING AVE
13-10-15	LOW TRS ROBIN E	15 HARDING AVE	BELMONT	MA	02478	15 HARDING AVE, UNIT 15
13-10-17	ROBINSON TE PETER	17 HARDING AVE	BELMONT	MA	02478	17 HARDING AVE, UNIT 17
13-15	MCLEAN TE JEFFREY E	12-14 HARRIET AVE	BELMONT	MA	02478	12-14 HARRIET AVE
13-75	FAN MEI JUNG	54 ALMA AVE	BELMONT	MA	02478	12 ALMA AVE
13-37-1	TORR TE ASHLEY	25 HARRIET AVE	BELMONT	MA	02478	25 HARRIET AVE, UNIT 1
13-37-2	STRAUTMANN TE JACOB	23 HARRIET AVE	BELMONT	MA	02478	23 HARRIET AVE, UNIT 2
13-72	HAAS CATHERINE	28 BARTLETT AVE	BELMONT	MA	02478	28 BARTLETT AVE

13-73	FU TE KEREN	8 ALMA AVE	BELMONT	MA	02478	8 ALMA AVE
14-228	COPLEY GENERAL II INC TR	10 NEWBURY ST	BOSTON	MA	02116	264-274 TRAPELO RD
13-33	VAIL TE DAVID G	97 SHAW RD	BELMONT	MA	02478	39-41 HARRIET AVE
13-39	KERSHAW TE THOMAS O	17 HARRIET AVE	BELMONT	MA	02478	17 HARRIET AVE
13-43	SALVUCCI TE CHRISTINE	2-4 VINCENT AVE	BELMONT	MA	02478	2-4 VINCENT AVE
12-156	HALL TE JOHN	12 BRENTON ROAD	WEST HARTFORD	CT	06119	10-14 HARDING AVE
13-23	DINOPOULOS TR JOHN & DEAN J DINOPOULOS	46 HARRIET AVE	BELMONT	MA	02478	46-48 HARRIET AVE
13-40	LIU TE FUSHUANG	73 TROWBRIDGE ST	BELMONT	MA	02478	11 HARRIET AVE
13-69	FANG TE YUANQING	7 VINCENT AVE	BELMONT	MA	02478	7 VINCENT AVE
13-8	KAATZ TRS EVELYN	25 HARDING AVE	BELMONT	MA	02478	23-25 HARDING AVE
12-159-24	KASTURIRANGAN TE RAJESH	24 HARDING AVE	BELMONT	MA	02478	24 HARDING AVE, UNIT 24
12-159-26	GAUDIO TE JOHN	26 HARDING AVE	BELMONT	MA	02478	26 HARDING AVE, UNIT 26
13-11	DOHANIAN JR ARMEN	38 DEAN ST	BELMONT	MA	02478	11-13 HARDING AVE
13-50	WHITSON TE MICAH	34 VINCENT AVE	BELMONT	MA	02478	34 VINCENT AVE



PLOT PLAN  
FOR  
11 HARRIET AVENUE  
IN  
BELMONT, MA.

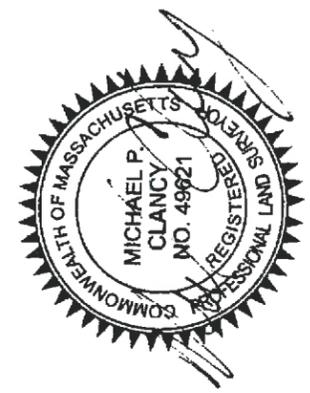
SCALE: 1"=10' APRIL 7, 2021  
C & G SURVEY COMPANY  
37 JACKSON ROAD  
SCITUATE, MA. 02066  
1-877-302-8440

- NOTES:
- ZONING CLASSIFICATION - GENERAL RESIDENCE
  - LOCUS DEED: MIDDLESEX COUNTY REGISTRY OF DEEDS LAND COURT CERT. NO. 275387
  - PLAN REFERENCES: MIDDLESEX COUNTY REGISTRY OF DEEDS LAND COURT PLAN 467A
  - LOCUS LIES IN ZONE X AS SHOWN ON FIRM MAP COMMUNITY PANEL #250182 0414 E, DATED JUNE 4, 2010
  - THIS PROPERTY IS NOT LOCATED WITHIN WETLANDS AS SHOWN ON THE TOWN OF BELMONT WETLANDS MAP

