

NOTICE OF PUBLIC HEARING BY THE  
ZONING BOARD OF APPEALS

ON APPLICATION FOR ONE SPECIAL PERMIT

Notice is hereby given that the Belmont Zoning Board of Appeals will hold a public hearing on Monday, February 8, 2021 at 7:00 PM by remote access through the Zoom app. to consider the application of David Coleman to construct a Third Story addition at 26 George Street located in Single Residence C (SRC) Zoning District for One Special Permit under §1.5 of the Zoning By-Law. Special Permit: §4.2 of the By-Law allows two and a half (2-1/2) story buildings, the existing structure is three and a half (3-1/2) stories, The lowest level of the dwelling is a basement (44.9% of the foundation walls are exposed) and is considered a story. The proposed addition is a third story addition.

ZONING BOARD OF APPEALS



OFFICE OF COMMUNITY DEVELOPMENT  
TOWN OF BELMONT  
19 Moore Street  
Homer Municipal Building  
Belmont, Massachusetts 02478-0900

Telephone: (617) 993-2650 Fax: (617) 993-2651

Building Division  
(617) 993-2664  
Engineering Division  
(617) 993-2665  
Planning Division  
(617) 993-2666

November 9, 2020

David Coleman  
26 George Street  
Belmont, MA 02478

RE: Denial to Construct a Third Story Addition

Dear Mr. Coleman,

The Office of Community Development is in receipt of your building permit application for your proposal to construct a third story addition at 26 George Street located in a Single Residence C Zoning District.

Your application has been denied because it does not comply with the current Town of Belmont Zoning By-Law. More specifically, Section 4.2.2 of the Zoning By-Law Dimensional Regulations allow a maximum of 2-1/2 story structures.

1. The existing structure is three and a half (3-1/2) stories. The lowest level of the dwelling is a basement (44.9% of the foundation walls are exposed) and is considered a story. The proposed addition is a third story addition.

You may alter your plans to conform to the current Town of Belmont Zoning By-Law and resubmit a building permit application, or you may request one (1) Special Permit from the Zoning Board of Appeals. If you choose this option, please contact the Office of Community Development to schedule an appointment with Ara Yogurtian, Assistant Director, at (617) 993-2650 in order to begin the process.

Sincerely,

Glenn R. Clancy, P.E.  
Inspector of Buildings



Town of Belmont  
Zoning Board of Appeals

**APPLICATION FOR A SPECIAL PERMIT**

Date: 12/14/20

Zoning Board of Appeals  
Homer Municipal Building  
19 Moore Street  
Belmont, MA 02478

To Whom It May Concern:

Pursuant to the provisions of Massachusetts General Laws, Chapter 40A, Section 9, as amended, and the Zoning By-Laws of the Town of Belmont, I/we the undersigned, being the owner(s) of a certain parcel of land (with the buildings thereon) situated on \_\_\_\_\_ Street/Road, hereby apply to your Board for a **SPECIAL PERMIT** for the erection or alteration on said premises or the use thereof under the applicable Section of the Zoning By-Law of said Town for the addition of a story on top of the existing sunroom for the purpose of constructing a master bathroom

on the ground that the same will be in harmony with the general purpose and intent of said Zoning By-Law.

Signature of Petitioner *David Coleman*  
Print Name David Coleman  
Address 26 George St  
Belmont, MA 02478  
Daytime Telephone Number 617-967-3391

RE: **Coleman/Gagliardi Residence**  
26 George St  
Belmont, MA 02478

Date: 12/14/20

## **Special Permit Application Statement**

We are applying for a Special Permit to add a master bathroom on top of the existing sunroom. Since the basement area is slightly less the required 60% min. below ground, it is considered a story. Because of that the proposed master bathroom is considered a third story addition, requiring a Special Permit.

Our three-bedroom house, built in 1921, has only one full bathroom, small in size (roughly 40sf), with a relatively small shower. This is very tight for our family of four. A new master bathroom helps to create a master suite, has a large tub, a shower, a laundry (currently located in the basement) and linen storage, standard amenities for a house of this size and current renovation standards in Belmont.

The exterior of the addition is designed to blend with the existing style of the house, its massing, roof slope, window styles, materials, skirting and eave details. Our intent is that the addition looks as though it had been built with the original house. Taking these features into account, the addition will not be more detrimental to the neighborhood, but will instead be in keeping with its character, conforming in style and massing (See enclosed photos of the house and street). This addition will not increase the nonconforming nature of the house and complies with all other zoning requirements for this neighborhood.

The existing basement area is only 4.9% less below ground than required to be considered a cellar and this is because the topography of the hill that George St. runs directly up leaves the downhill side of the house exposed. Our proposal is in keeping with other similar past projects in the neighborhood and we understand the board recently approved an application that includes an addition similar to ours at 12 Franklin St, with a similar basement exposure. We've consulted with our immediate abutters and have gathered signatures that indicate their support.

We believe the proposed project is, both in design and purpose, a popular and logical addition for this type of single-family home in Belmont. We hope the board will grant us the relief we request.

Thank you.  
Sincerely,  
David Coleman & Amy Gagliardi  
Owners

26 George St.  
Belmont, MA 02478

**26 George St.; front view, sunroom on the left.**



**26 George St.; Looking up George St. to 20 George St.**



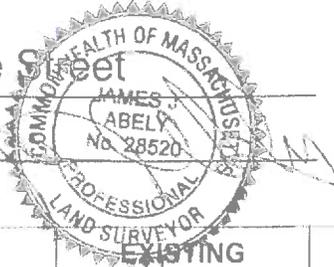
## Zoning Compliance Check List (Registered Land Surveyor)

Property Address: 26 George Street

Zone: SR-C

Surveyor Signature and Stamp: \_\_\_\_\_

Date: 12/15/2020



	REQUIRED	EXISTING	PROPOSED
Lot Area	9,000 sf	7,754 sf	7,754 sf
Lot Frontage	75.00'	74.83'	74.83'
Floor Area Ratio	N/A	N/A	N/A
Lot Coverage	25%	19.3%	19.3%
Open Space	50%	67.5%	67.5%
Front Setback	25.0'	27.4'	27.4'
Side Setback	10.0'	13.1'	13.1'
Side Setback	10.0'	19.5'	19.5'
Rear Setback	30.0'	36.8'	36.8'
Building Height	30'	26.6'	26.6'
Stories	3	3	3
½ Story Calculation	See previously submitted calculations.		

