

RECEIVED
TOWN CLERK
BELMONT, MA

CASE NO. 21-25

2021 AUG 31 AM 9:43

NOTICE OF PUBLIC HEARING BY THE
ZONING BOARD OF APPEALS

ON APPLICATION FOR TWO SPECIAL PERMITS

Notice is hereby given that the Belmont Zoning Board of Appeals will hold a public hearing on Monday, September 13, 2021 at 7:00 PM by remote access through the Zoom app. to consider the application of Diana Dill for Two Special Permits under §1.5 of the Zoning By-Law to construct additions at 56 Raleigh Road located in General Residence (GR) Zoning district. §1.5.4A of the By-Law allows alterations and expansions in the GR district by a Special Permit granted by the Board of Appeals and §4.2 of the Zoning By-Law Dimensional Regulations require a minimum side setback of 10.0', the existing side setback is 8.8' and the proposed is 7.1'.

ZONING BOARD OF APPEALS



OFFICE OF COMMUNITY DEVELOPMENT
TOWN OF BELMONT
19 Moore Street
Homer Municipal Building
Belmont, Massachusetts 02478-0900

Telephone: (617) 993-2650 Fax: (617) 993-2651

Building Division
(617) 993-2664
Engineering Division
(617) 993-2665
Planning Division
(617) 993-2666

July 19, 2021

Diana Dill
56 Raleigh Road
Quincy, MA 02169

RE: Denial to Construct Rear and Side Additions.

Dear Ms. Dill,

The Office of Community Development is in receipt of your building permit application for your proposal to construct a rear and a side addition at 56 Raleigh Road located in a General Residence (GR) Zoning District.

Your application has been denied because it does not comply with the current Town of Belmont Zoning By-Law. More specifically, §1.5.4A of the By-Law allows alterations and expansions in the GR district by a Special Permit granted by the Board of Appeals and §4.2 of the Zoning By-Law Dimensional Regulations require a minimum side setback of 10.0'.

1. The proposed alterations and expansions are allowed by a Special Permit granted by the Board of Appeals.
2. The existing side setback is 8.8' and the proposed is 7.1'.

You may alter your plans to conform to the current Town of Belmont Zoning By-Law and resubmit a building permit application, or you may request two (2) Special Permits from the Zoning Board of Appeals. If you choose this option, please contact the Office of Community Development to schedule an appointment with Ara Yogurtian, Assistant Director, at (617) 993-2650 in order to begin the process.

Sincerely,

Glenn R. Clancy, P.E.
Inspector of Buildings



Town of Belmont
Zoning Board of Appeals

RECEIVED
TOWN CLERK
BELMONT, MA

2021 AUG 31 AM 9:42

APPLICATION FOR A SPECIAL PERMIT

Date: July 30, 2021

Zoning Board of Appeals
Homer Municipal Building
19 Moore Street
Belmont, MA 02478

To Whom It May Concern:

Pursuant to the provisions of Massachusetts General Laws, Chapter 40A, Section 9, as amended, and the Zoning By-Laws of the Town of Belmont, I/we the undersigned, being the owner(s) of a certain parcel of land (with the buildings thereon) situated on 56 Raleigh Street Road, hereby apply to your Board for a **SPECIAL PERMIT** for the erection or alteration on said premises or the use thereof under the applicable Section of the Zoning By-Law of said Town for _____

construct rear and side additions

on the ground that the same will be in harmony with the general purpose and intent of said Zoning By-Law.

Signature of Petitioner Diana Dill

Print Name DIANA DILL

Address 56 RALEIGH RD
BELMONT

Daytime Telephone Number 781-962-6354

56 Raleigh Rd—Application for special permit

Ara Yogurtian
Zoning Board of Appeals
Town of Belmont

July 30, 2021

Dear Mr. Yogurtian and Town of Belmont Zoning Board of Appeals:

Attached please find my application for a special permit for an addition to my house at 56 Raleigh Road. I have lived in this house since 2003 and raised my daughter here. I have made the house and yard beautiful, such that neighbors frequently comment on it. I have recently decided to stay in Belmont rather than relocate because I love my town, my neighborhood, and my house.

Part of this decision involved a financial commitment to renovate the back of the first floor of my house so it will be more pleasant and usable. The back door and back stairwell are cramped, dark, and awkward, and the 1960s kitchen is in dire need of an upgrade, for usability and aesthetics. For 18 years I have been staring at it and dying to update and bring it into character with the rest of the house. Now, with my daughter launched, I can afford to do so.

I am strongly in agreement with and grateful for the ZBA's mission to keep property renovations in sync with house and neighborhood character. For that reason, my architect and I have worked diligently over many months to create a plan that will do so (attached), while conforming to all existing codes and requirements.