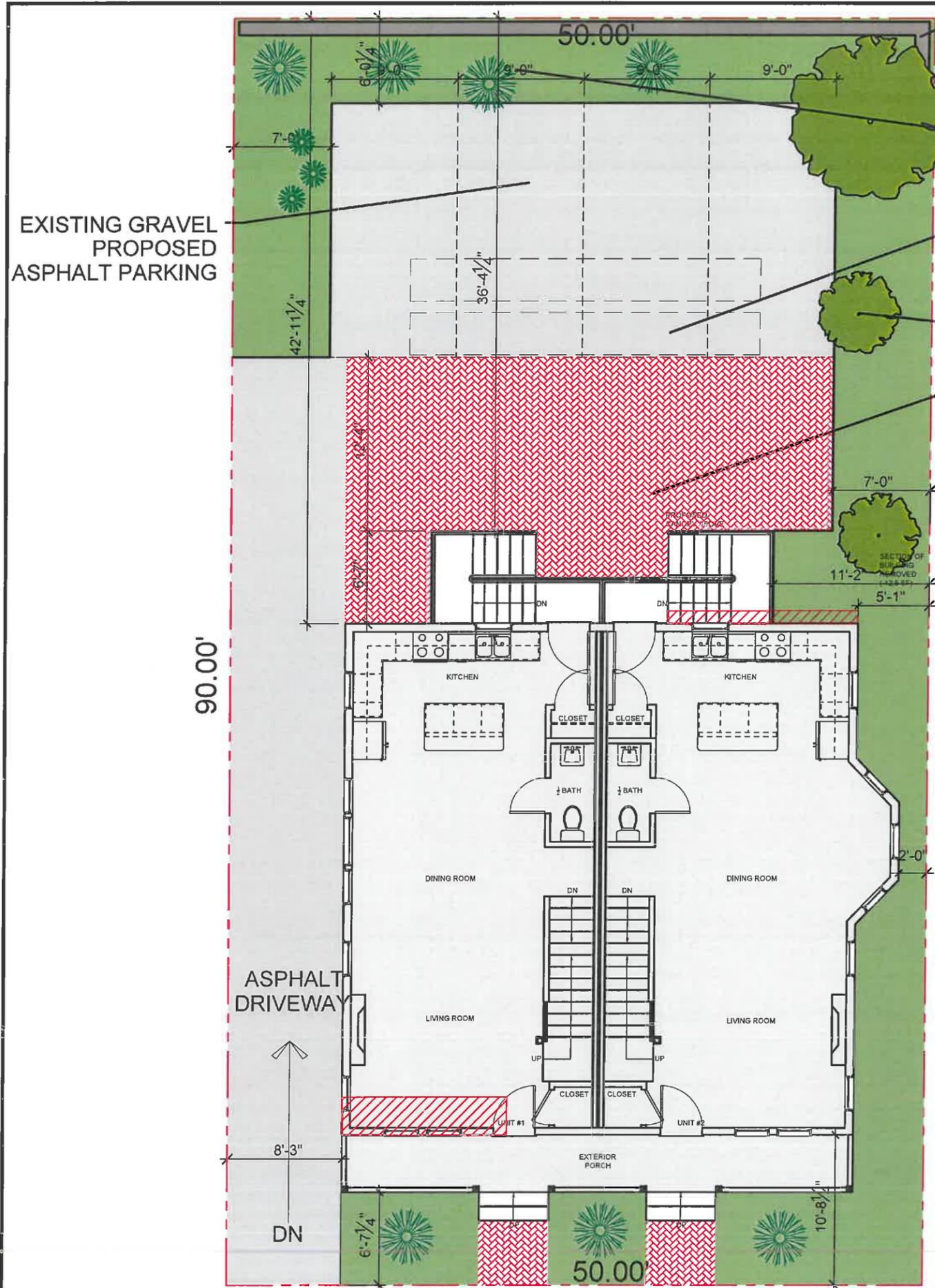
REQUIREMENTS:

	UNITS	REQUIRED	CURRENT	PROPOSED
MINIMUM LOT AREA	S.F.	5,000(7,000(2F))	4,500±	4,500±
PER DWELLING UNIT	S.F.	3,500	2,250	2,250
MINIMUM LOT FRONTAGE	FT.	50.0	50.0	50.0
FRONT SETBACK	FT.	20.0	6.1	6.1
SIDE SETBACK	FT.	10.0	3.2	3.2
SIDE SETBACK	FT.	10.0	7.7	7.7
REAR SETBACK	FT.	20.0	42.8	37.1
BUILDING HEIGHT	FT.	33.0	34.5	34.5
NUMBER OF STORIES	STORIES	2.5(MAX)	3.5	3.5
MINIMUM OPEN SPACE	%	40.0	23%	23%
LOT COVERAGE	%	30.0	33.9%	33.9%

+105SF REAR STAIRS/LANDING(36.3%)



OWNER:	FUSHUANG LIU
LOC. HOUSE NO.	11 HARRIET AVENUE
LOT NO.	13-40
APP. NO.	
REVISED DATE	08/30/21
SCALE	1" = 10'



- SITE RETAINING WALL
- PRIVACY EVERGREEN SHRUBS
- CULTEC STORMWATER DRAINAGE SYSTEM
- EXISTING MAPLE TREE
- EXISTING GRAVEL PROPOSED PERVIOUS PAVERS

ZONING COMPLIANCE

	REQUIRED	EXISTING	PROPOSED
LOT AREA	5,000 SF	4,500 SF	4,500 SF
LOT FRONTAGE	50 FT	50 FT	50 FT
FLOOR AREA RATIO	N/A	N/A	N/A
LOT COVERAGE	30% MAX	33%	33%
OPEN SPACE	40% MIN	23%	23%
FRONT SETBACK	20 FT	6.6 FT	6.6 FT
SIDE SETBACK	10 FT	2.0 FT	2.0 FT
REAR SETBACK	20 FT	42.94 FT	42.94 FT
BUILDING HEIGHT	33 FT	39.5 FT AVG.	39.5 FT AVG.
NO. OF STORY	2-1/2	3-1/2	3-1/2