**NOTES:**


BENCHMARK: NAIL  
ELEVATION = 100.0'  
(ASSUMED)

**OWNER OF RECORD**

DAVID COLEMAN & AMY GAGLIARDI  
DEED BOOK 1436 PAGE 104

**ZONING DISTRICT**

TAX MAP 17 PARCEL 20  
SINGLE RESIDENCE C

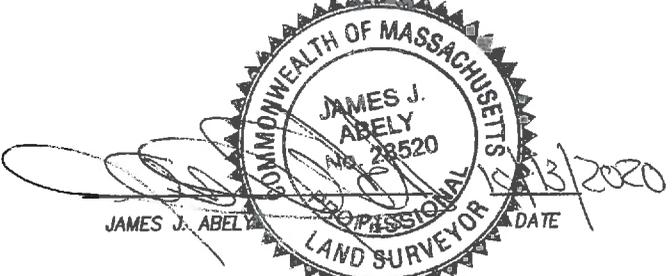
**PLAN REFERENCES**

PLAN 6851B

ZONING TABLE			
SR-C	REQUIRED	EXISTING	PROPOSED
LOT SIZE	9,000 SQ. FT.	7,754± SQ. FT.	7,754± SQ. FT.
FRONTAGE	75.00'	74.83'	74.83'
MINIMUM FRONT SETBACK	25.0'	27.4'	27.4'
MINIMUM SIDE SETBACK	10.0'	13.1'	13.1'
MINIMUM REAR SETBACK	30.0'	36.8'	36.8'
HEIGHT (MID PEAK)	30'	26.6'	26.6'
MINIMUM OPEN SPACE	50%	67.5%	67.5%
MAXIMUM LOT COVERAGE	25%	19.3%	19.3%

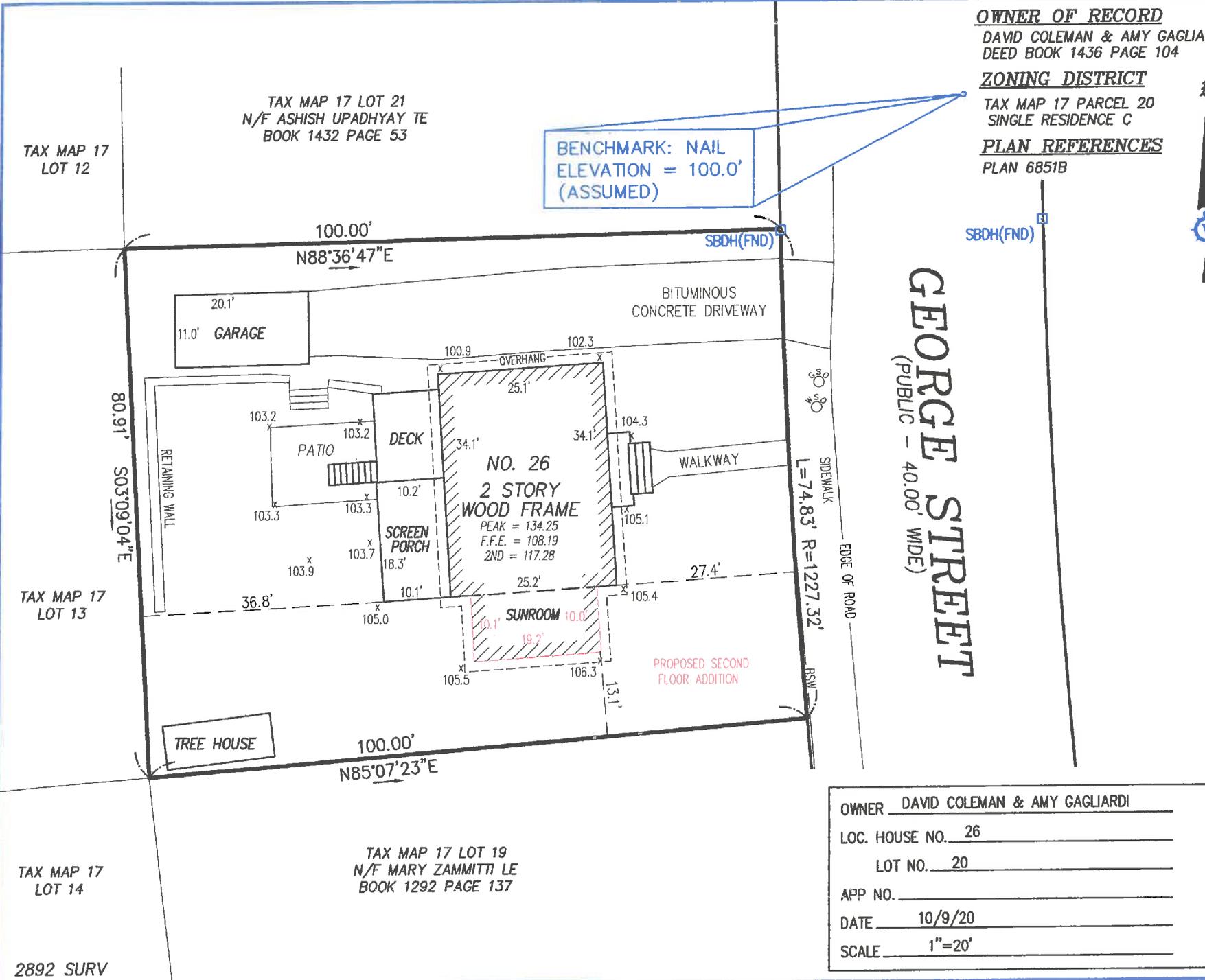
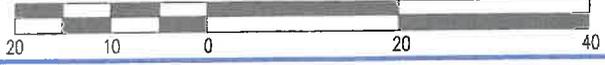
I HEREBY CERTIFY THAT THIS DWELLING IS LOCATED IN FLOOD ZONE X. AREA OF MINIMAL FLOODING. FLOOD HAZARD BOUNDARY MAP 25017C0418E PANEL 418E EFFECTIVE JUNE 4, 2010.

I HEREBY CERTIFY THAT THIS PLAN IS BASED ON AN ACTUAL FIELD SURVEY.



PLAN OF LAND  
SHOWING PROPOSED IMPROVEMENTS  
26 GEORGE STREET  
BELMONT, MA  
SCALE 1"=20'      OCTOBER 9, 2020  
PREPARED BY

VINEYARD ENGINEERING  
& ENVIRONMENTAL SERVICES INC.  
LAND SURVEY, CIVIL ENGINEERING & ENVIRONMENTAL SERVICES  
319 MAIN STREET, UNIT 2R  
STONEHAM, MA 02180  
TEL. 781-572-3272 FAX. 781-572-3135  
Vineyardeng.com



OWNER DAVID COLEMAN & AMY GAGLIARDI

LOC. HOUSE NO. 26

LOT NO. 20

APP NO. \_\_\_\_\_

DATE 10/9/20

SCALE 1"=20'

TAX MAP 17 LOT 12

TAX MAP 17 LOT 21  
N/F ASHISH UPADHYAY TE  
BOOK 1432 PAGE 53

TAX MAP 17 LOT 13

TAX MAP 17 LOT 14

TAX MAP 17 LOT 19  
N/F MARY ZAMMITTI LE  
BOOK 1292 PAGE 137



Additions & Alterations to:

# The COLEMAN RESIDENCE

26 George St, Belmont, MA 02478

ARCHITECTURAL DESIGN:

DOMA HOMES



36 Crescent Road, Belmont, MA 02478

t: 781-632-1659

www.domahomes.net

STRUCTURAL:

STRUCTURAL INTEGRITY ENGINEERING GROUP, INC.