I understand that I am in a GR district which means by law my house is non-conforming and our permit application has been automatically rejected and must be appealed to the ZBA. I am therefore applying for a special permit to construct a rear and side addition. The proposed construction will not add to density or have any environment impact or have any adverse impact on water, sewerage, stormwater drainage, or traffic. It will enhance, rather than detract from, the appearance of the house in the neighborhood. The scale of the addition is minimal (approximately 120 square feet) and in sync with the existing surrounding buildings.

Specifically, I wish to add six feet to the back of the first floor of my house, as indicated in the attached drawings (A1, A3, A4, and A7) and shown in photo 1 and 2. As you can see in drawing A3, the proposed addition is in keeping with the current style of the house and neighborhood. The proposed shed roof, windows, and siding are consistent with what is currently there. As you can see in Photo 1 and 2, the back of the house is barely visible from the street (Carleton Rd) and not visible to any of my neighbors. My neighbors have nevertheless been consulted and have no objections.

In addition, there is a bay window on the first floor rear side of the house facing 52 Raleigh Road which has been there since the 1960s and currently intrudes into the 8.8' set back required by regulation. The current bay window is ugly and detracts from the neighborhood look. I propose to fix that. The proposed plans do not add to the setback intrusion, but simply specify squaring the corners. This will allow for a window seat identical in look to that currently on the first floor front of the house. This will increase the usability of the kitchen space, and restore that side of the house to the original character of the house and street, as indicated in Photo 3 and 4.

I am happy to be fully involved in the review process. Thank you for your attention to this application and your work on behalf of the town.

A handwritten signature in black ink, appearing to read "Diana Dill". The signature is fluid and cursive, with a horizontal line above the name.

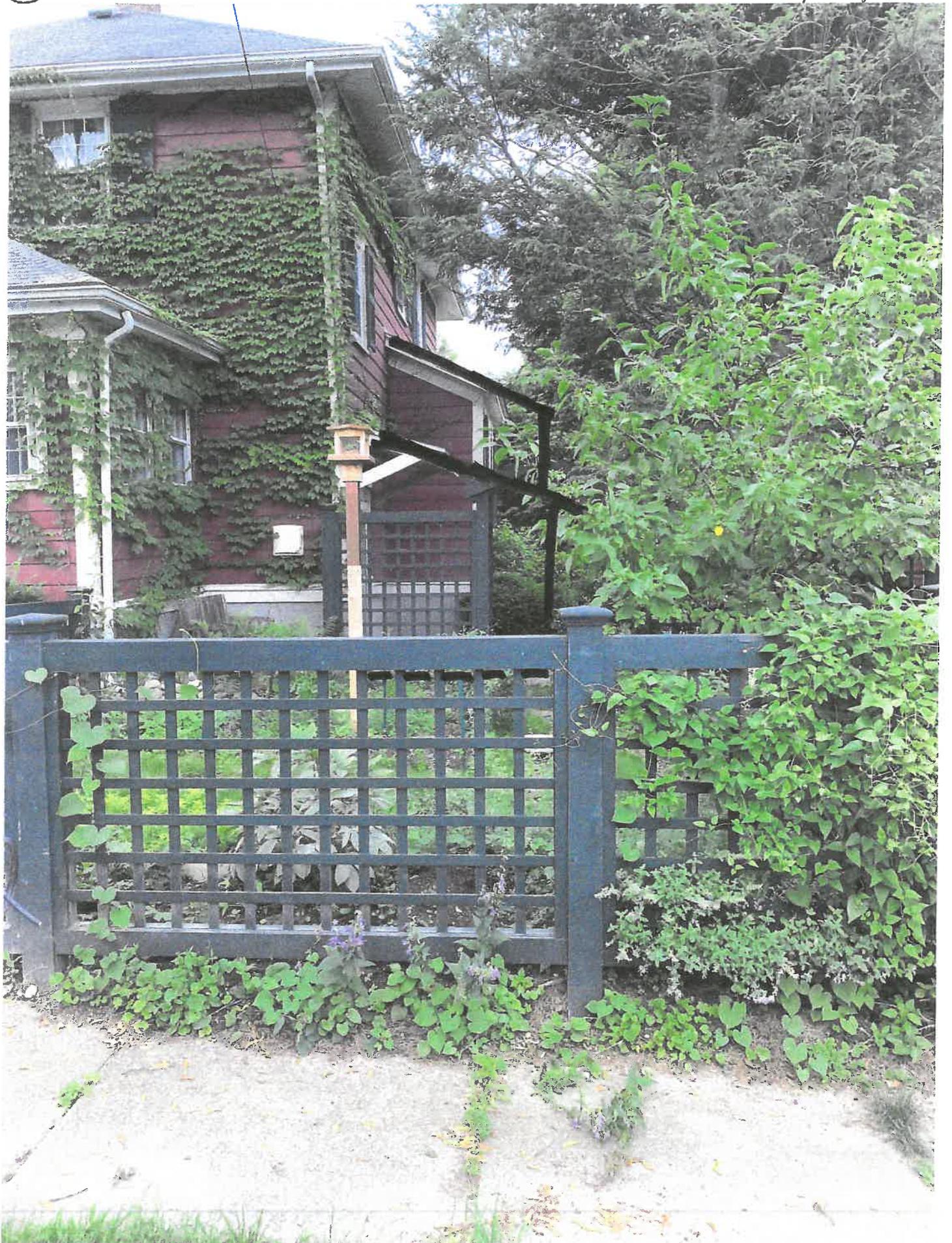
Dr. Diana Dill, homeowner
56 Raleigh Rd Belmont MA
drdianadill@gmail.com
781-962-6354