**JCBT**  
ARCHITECT

585 WASHINGTON STREET, QUINCY, MA 02169  
ADMIN@JCBTARCHITECT.COM  
TEL: (617) 404-8182

CONSULTANT

REGISTRATION



REVISIONS

NO.	BY	DESCRIPTION	DATE

PROJECT

TWO-FAMILY RESIDENCE ALTERATION  
11 HARRIET AVE  
BELMONT, MA  
PROJECT NO. 20176

SHEET TITLE

EXISTING SITE PLAN

DRAWN: AF/LJC  
SCALE: 3/16"=1'-0"  
DATE: 01/11/21  
CHECKED:  
SHEET 1 OF

DRAWING NO:  
**A1.0**





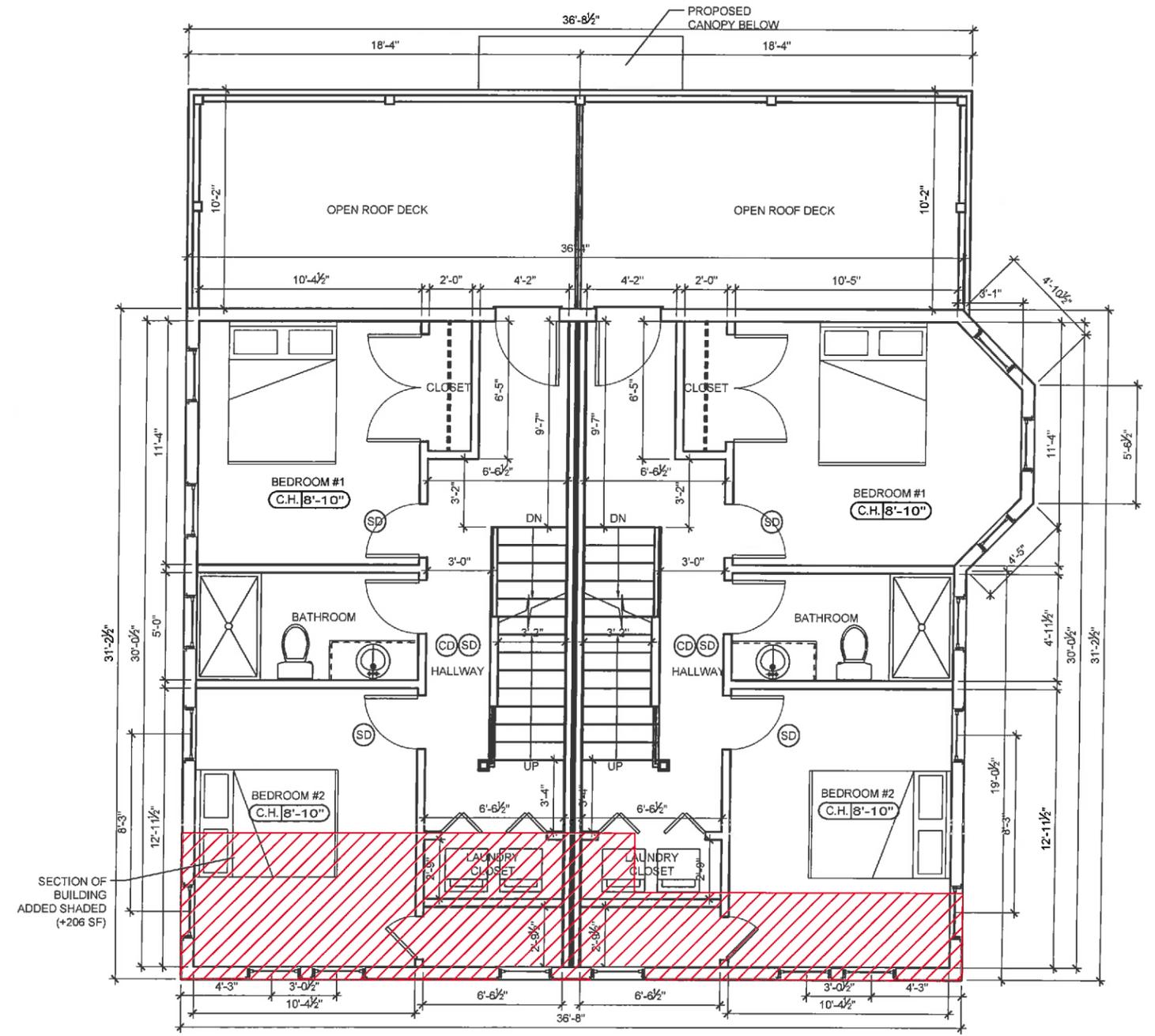






	UNIT #1	UNIT #2
LOWER LEVEL	617 SQ.FT.	683 SQ.FT.
FIRST FLOOR	667 SQ.FT.	694 SQ.FT.
SECOND FLOOR	572 SQ.FT.	598 SQ.FT.
THIRD FLOOR	351 SQ.FT.	351 SQ.FT.
TOTAL	2,207 SQ.FT.	2,326 SQ.FT.

AREA ADDED: 288.5 SF  
 AREA REMOVED: -41.5 SF  
 TOTAL: ADDED 247 SF < 300 SF  
 NO PLANNING BOARD APPROVAL REQUIRED



SECTION OF BUILDING ADDED SHADED (+206 SF)

**PROPOSED 2ND FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"



**JCBT**  
**ARCHITECT**  
 585 WASHINGTON STREET, QUINCY, MA 02169  
 ADMIN@JCBTARCHITECT.COM  
 TEL: (617) 404-8882

CONSULTANT

REGISTRATION



REVISIONS

NO.	BY	DESCRIPTION	DATE

PROJECT

TWO-FAMILY RESIDENCE ALTERATION  
 11 HARRIET AVE  
 BELMONT, MA

PROJECT NO. 20176

SHEET TITLE

PROPOSED FLOOR PLAN

DRAWN	AFJ/LUC	DRAWING NO.	
SCALE	3/16"=1'-0"		
DATE	01/11/21		
CHECKED			
SHEET 1 OF			<b>A15</b>

	UNIT #1	UNIT #2
LOWER LEVEL	617 SQ.FT.	683 SQ.FT.
FIRST FLOOR	667 SQ.FT.	694 SQ.FT.
SECOND FLOOR	572 SQ.FT.	598 SQ.FT.
THIRD FLOOR	351 SQ.FT.	351 SQ.FT.
TOTAL	2,207 SQ.FT.	2,326 SQ.FT.

HALF STORY CALCULATION: A SPACE UNDER THE ROOF WHERE:

2. THE LINE OF INTERSECTION OF THE RAFTER BOTTOMS AND THE INTERIOR WALL SURFACE IS NOT MORE THAN THREE FEET ABOVE FLOOR LEVEL ON AT LEAST HALF THE PERIMETER OF THE SECOND FLOOR.