32 Cotting Street, Medford, MA 02155

t: 781-391-3022

PROJECT

Addition & Alterations to:

## The COLEMAN RESIDENCE

26 GEORGE ST  
Belmont, MA 02478

THE INFORMATION CONTAINED IN THESE CONSTRUCTION DOCUMENTS IS FOR THE EXCLUSIVE USE OF THE CLIENT IN CONNECTION WITH THE BUILDING OPERATED BY THE CLIENT. THE EXISTING SITE CONDITIONS HAVE BEEN BASED UPON VISUAL AND PHOTOGRAPHIC INFORMATION AND IS NOT AN IN-DEPTH INVESTIGATION INTO THE EXISTING SITE CONDITIONS. THE ARCHITECT HAS ATTEMPTED TO ESTABLISH AS ACCURATE SET OF CONSTRUCTION DOCUMENTS AS POSSIBLE FOR THE CONSTRUCTION OF THE PROJECT AND FROM THE OWNER'S REQUIREMENTS AND THAT OF STATE AND LOCAL CODES. IT SHALL BE THE OWNER'S RESPONSIBILITY TO ACQUIRE IN-DEPTH INVESTIGATIONS AND TESTING WHEN UNKNOWN AND TAKEN CONSIDERATION BEING AVAILABLE. IF THE OWNER OBJECTS OR BECOMES AWARE OF ANY FAULT OR DEFECT IN THE PROJECT OR NON-COMFORMANCE WITH THE CONSTRUCTION DOCUMENTS, THE ARCHITECT SHALL BE ADVISED BY THE OWNER TO THE ARCHITECT. THE ARCHITECT SHALL HAVE NO RESPONSIBILITY IN RESPECT TO THE CONSTRUCTION OF THE BUILDING UNLESS THE OWNER AND THE ARCHITECT ENTER INTO A SEPARATE AGREEMENT FOR ADDITIONAL SERVICES FOR ADMINISTRATION OF THE CONSTRUCTION CONTRACT AND SITE INSPECTION DURING CONSTRUCTION.

ISSUES / REVISIONS

Date	Description
07 AUG 20	RELEASE
10 DEC 20	ZONING REVIEW SET

© DOMA HOMES, 2020 All rights reserved.  
This drawing cannot be reproduced without permission.

DRAWING TITLE  
Cover Sheet

SCALE  
N/A

DATE  
December 10, 2020

SHEET NUMBER  
A-0

ZONING INFO

PROPERTY TYPE	SINGLE FAMILY RESIDENCE
YEAR BUILT	1921
STYLE	COLONIAL
ZONING DISTRICT	SC- SINGLE RESIDENCE C
SCENIC ROAD	NO
HIST. DISTRICT	NO
HIST. PROPERTY	NO

DIMENSIONAL REGULATIONS

	EXIST'G	CONFORMANCE	REQ. MIN/MAX.	PROPOSED	CONFORMANCE
BDRMS + BATHS	3 + 1 1/2	-	-	3 + 2 1/2	N/A
LOT AREA	7,754 sf	-	-	-	N/A
F.A.R.	N/A	-	-	-	N/A
OPEN SPACE	67.5%	YES	50% MIN	(no changes)	YES
LOT COVERAGE	19.3%	YES	25% MAX.	(no changes)	YES
STORIES	3 1/2	NONCONFORMING	2 1/2 MAX.	(no changes)	SPECIAL PERMIT REQ'D
BLDG. HEIGHT	26.6'	YES	30' MAX.	(no changes)	YES
SETBACKS (SEE SURVEY FOR DETAILS)					
FRONT	27.4'	YES	25'	(no changes)	YES
SIDE (NORTH)	N/A	N/A	N/A	N/A	N/A
SIDE (SOUTH)	13.1'	YES	10' MIN.	(no changes)	YES
REAR	36.8'	YES	30' MIN.	(no changes)	YES

ZONING SUMMARY

- SPECIAL PERMIT IS REQ'D FOR PROPOSED SECOND STORY MASTER BATHROOM ADDITION.
  - PER BELMONT BY-LAWS 1.4 DEFINITIONS AND ABBREVIATIONS, **STORY** IS THAT PORTION OF A BUILDING THAT IS NOT A CELLAR & CELLAR IS A PORTION OF A BUILDING PARTIALLY UNDERGROUND, HAVING 60% OR MORE OF ITS CLEAR HEIGHT BELOW GRADE.
  - PER SURVEY CALCULATION (SEE ENCLOSED) BASEMENT IS 55.1% UNDERGROUND, AND SO CONSIDERED A STORY.
  - THIS RESULTS IN A NONCONFORMING 3 1/2 STORIES BUILDING HEIGHT AND A NEED FOR A SPECIAL PERMIT TO CONSTRUCT A MASTER BEDROOM ADDITION.
- PROPOSED ADDITION COMPLIES WITH ALL OTHER ZONING REQUIREMENTS.