cc: Christine Arthur, architect
christinearthur@gmail.com
Nicholas Colavito, contractor
nick@nicholas4.com

① view of back from Carleton Rd - now



② view of back from Carleton Rd - proposed

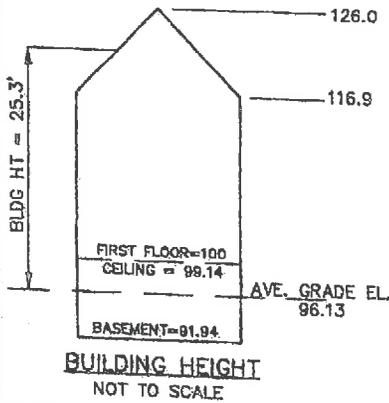


(3) view from Raleigh Rd - new



④ view from Raleigh Rd - proposed



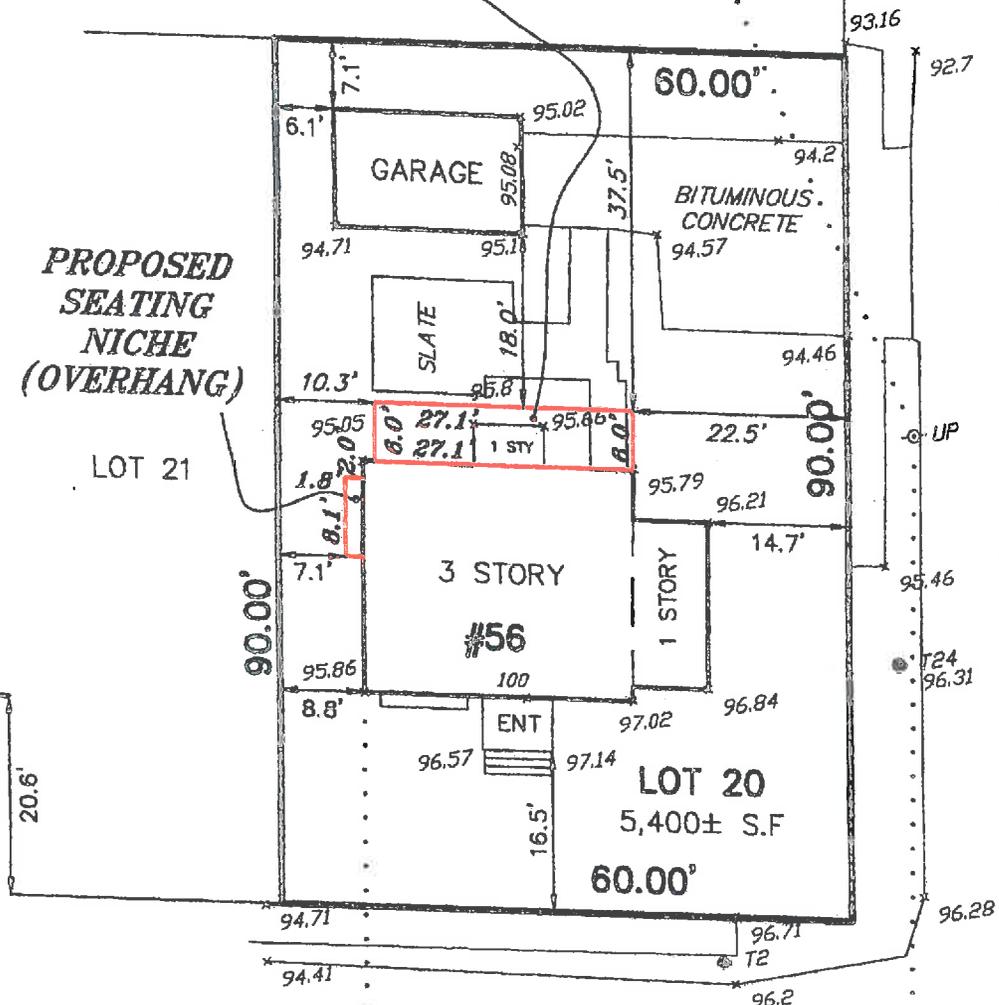


56.09% OF BASEMENT UNDERGROUND
THEREFOR BASEMENT IS A STORY

PROPOSED ADDITION LOT 19



PROPOSED SEATING NICHE (OVERHANG)