SECOND FLOOR PERIMETER:  $36'-8" + 31'-2" + 36'-8" + 19'-0" + 4'-5" + 5'-6" + 4'-11" = 138'-4"$   
OR (138.33')  
 $138.33' \times 50\% = 69.17'$

ATTIC FLOOR PERIMETER GREATER THAN 3 FEET:  
 $17'-10" + 17'-10" + 19'-10" + 5'-1" + 5'-1" = 66'-8"$   
**COMPLY: 66'-8" < 69.17'**

3. THE POTENTIAL SPACE HAVING HEADROOM OF FIVE FEET OR MORE IS NOT MORE THAN 60% AS LARGE AS THE SECOND FLOOR.

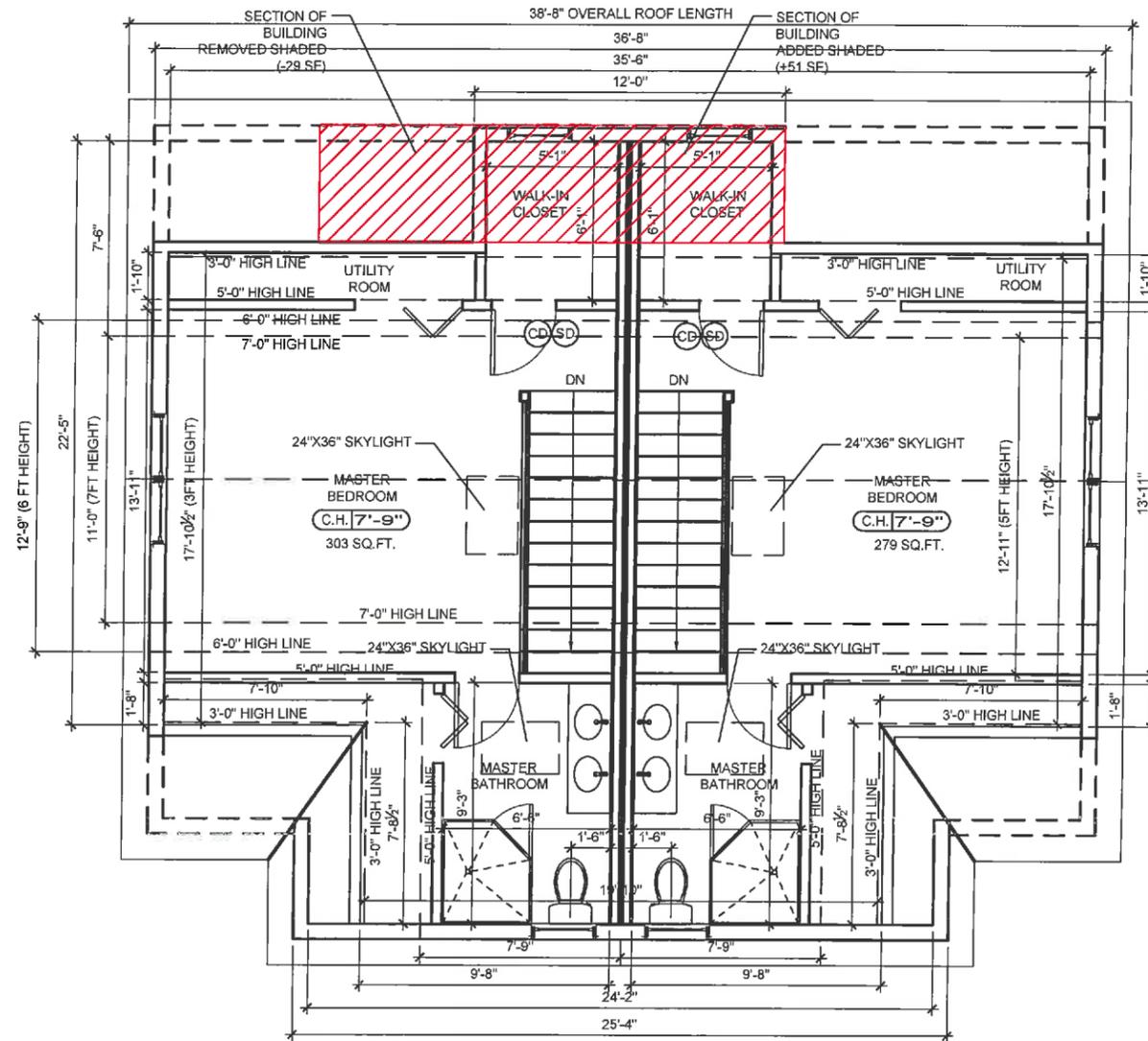
SECOND FLOOR AREA: 1,172 GSF  
ATTIC FLOOR AREA (5'-0" OR MORE): TOTAL 5'-0" OR MORE = 702 SQ.FT.  
**COMPLY: 702 SQ.FT. < 703.2 SQ.FT.**

SECOND FLOOR AREA: 1,172 SF X 60% = 703.2 SQ.FT.