GENERAL NOTES

- THE CONTRACTOR IS RESPONSIBLE TO OBTAIN ALL REQUIRED STATE AND LOCAL BUILDING PERMITS.
- ALL WORK IS TO BE COMPLETED IN ACCORDANCE WITH THE DRAWINGS AND SPECIFICATIONS. ALL WORK SHALL CONFORM WITH THE NINTH EDITION OF MASSACHUSETTS STATE BUILDING CODE, THE NATIONAL ELECTRICAL CODE AND ALL OTHER APPLICABLE CODES.
- IF ANY WORK SHOWN IS UNCLER OR AMBIGUOUS, CONTACT THE OWNER BEFORE PROCEEDING WITH THAT ASPECT OF THE WORK.
- ALL DIMENSIONS ARE TO ROUGH FRAMING UNLESS NOTED OTHERWISE.
- THE DRAWINGS HAVE BEEN COMPILED FROM THE BEST AVAILABLE INFORMATION AND ARE NOT INTENDED TO LIMIT THE SCOPE OF WORK.
- "M-" DESIGNATES AN APPROXIMATE MEASUREMENT AND CANNOT BE USED FOR FRAMING LAYOUT.
- IN NO CASE SHALL WORKING DIMENSIONS BE SCALED FROM PLANS, SECTIONS OR DETAILS ON DRAWINGS.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD. ALL DIMENSIONS WITH THE NOTE "V.I.F." ARE TO BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO COMMENCING WITH FRAMING. CONTRACTOR TO NOTIFY ARCHITECT OF ANY DIMENSIONAL DISCREPANCY PRIOR TO COMMENCING WITH FRAMING.
- THE CONTRACTOR & ALL SUBCONTRACTORS SHALL FIELD VERIFY THE EXIST'G BUILDING & SITE CONDITIONS PRIOR TO COMMENCING WORK. CONTRACTOR SHALL ADVISE THE ARCHITECT IMMEDIATELY OF ANY FIELD CONDITIONS WHICH MAY CAUSE DISCREPANCIES IN THE WORK SHOWN. THE CONTRACTOR IS RESPONSIBLE FOR CORRECTING ANY AND ALL DISCREPANCIES FOUND AFTER THE WORK HAS BEGUN, AT NO ADDITIONAL EXPENSE TO THE OWNER.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL WORK INDICATED OR REFERRED ON THESE CONSTRUCTION DOCUMENTS UNLESS SPECIFICALLY NOTED "BY OTHERS" AND/OR "N.I.C.". THE CONTRACTOR IS ALSO RESPONSIBLE TO PROVIDE LABOR, MATERIALS, TRANSPORTATION AND EQUIPMENT REQUIRED TO COMPLETELY EXECUTE THE COMPLETE WORK DESCRIBED, OR AS OTHERWISE REQUIRED.
- THE CONTRACTOR IS TO SCHEDULE AND COORDINATE THE WORK OF ALL SUBCONTRACTORS AS REQUIRED TO KEEP THE WORK PROCEEDING ON SCHEDULE. THE CONTRACTOR SHALL WORK CONSISTENTLY WITHOUT INTERRUPTION OR DELAY.
- THE ARCHITECT'S CONSTRUCTION DOCUMENTS, INCLUDING THESE NOTES, SHALL BE PART OF THE CONSTRUCTION CONTRACT BETWEEN THE OWNER AND CONTRACTOR FOR THE IMPROVEMENTS. THE PROPOSED CHANGES TO SCOPE, LAYOUT, MATERIAL, EQUIPMENT AND ALL OTHER PROJECT ELEMENTS MUST BE APPROVED IN WRITING BY THE ARCHITECT AND OWNER.
- THE CONTRACTOR IS REQUIRED TO CARRY AND MAINTAIN THE NECESSARY LIABILITY INSURANCE, AMOUNT AS REQUIRED BY THE OWNER.
- THE CONTRACTOR AND ALL SUBCONTRACTORS SHALL BE SPECIFICALLY EXPERIENCED IN EACH WORK TASK REQUIRED FOR THIS PROJECT. ALL WORK IS TO BE PERFORMED TO MEET INDUSTRY WORKMANSHIP AND QUALITY OF CONSTRUCTION ISSUES.
- THE CONTRACTOR IS TO PROVIDE ONGOING SUPERVISION AND FIELD DIRECTION FOR ALL WORK IN CONNECTION WITH THIS PROJECT. THE SUPERINTENDENT WILL MEET WITH THE ARCHITECT AND OWNER PERIODICALLY ON SITE TO REPORT ON CONSTRUCTION PROGRESS, RESPOND TO QUESTIONS AND RECEIVE DIRECTION.
- ANY CONFLICTS, UNFORSEEN CONDITIONS, OR DISCREPANCIES WHICH ARISE DURING CONSTRUCTION ARE TO BE BROUGHT IMMEDIATELY TO THE ATTENTION OF THE ARCHITECT SO THAT A TIMELY RESOLUTION CAN BE ACHIEVED. NO FIELD REVISIONS OR DEVIATION FROM THE CONSTRUCTION DOCUMENTS WITHOUT PRIOR APPROVAL FROM THE ARCHITECT IS PERMITTED. ANY WORK EXECUTED IN THIS MANNER SHALL BE ENTIRELY THE CONTRACTOR'S RESPONSIBILITY AND HIS/HER RISK.
- FOR THE DURATION OF THE CONSTRUCTION PERIOD THE CONTRACTOR SHALL KEEP THE WORK AREA SECURED WHEN UNATTENDED.
- THE ARCHITECT WILL IN NO WAY BE RESPONSIBLE FOR HOW FIELD WORK PERFORMED, SAFETY IN, ON OR ABOUT THE JOB SITE, METHODS OF PERFORMANCE OR TIMELINESS OF PERFORMANCE OF WORK.
- THE CONTRACTOR SHALL CAREFULLY STUDY AND COMPARE CONTRACT DOCUMENTS AND SHALL REPORT TO THE ARCHITECT ANY ERRORS OR OMISSIONS HE MAY DISCOVER.

PROJECT TEAM

ARCHITECT	DOMA HOMES
STRUCTURAL ENGINEER	STRUCTURAL INTEGRITY ENGINEERING GROUP, INC.
GENERAL CONTRACTOR	T.B.D.

DRAWING LIST

RELEASE DATE: 12-10-20

SHEET	TITLE	REV. DATE
A-0	Cover Sheet	12-10-20
A-1.01	Basement Plan	12-10-20
A-1.02	First Floor Plan	
A-1.03	Second Floor Plan	12-10-20
A-1.04	Roof Plan	
A-2.01	E & S Elevations	12-10-20
A-2.02	W Elevation	12-10-20
A-3.01	Wall Section	
A-6.01	Door & Window Schedules	
E-1.01	Basement Electrical Plan	
E-1.02	First Floor Electrical Plan	
E-1.03	Second Floor Electrical Plan	
S-1.01	Second Floor Framing Plan	
S-1.02	Attic Floor Framing Plan	
S-1.03	Roof Framing Plan	
S-1.04	Structural Notes & Details	
D-1.01	Basement/ Foundation Demolition Plan	
D-1.02	Second Floor Demolition Plan	
AB-1.01	As-built Basement Floor Plan	
AB-1.02	As-built First Floor Plan	
AB-1.03	As-built Second Floor Plan	
AB-1.04	As-built Roof Plan	
AB-2.01	As-built E & S Elevations	12-10-20
AB-2.02	As-built W Elevation	12-10-20



Addition & Alterations to:

The  
COLEMAN  
RESIDENCE

26 GEORGE ST  
Belmont, MA 02478

THE INFORMATION CONTAINED IN THESE CONSTRUCTION DOCUMENTS IS FOR THE EXCLUSIVE USE OF THE CLIENT IN CONFORMANCE WITH THE BUILDING DESIGNATED IN THE DOCUMENTS. THE EXISTING SITE CONDITIONS HAVE BEEN BASED UPON VISUAL AND PHOTOGRAPHIC INFORMATION AND IS NOT AN IN-DEPTH INVESTIGATION INTO THE EXISTING SITE CONDITIONS. THE ARCHITECT HAS ATTEMPTED TO OBTAIN THE MOST ACCURATE SET OF CONSTRUCTION DOCUMENTS AS POSSIBLE FOR THE CONSTRUCTION OF THE BUILDING BASED UPON THE OWNER'S REQUIREMENTS AND THAT OF STATE AND LOCAL CODES. IT SHALL BE THE OWNER'S RESPONSIBILITY TO ACQUIRE IN-DEPTH INVESTIGATIONS AND TESTING WHERE UNKNOWN AND REGION CONSTRUCTION BEING AVAILABLE. IF THE OWNER DESIRES OR REQUESTS A PART OF ANY PART OF THE PROJECT OR NON-COMPLIANCE WITH THE CONSTRUCTION DOCUMENTS, PROPER WRITTEN NOTICE SHALL BE GIVEN BY THE OWNER TO THE ARCHITECT. THE ARCHITECT SHALL HAVE NO RESPONSIBILITY IN RESPECT TO THE CONSTRUCTION OF THE BUILDING UNLESS THE OWNER AND THE ARCHITECT ENTER INTO A SEPARATE AGREEMENT FOR ADDITIONAL SERVICES FOR ADMINISTRATION OF THE CONSTRUCTION CONTRACT AND SITE INSPECTION DURING CONSTRUCTION.