CARLETON ROAD

RALEIGH ROAD

SMH 97.25

THE PROPERTY IS NOT LOCATED
WITHIN WETLANDS AS SHOWN
ON THE TOWN OF BELMONT
WETLANDS ATLAS.

ZONING DISTRICT:	GR (GENERAL RESIDENCE)		
	REQ.	EXISTING	PROP.
FRONT (RALEIGH):	20.3'	16.5'	16.5'
FRONT (CARLETON):	15.5'	14.7'	22.5'
SIDE SETBACK:	10'	8.8'	10.3'
REAR SETBACK:	18'	39.2'	37.5'
MAXIMUM LOT COVERAGE:	30%	21.4%	24.1%
MINIMUM OPEN SPACE:	40%	68.5%	65.8%
LOT FRONTAGE:		60.00'	

TOTAL LOT AREA: 5,400± S.F.

OWNER: DIANA DILL
39986/219
ASSESSORS MAP 6 - PARCEL 42

**PROPOSED PLOT PLAN
#56 RALEIGH ROAD
IN
BELMONT, MA
(MIDDLESEX COUNTY)**

SCALE: 1" = 20' DATE: 5/10/2021



ROBER SURVEY
1072 MASSACHUSETTS AVENUE
ARLINGTON, MA 02476
(781) 648-5533
DWG. NO. 6462PP1.DWG

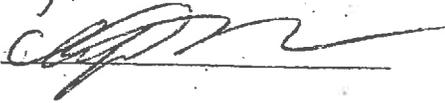


Cliff Rober 5/10/2021
CLIFFORD E. ROBER, PLS DATE

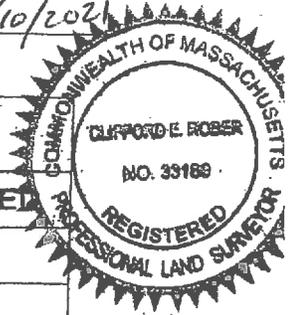
Zoning Compliance Check List

Properties Located within the GR Zoning Districts
(To be Completed by a Registered Land Surveyor)

Property Address: 56 Raleigh Road

Surveyor Signature and Stamp: 

Date: 5/10/2021



Per §4.2 of the Zoning By-Laws

		REQUIRED	EXISTING	PROPOSED
Lot Area (sq. ft.)		5,000	5,400	-
Lot Frontage (feet)		50'	60'	-
Lot Area/Unit (sq. ft./d.u.)		-	-	-
Lot Coverage (% of lot)		30%	21.4%	24.1%
Open Space (% of lot)		40%	68.5%	65.8%
Setbacks: (feet)	> Front ^{Raleigh} ^{Carleton}	20.3' 15.5'	16.5' 14.7'	- 22.5'
	> Side/Side	10' -	8.8' -	10.3' -
	> Rear	18'	39.2'	37.5'
Building Height:	> Feet	33'	-	-
	> Stories	2 1/2	-	-
1/2 Story (feet) (Per §1.4)	> Perimeter			
	> Area			
	> Length			

Per §6D of the Zoning By-Laws

		REQUIRED	EXISTING	PROPOSED
Front Doors:	> Face Street			
	> Setback			
Curb Cut				
HVAC:	> Front Yard			
	> Side/Rear Setbacks			

SUBMIT CALCULATIONS for all of the requirements listed above on a separate piece of paper(s) to verify how they were calculated

Segment	Ceiling Elevation	Elevation From	Elevation To	Ceiling Length	Ceiling Height	Square Footage	Exposed Square Footage	% Covered
A	99.14	95.86	97.02	28.35	7.2	204.12	76.55	62.50%
B	99.14	97.02	97.02	1.50	7.2	10.80	3.18	70.56%
C	99.14	97.02	96.84	7.92	7.2	57.02	17.50	69.31%
D	99.14	96.84	96.21	7.59	7.2	54.65	19.85	63.68%
E	99.14	96.21	95.79	7.88	7.2	56.74	24.74	56.39%
F	99.14	95.79	95.79	5.24	7.2	37.728	17.554	53.47%
G	99.14	95.79	95.66	9.38	7.2	67.536	32.0327	52.57%
H	99.14	95.66	95.66	4.18	7.2	30.096	14.5464	51.67%
I	99.14	95.66	95.8	7.41	7.2	53.352	25.2681	52.64%
J	99.14	95.8	95.8	4.2	7.2	30.24	14.028	53.61%
K	99.14	95.8	95.05	11.7	7.2	84.24	43.4655	48.40%
L	99.14	95.05	95.86	24.36	7.2	175.392	89.7666	48.82%
			119.71		7.2	861.91	378.48	56.09%