4. PROVIDED THAT THE LENGTH OF ANY DORMER DOES NOT EXCEED 75% OF THE LENGTH OF THE ROOFLINE OF THE SIDE OF THE STRUCTURE WHERE THE DORMER IS CONSTRUCTED.

PROPOSED DORMER LENGTH: 14'-0"  
OVERALL ROOF LENGTH: 38'-8"  
 $14'-0" / 38'-8" = 36.0\%$   
**COMPLY: 36.0% < 75%**

AREA ADDED: 286.5 SF  
AREA REMOVED: -41.5 SF  
TOTAL: ADDED 247 SF < 300 SF  
NO PLANNING BOARD APPROVAL REQUIRED



PROPOSED ATTIC FLOOR PLAN 2  
SCALE: 1/4" = 1'-0" A1.2



**JC BT**  
ARCHITECT  
585 WASHINGTON STREET, QUINCY, MA 02169  
ADMIN@JCBTARCHITECT.COM  
TEL: (617) 404-8182

CONSULTANT

REGISTRATION



REVISIONS

NO.	BY	DESCRIPTION	DATE

PROJECT

TWO-FAMILY RESIDENCE ALTERATION  
11 HARRIET AVE  
BELMONT, MA

PROJECT NO. 20176

SHEET TITLE

PROPOSED FLOOR PLAN

DRAWN: AF/JJC	DRAWING NO:
SCALE: 3/16" = 1'-0"	
DATE: 01/11/21	
CHECKED:	
SHEET 1 OF	<b>A1.6</b>



EXISTING FRONT (SOUTHEAST) ELEVATION  
SCALE: NOTED

EXISTING RIGHT (NORTHEAST) ELEVATION  
SCALE: NOTED

**JC3 BT**  
ARCHITECT  
ADMIN@JC3BTARCHITECT.COM  
TEL: (617) 404-8882

CONSULTANT

REGISTRATION



REVISIONS

NO.	BY	DESCRIPTION	DATE

PROJECT

TWO-FAMILY RESIDENCE ALTERATION  
11 HARRIET AVE  
BELMONT, MA  
PROJECT NO. 20176

SHEET TITLE