ISSUES / REVISIONS

Date	Description
20 OCT 20	PERMIT SET
10 DEC 20	ZONING REVIEW SET

© DOMA HOMES, 2020 All rights reserved.  
This drawing cannot be reproduced without permission.

DRAWING TITLE

Basement/ Foundation  
Floor Plan

SCALE

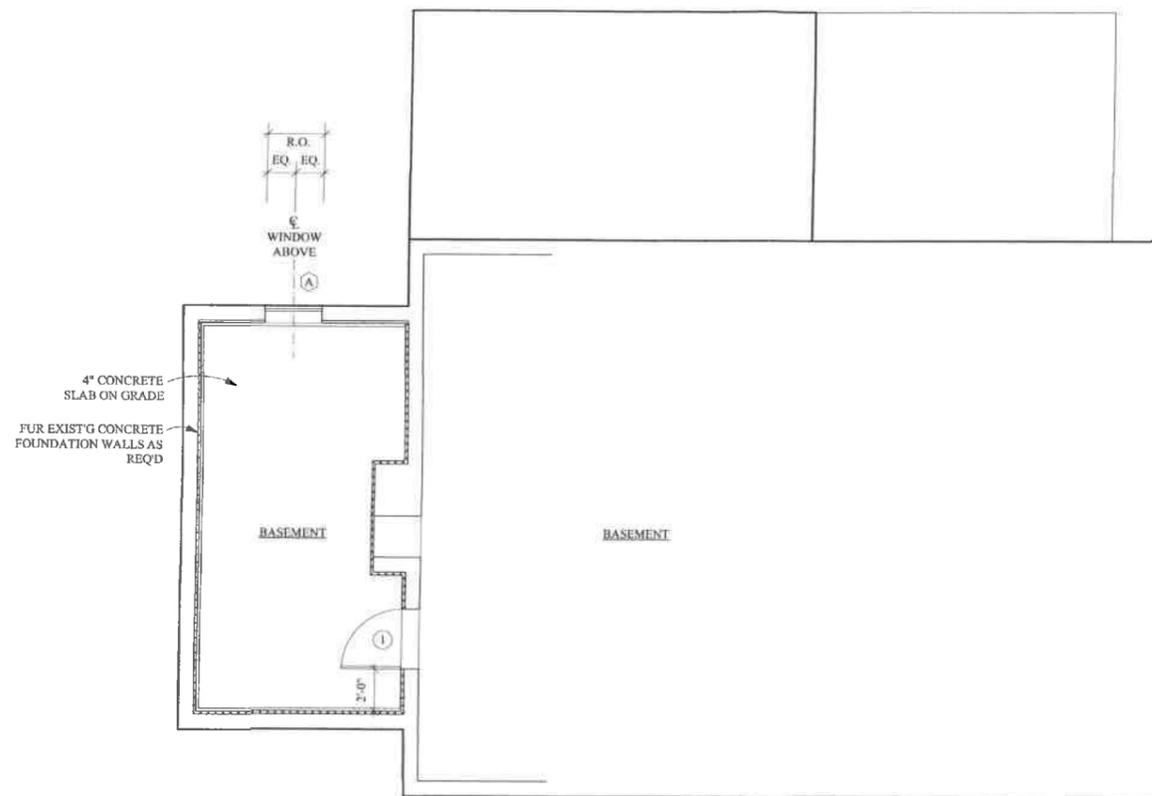
1/8" = 1'-0"

DATE

December 10, 2020

SHEET NUMBER

A-1.01



1 BASEMENT/ FOUNDATION FLOOR PLAN  
SCALE: 1/8" = 1'-0"



WALL LEGEND	
	EXISTING WALL TO REMAIN
	NEW STUD WALL



The  
COLEMAN  
RESIDENCE

26 GEORGE ST  
Belmont, MA 02478

THE INFORMATION CONTAINED IN THESE CONSTRUCTION DOCUMENTS IS FOR THE EXCLUSIVE USE OF THE CLIENT IN CONNECTION WITH THE BUILDING DESIGNATED IN THE DOCUMENTS. THE DOCUMENTS HAVE BEEN PREPARED BY VISUAL AND PHOTOGRAPHIC INFORMATION AND IS NOT AN IN-DEPTH INVESTIGATION INTO THE EXISTING SITE CONDITIONS. THE ARCHITECT HAS ATTEMPTED TO OBTAIN AN ACCURATE SET OF CONSTRUCTION DOCUMENTS AS POSSIBLE FOR THE CONSTRUCTION OF THE BUILDING BASED UPON THE OWNER'S REPRESENTATIONS AND THAT OF STATE AND LOCAL CODES. IT SHALL BE THE OWNER'S RESPONSIBILITY TO OBTAIN IN-DEPTH INVESTIGATIONS AND TESTING WHEN UNKNOWN AND NECESSARY CONSTRUCTION BECOMES AVAILABLE. IF THE OWNER OBSERVES OR BECOMES AWARE OF ANY FACT OR DEFECT IN THE PROJECT OR NON-COMFORMANCE WITH THE CONSTRUCTION DOCUMENTS, PROMPT WRITTEN NOTICE SHALL BE GIVEN BY THE OWNER TO THE ARCHITECT. THE ARCHITECT SHALL HAVE NO RESPONSIBILITY IN RESPECT TO THE CONSTRUCTION OF THE BUILDING, UNLESS THE OWNER AND THE ARCHITECT ENTER INTO A SEPARATE AGREEMENT FOR ADDITIONAL SERVICES FOR ADMINISTRATION OF THE CONSTRUCTION CONTRACT AND SITE INSPECTION DURING CONSTRUCTION.

ISSUES / REVISIONS

Date	Description
20 OCT 20	PERMIT SET
10 DEC 20	ZONING REVIEW SET

© DOMA HOMES, 2020 All rights reserved.  
This drawing cannot be reproduced without permission.