Ceiling Height:	7.2	<- enter
Basement Floor Elevation	91.94	<- enter
Ceiling Elevation	99.14	
Perimeter Total Length	119.71	
Total Perimeter Square Foot	861.91	
Exposed Square Footage	378.48	
% Covered		<- result

North	South	East	West
#REF!	#REF!	#REF!	#REF!
#REF!	#REF!	#REF!	#REF!
0.00	0.00	0.00	0.00
0.00	0.00	0.00	0.00
0.00	0.00	0.00	0.00
#REF!	#REF!	#REF!	#REF!
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#REF!	#REF!	#REF!	#REF!



Clifford E. Robber
5/13/21



DESIGN STUDIO LLC
ARCHITECTURE
PLANNING DESIGN

201 LEXINGTON ST
BELMONT MA
02478

CHRISTINE M. ARTHUR
CHRISTINEARTHUR@GMAIL.COM

ZBA SET

DR. DIANA DILL
56 RALEIGH ROAD
BELMONT MA 02478

PROJECT STATUS

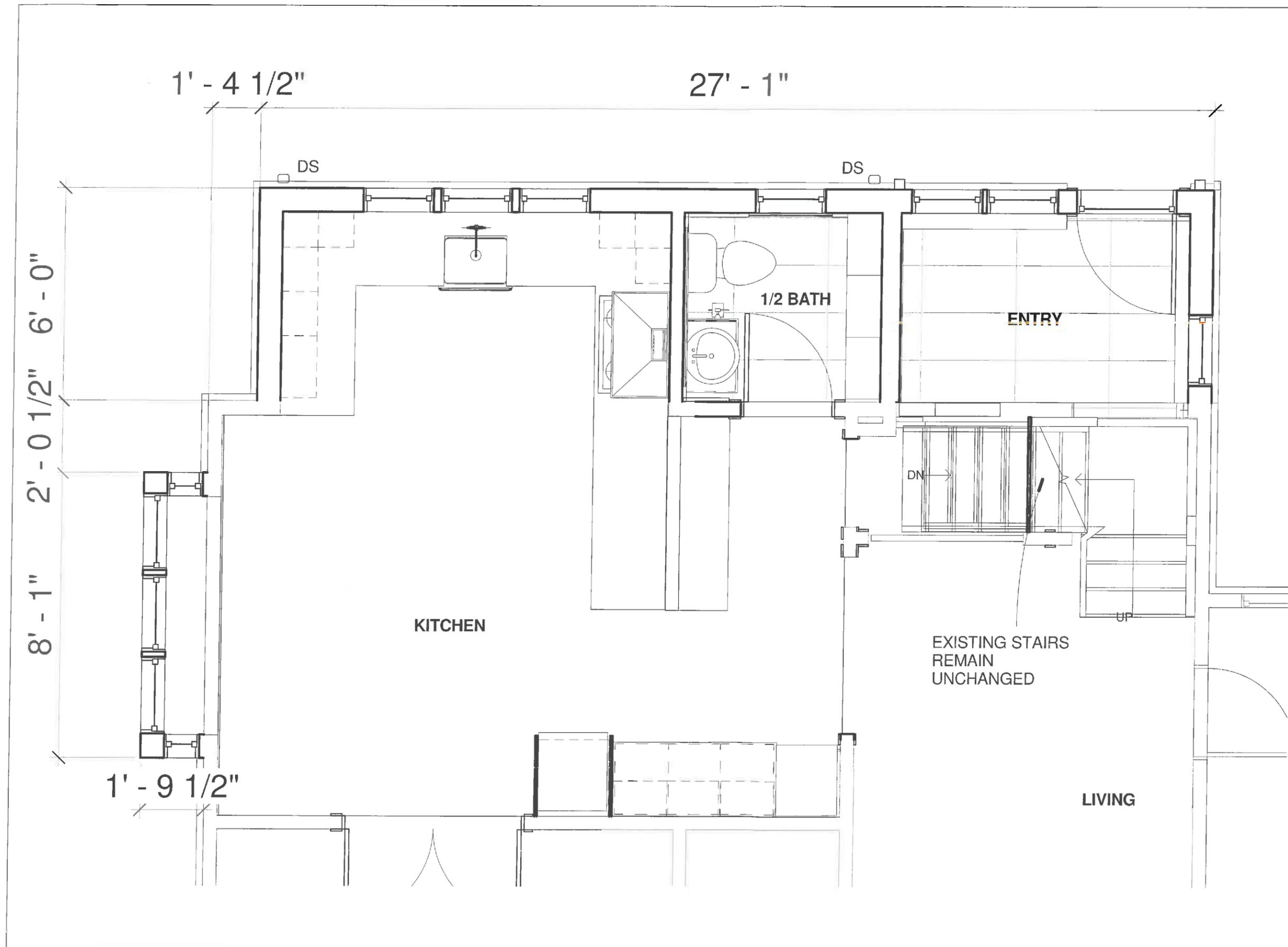
DATE: 07/29/21
DRAWN: CA
CHECKED: CA
FILE:

TITLE

FIRST
FLOOR
PLAN

DWG NO

A1





DESIGN STUDIO LLC
ARCHITECTURE
PLANNING DESIGN

201 LEXINGTON ST
BELMONT MA
02478

CHRISTINE M. ARTHUR
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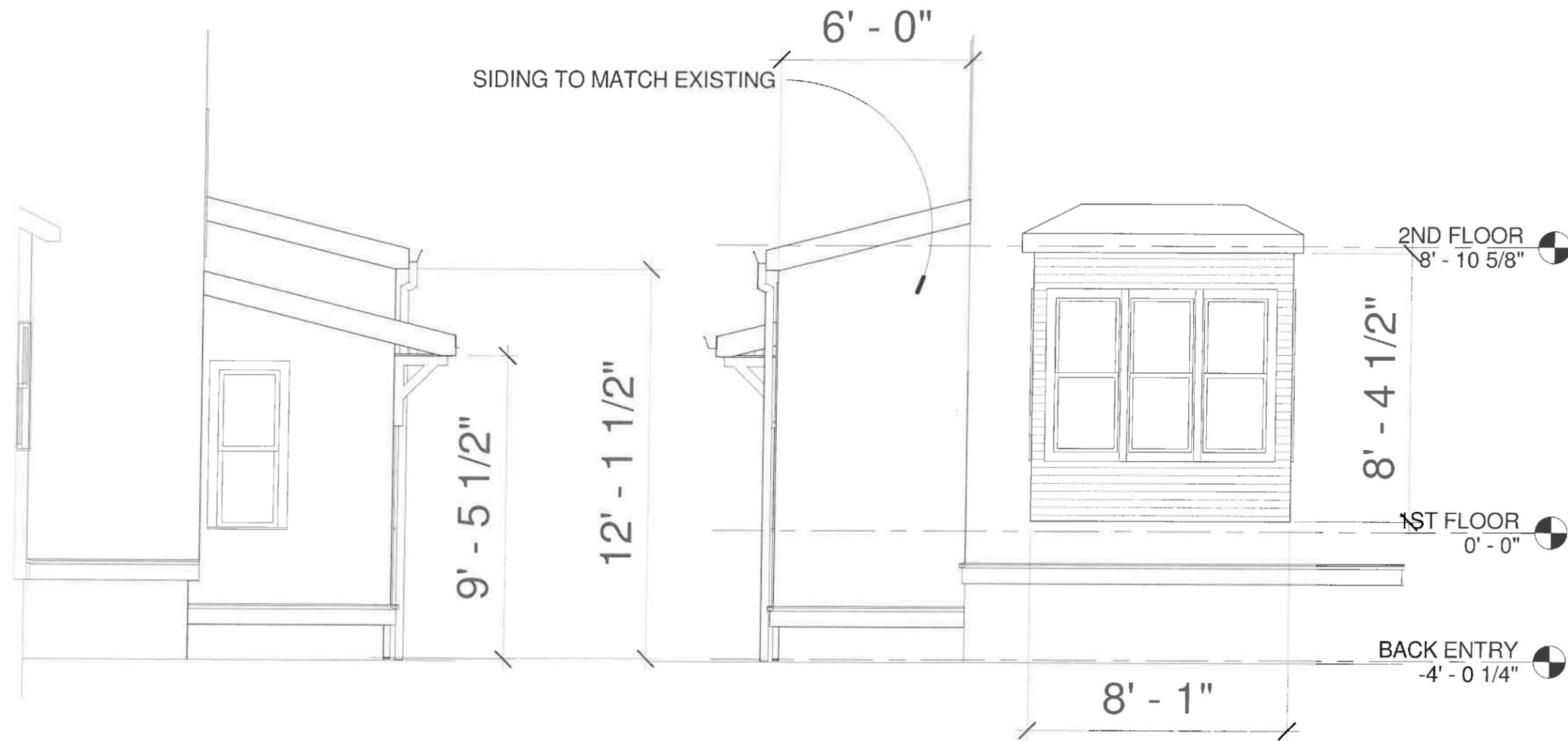
PROJECT STATUS