EXISTING ELEVATIONS

DRAWN	JJC	DRAWING NO.	A21
SCALE	3/16"=1'-0"		
DATE	12/04/2020		
CHECKED			
SHEET 1 OF			



EXISTING REAR (NORTHWEST) ELEVATION  
SCALE: NOTED

1  
A2.2



EXISTING LEFT (SOUTHWEST) ELEVATION  
SCALE: NOTED

2  
A2.2

**JC BT**  
ARCHITECT  
585 WASHINGTON STREET, QUINCY, MA 02169  
ADMIN@JCBTARCHITECT.COM  
TEL: (617) 404-8182

CONSULTANT

REGISTRATION



REVISIONS

NO.	BY	DESCRIPTION	DATE

PROJECT

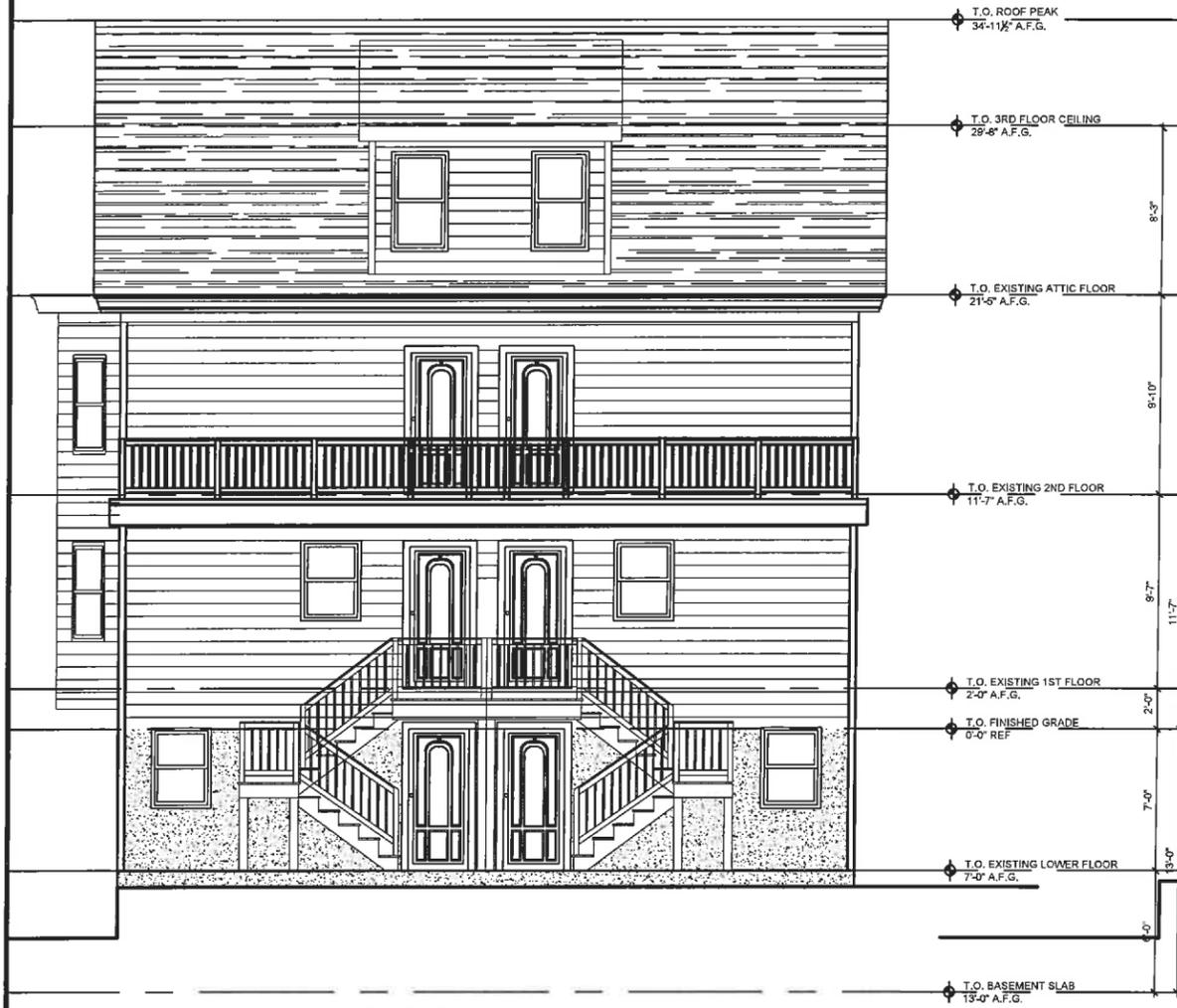
TWO-FAMILY RESIDENCE  
ALTERATION  
  
11 HARRIET AVE  
BELMONT, MA  
  
PROJECT NO. 20176

SHEET TITLE

EXISTING  
ELEVATIONS

DRAWN: JJC	DRAWING NO.
SCALE: 3/16"=1'-0"	
DATE: 12/04/2020	
CHECKED:	
SHEET 1 OF	<b>A2.2</b>





PROPOSED REAR (NORTHWEST) ELEVATION 1  
SCALE: NOTED A2.4



PROPOSED LEFT (SOUTHWEST) ELEVATION 2  
SCALE: NOTED A2.4

**JC BT**  
ARCHITECT  
585 WASHINGTON STREET, QUINCY, MA 02169  
ADMIN@JCSTARCHITECT.COM  
TEL: (617) 404-8182

CONSULTANT

REGISTRATION



REVISIONS

NO.	BY	DESCRIPTION	DATE

PROJECT

TWO-FAMILY RESIDENCE ALTERATION  
11 HARRIET AVE  
BELMONT, MA  
PROJECT NO. 20176

SHEET TITLE

PROPOSED ELEVATIONS

DRAWN: JJC	DRAWING NO:
SCALE: 3/16"=1'-0"	
DATE: 12/04/2020	
CHECKED:	
SHEET 1 OF	<b>A2.4</b>