DRAWING TITLE

Second Floor Plan

SCALE

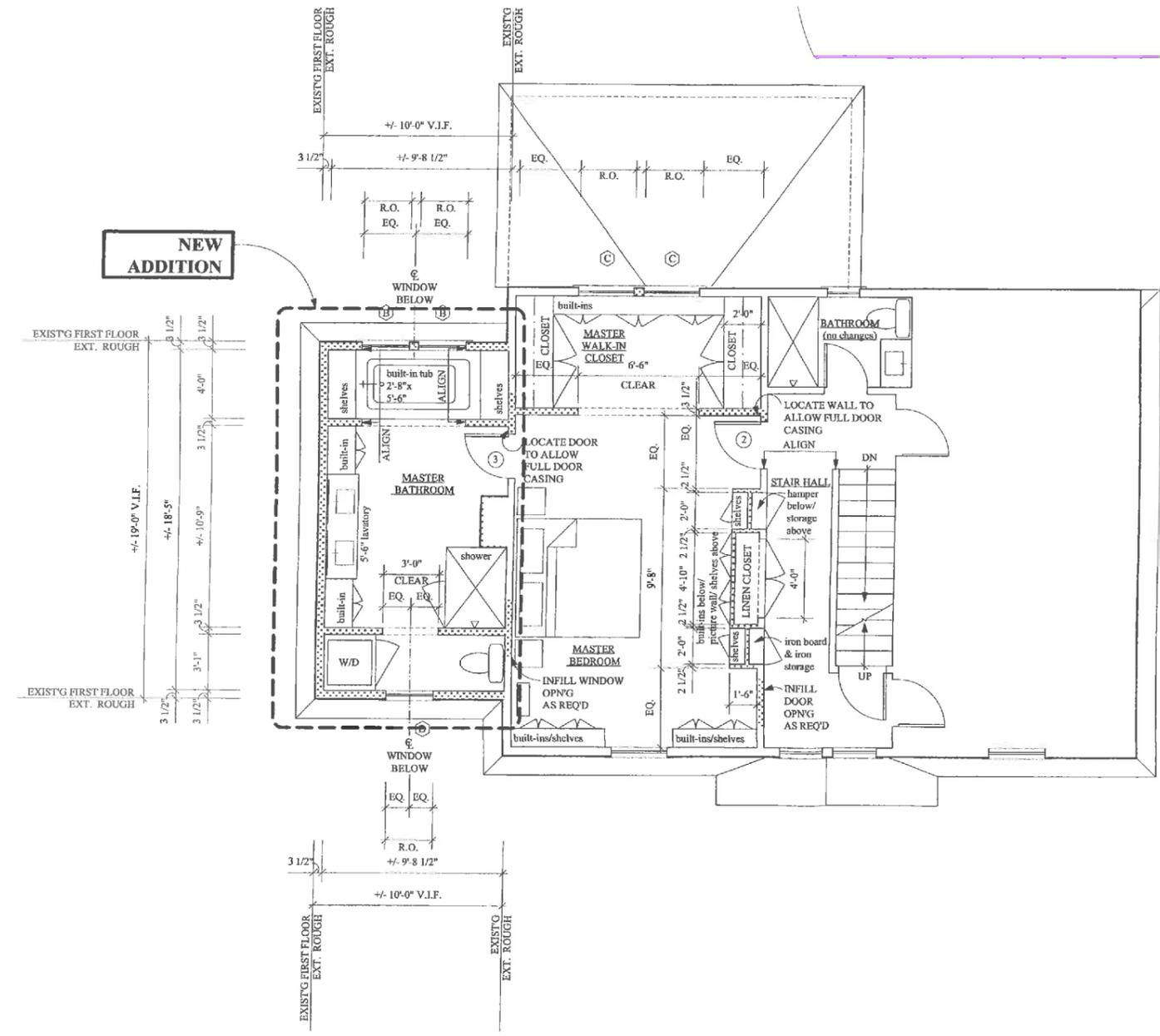
1/8" = 1'-0"

DATE

December 10, 2020

SHEET NUMBER

A-1.03



1 SECOND FLOOR PLAN  
SCALE: 1/8" = 1'-0"



WALL LEGEND	
	EXISTING WALL TO REMAIN
	NEW STUD WALL



Addition & Alterations to:

The  
COLEMAN  
RESIDENCE

26 GEORGE ST  
Belmont, MA 02478

THE INFORMATION CONTAINED IN THESE CONSTRUCTION DOCUMENTS IS FOR THE EXCLUSIVE USE OF THE CLIENT IN CONNECTION WITH THE BUILDING DESCRIBED IN THE DOCUMENTS. THE DESIGN AND CONSTRUCTION HAVE BEEN BASED UPON VISUAL AND PHOTOGRAPHIC INFORMATION AND IS NOT AN IN-DEPTH INVESTIGATION INTO THE EXISTING SITE CONDITIONS. THE ARCHITECT HAS ATTEMPTED TO OBTAIN AS ACCURATE SET OF CONSTRUCTION DOCUMENTS AS POSSIBLE FOR THE CONSTRUCTION OF THE BUILDING BASED UPON THE OWNER'S REQUIREMENTS AND THAT OF STATE AND LOCAL CODES. IT SHALL BE THE OWNER'S RESPONSIBILITY TO ACQUIRE IN-DEPTH INVESTIGATIONS AND TESTS WHEN UNKNOWN AND HIDDEN CONDITIONS BECOME AVAILABLE. IF THE OWNER OBSERVES OR BECOMES AWARE OF ANY FAULT OR DEFECT IN THIS PROJECT OR NON CONFORMANCE WITH THE CONSTRUCTION DOCUMENTS, PLEASE WRITE THEM UP AND SEND TO THE OWNER TO THE ARCHITECT. THE ARCHITECT SHALL HAVE NO RESPONSIBILITY IN RESPECT TO THE CONSTRUCTION OF THE BUILDING UNLESS THE OWNER AND THE ARCHITECT ENTER INTO A SEPARATE AGREEMENT FOR ADDITIONAL SERVICES FOR ADMINISTRATION OF THE CONSTRUCTION CONTRACT AND SITE INSPECTION DURING CONSTRUCTION.

ISSUES / REVISIONS

Date	Description
20 OCT 20	PERMIT SET
10 DEC 20	ZONING REVIEW SET

© DOMA HOMES, 2020 All rights reserved.  
This drawing cannot be reproduced without permission.