DATE: 07/29/21
DRAWN: CA
CHECKED: CA
FILE:

TITLE EXTERIOR ELEVATIONS

DWG NO

A3



① PARTIAL EXTERIOR ELEVATION EAST
1/4" = 1'-0"

② PARTIAL EXTERIOR ELEVATION WEST
1/4" = 1'-0"



DESIGN STUDIO LLC
ARCHITECTURE
PLANNING DESIGN

201 LEXINGTON ST
BELMONT MA
02478

CHRISTINE M. ARTHUR
CHRISTINEARTHUR@GMAIL.COM

ZBA SET

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56 RALEIGH ROAD
BELMONT MA 02478

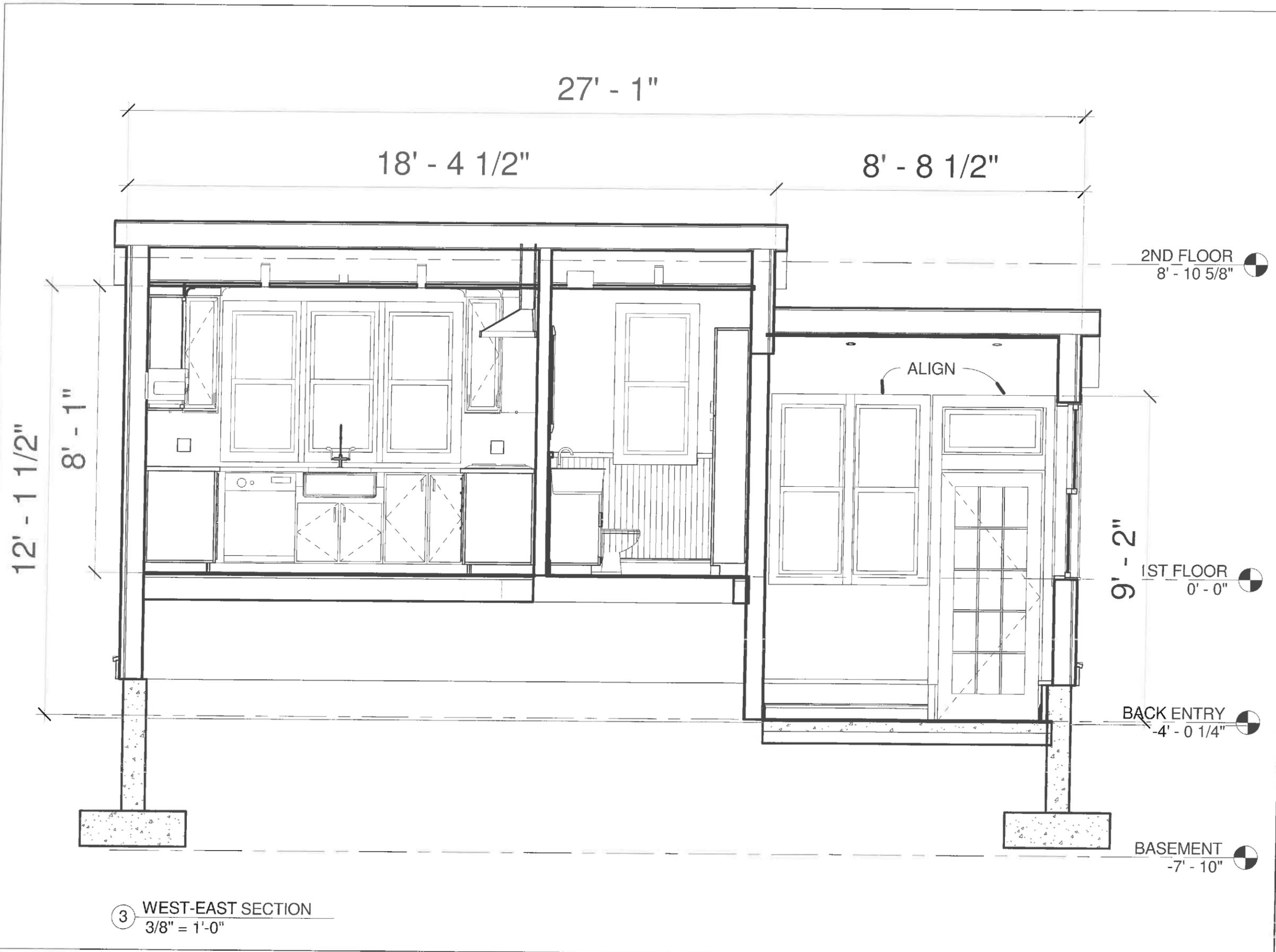
PROJECT STATUS

DATE: 07/29/21
DRAWN: CA
CHECKED: CA
FILE:

TITLE SECTION

DWG NO

A4





DESIGN STUDIO LLC
ARCHITECTURE
PLANNING DESIGN

201 LEXINGTON ST
BELMONT MA
02478

CHRISTINE M. ARTHUR
CHRISTINEARTHUR@GMAIL.COM

ZBA SET

DR. DIANA DILL
56 RALEIGH ROAD
BELMONT MA 02478

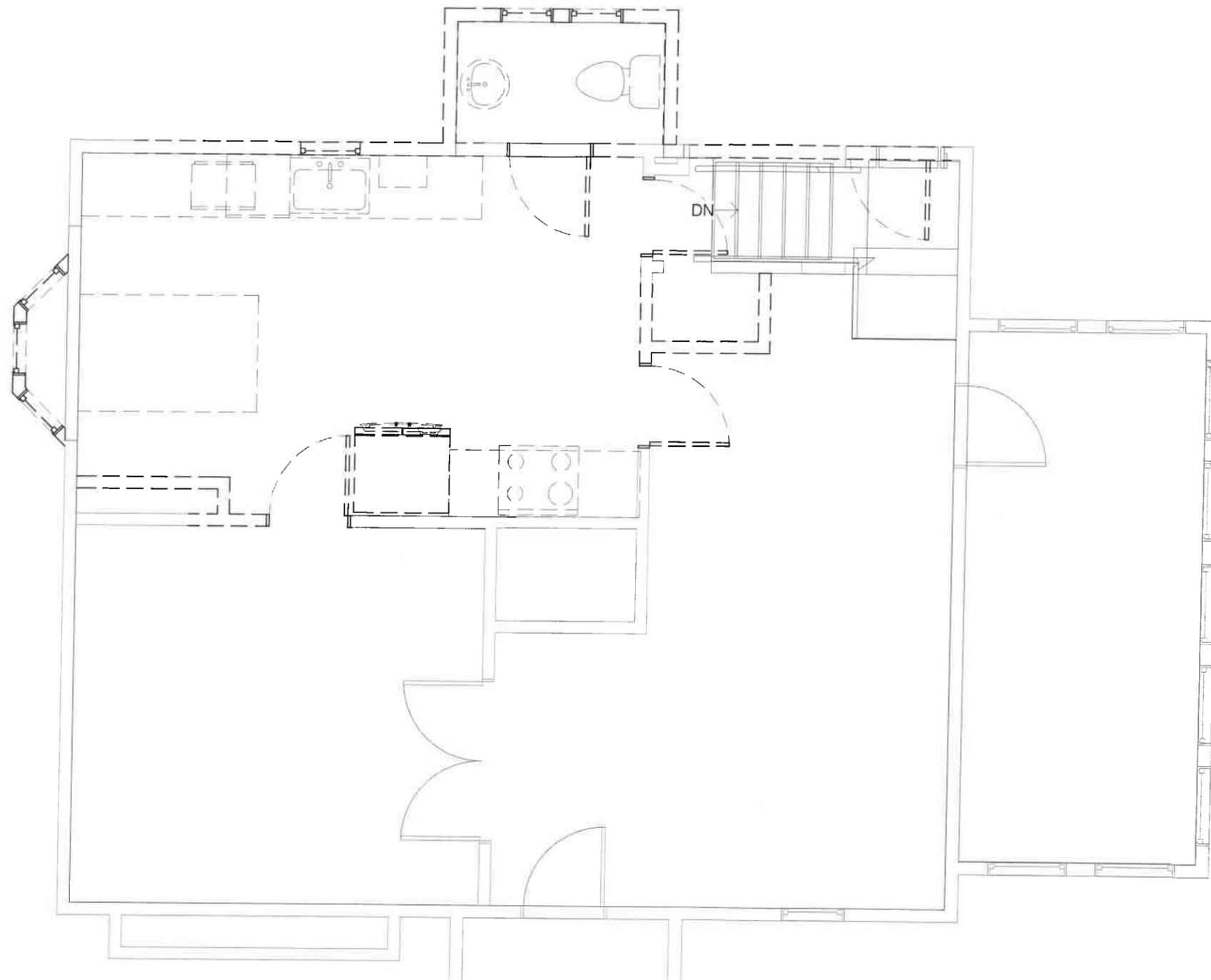
PROJECT STATUS

DATE: 07/29/21
DRAWN: CA
CHECKED: CA
FILE:

TITLE
EXISTING
FIRST
FLOOR

DWG NO

A7



② 1ST FLOOR EXISTING
1/4" = 1'-0"