DRAWING TITLE

East & South Elevations

SCALE

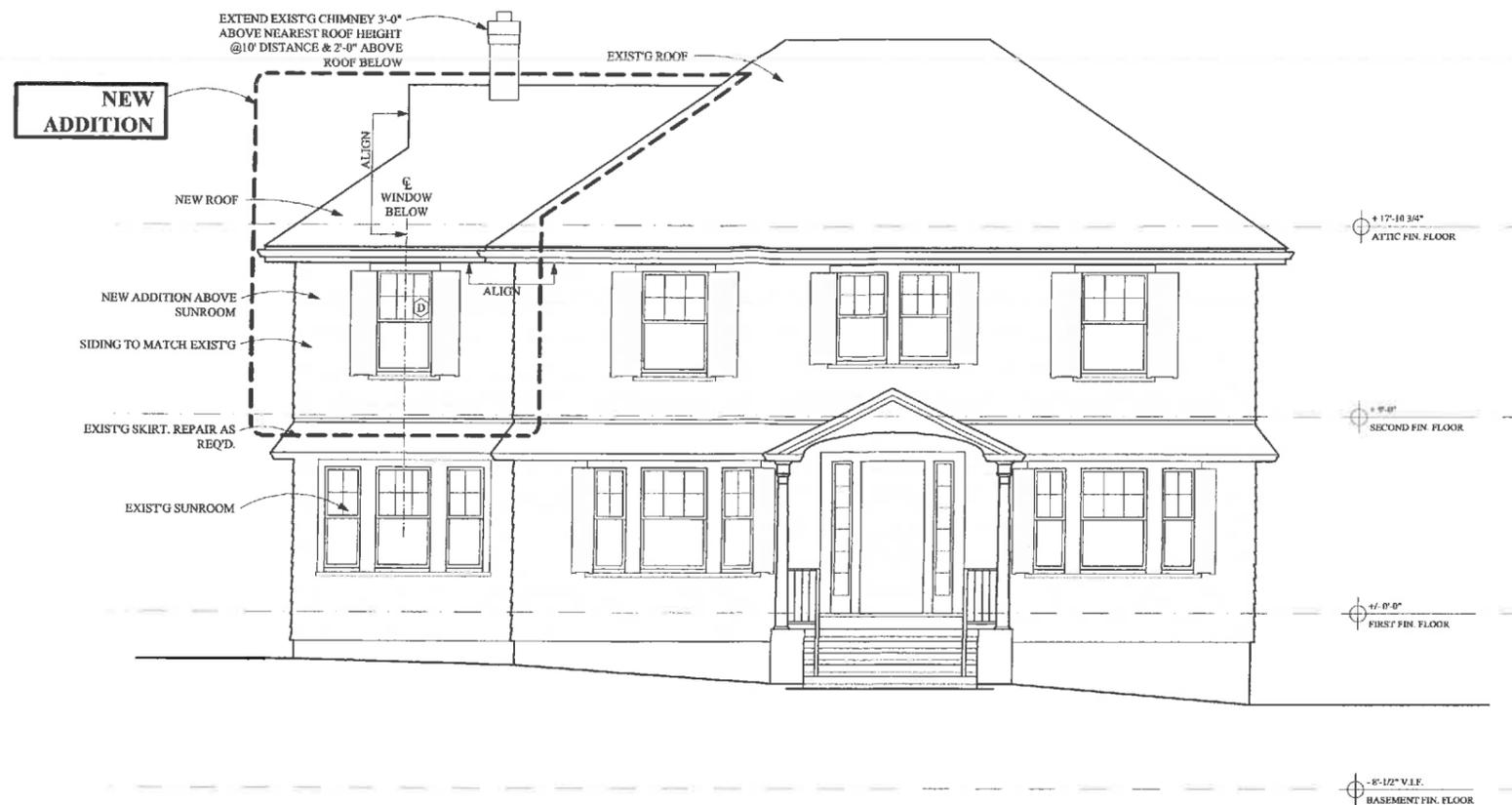
1/8" = 1'-0"

DATE

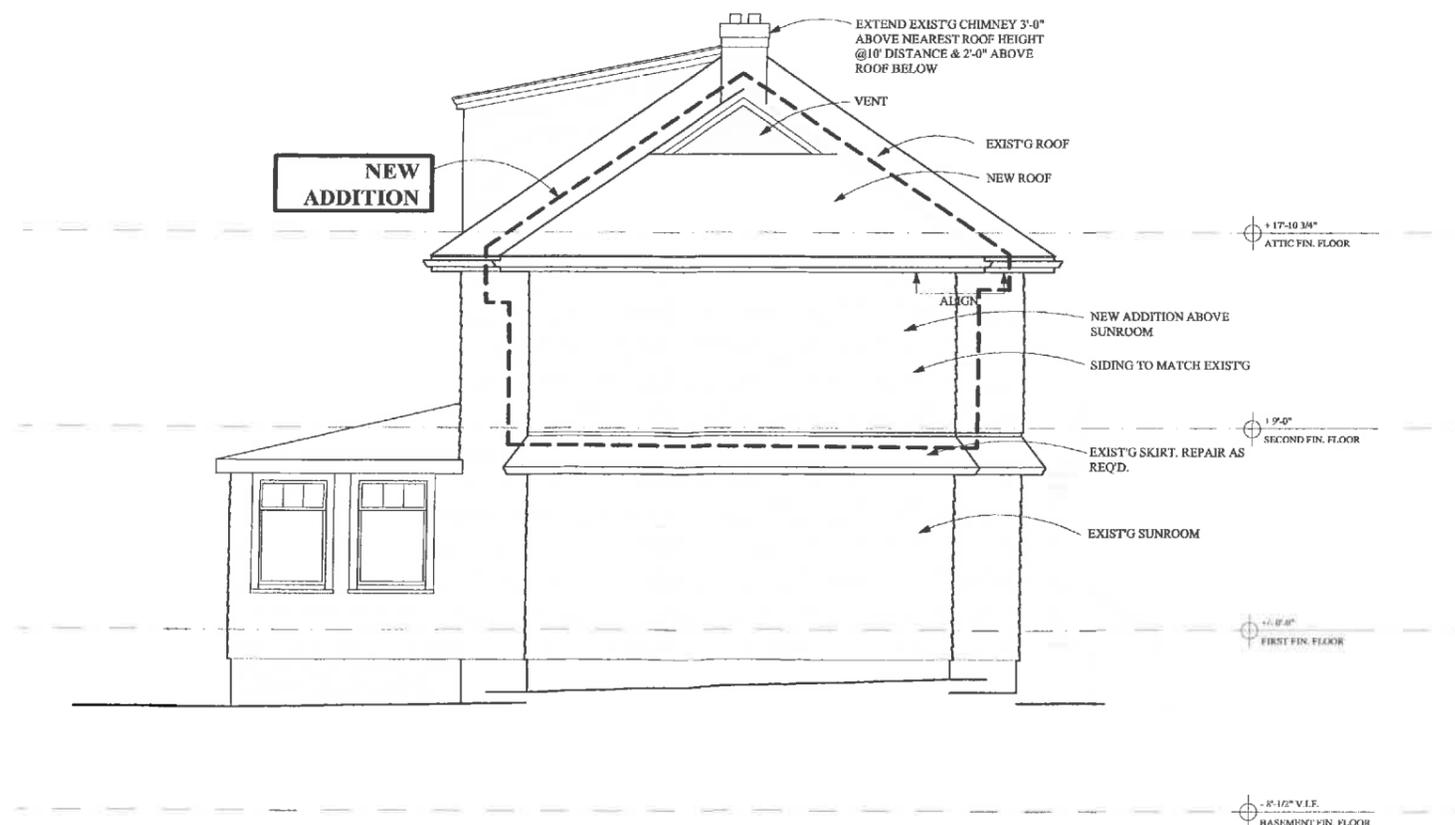
December 10, 2020

SHEET NUMBER

A-2.01



1 EAST ELEVATION  
SCALE: 1/8" = 1'-0"



2 SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"



36 Crescent Road, Belmont, MA 02478

t: 781-632-1659

www.domahomes.net

STRUCTURAL:

STRUCTURAL INTEGRITY  
ENGINEERING GROUP, INC.

32 Cotling Street, Medford, MA 02155

t: 781-391-3022

PROJECT

Addition & Alterations to:

The  
COLEMAN  
RESIDENCE

26 GEORGE ST  
Belmont, MA 02478

THE INFORMATION CONTAINED IN THESE CONSTRUCTION DOCUMENTS IS FOR THE EXCLUSIVE USE OF THE CLIENT IN CONSIDERATION OF THE BUILDING DESIGNATED IN THE DOCUMENTS. THE DOCUMENTS HAVE BEEN BASED UPON VISUAL AND PHOTOGRAPHIC INFORMATION AND IS NOT AN IN-DEPTH INVESTIGATION INTO THE EXISTING SITE CONDITIONS. THE ARCHITECT HAS ATTEMPTED TO OBTAIN THE MOST ACCURATE SET OF CONSTRUCTION DOCUMENTS AS POSSIBLE FOR THE CONSTRUCTION OF THE BUILDING BASED UPON THE ORDINARY REQUIREMENTS AND THAT OF STATE AND LOCAL CODES. IT SHALL BE THE OWNER'S RESPONSIBILITY TO ACQUIRE IN-DEPTH INVESTIGATIONS AND TESTING WHEN UNKNOWN AND HIDDEN CONDITIONS MAY BE AVAILABLE. IF THE OWNER OBSERVES OR BECOMES AWARE OF ANY PART OR DEFECT IN THE PROJECT OR NON-COMFORMANCE WITH THE CONSTRUCTION PROGRAMS, PROPER WRITTEN NOTICE SHALL BE GIVEN BY THE OWNER TO THE ARCHITECT. THE ARCHITECT SHALL HAVE NO RESPONSIBILITY IN RESPECT TO THE CONSTRUCTION OF THE BUILDING UNLESS THE OWNER AND THE ARCHITECT ENTER INTO A SEPARATE AGREEMENT FOR ADDITIONAL SERVICES FOR ADMINISTRATION OF THE CONSTRUCTION CONTRACT AND SITE INSPECTION DURING CONSTRUCTION.

ISSUES / REVISIONS

Date	Description
20 OCT 20	PERMIT SET
10 DEC 20	ZONING REVIEW SET

© DOMA HOMES, 2020 All rights reserved.  
This drawing cannot be reproduced without permission.

DRAWING TITLE

West Elevation

SCALE

1/8" = 1'-0"

DATE

December 10, 2020

SHEET NUMBER

A-2.02



1 WEST ELEVATION  
SCALE: 1/8" = 1'-0"



PROJECT

Addition & Alterations to:

The  
COLEMAN  
RESIDENCE

26 GEORGE ST  
Belmont, MA 02478

THESE EXISTING PLANS AND/OR PHOTOGRAPHS ARE A REPRESENTATION OF THE EXISTING CONDITIONS OF THE BUILDING. THESE DRAWINGS/PHOTOGRAPHS ARE FOR THE GENERAL CHARACTERISTICS OF THE EXISTING CONDITIONS AND NOT AN EXHAUSTIVE INVESTIGATION INTO ACTUAL EXISTING CONDITIONS. THIS INFORMATION IS FOR COORDINATION OF THE WORK TO BE PERFORMED BY THE GENERAL CONTRACTOR. THE ARCHITECT BEARS NO RESPONSIBILITY FOR THE ACCURACY OF THIS INFORMATION. THE GENERAL CONTRACTOR SHALL EXAMINE THESE CONDITIONS IN THE FIELD PRIOR TO CONSTRUCTION AND BECOME FAMILIAR WITH THE WORK. AFTER EXAMINATION OF THE EXISTING CONDITIONS, THE GENERAL CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE EXISTING CONDITIONS AND THE NEW PROPOSED WORK. ALL WORK CONSTRUCTED SHALL BE NOTICED THAT DOES NOT CONFORM TO THE DESIGN OR LAYOUT OF THE PLANS AND DIMENSIONS SHALL BE REPLACED BY THE GENERAL CONTRACTOR.

ISSUES / REVISIONS

Date	Description
30 JUN 20	RELEASE
10 DEC 20	ZONING REVIEW SET

© DOMA HOMES, 2020. All rights reserved.  
This drawing cannot be reproduced without permission.

DRAWING TITLE

As-built East & South  
Elevations

SCALE

1/8" = 1'-0"

DATE

December 10, 2020

SHEET NUMBER

AB-2.01



1 AS-BUILT EAST ELEVATION  
SCALE: 1/8" = 1'-0"



2 AS-BUILT SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"

DOMA HOMES



36 Crescent Road, Belmont, MA 02478

t: 781.632.1659

www.domahomes.net

PROJECT

Addition & Alterations to:

The  
COLEMAN  
RESIDENCE

26 GEORGE ST  
Belmont, MA 02478

THESE EXISTING PLANS AND/OR PHOTOGRAPHS ARE A REPRESENTATION OF THE EXISTING CONDITIONS OF THE BUILDING. THESE DRAWINGS/PHOTOGRAPHS ARE FOR THE GENERAL CHARACTERISTICS OF THE EXISTING CONDITIONS AND NOT AN EXHAUSTIVE INVESTIGATION INTO ACTUAL HIDDEN CONDITIONS. THE INFORMATION IS FOR INFORMATION OF THE WORK TO BE PERFORMED BY THE GENERAL CONTRACTOR. THE ARCHITECT BEARS NO RESPONSIBILITY FOR THE ACCURACY OF THIS INFORMATION. THE GENERAL CONTRACTOR SHALL EXAMINE THESE CONDITIONS IN THE FIELD PRIOR TO CONSTRUCTION AND INFORM FIELDS WITH THIS ISSUE. AFTER COMPLETION OF THE EXISTING CONDITIONS, THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND LOCATIONS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE EXISTING CONDITIONS AND THE NEW PROPOSED WORK. ALL WORK CONSTRUCTED SHALL BE INDICATED BY DASHED LINES NOT CONFORM TO THE THEORY OR LAYOUT OF THE PLANS AND DIMENSIONS SHALL BE REPLACED BY THE GENERAL CONTRACTOR.

ISSUES / REVISIONS

Date	Description
30 JUN 20	RELEASE
10 DEC 20	ZONING REVIEW SET

© DOMA HOMES, 2020. All rights reserved.  
This drawing cannot be reproduced without permission.

DRAWING TITLE

As-built West Elevation

SCALE

1/8" = 1'-0"

DATE

December 10, 2020

SHEET NUMBER

AB-2.02



1 AS-BUILT WEST ELEVATION  
SCALE: 1/8" = 1'-0"