

RECEIVED  
TOWN CLERK  
BELMONT, MA

CASE NO. 20-07

2020 FEB -4 PM 2:54

NOTICE OF PUBLIC HEARING BY THE  
ZONING BOARD OF APPEALS

ON APPLICATION FOR 1 SPECIAL PERMIT

Notice is hereby given that the Belmont Zoning Board of Appeals will hold a public hearing on Monday, March 2, 2020 at 7:00 PM in the Wellington School Community Room, 121 Orchard Street, to consider the application of William Horne and Andrea Dandridge for one (1) Special Permit under Section 1.5 to construct a Second Story Addition at 79 School Street located in a Single Residence C (SRC) zoning district. Special Permit, 1.- §4.2 of the By-Law requires a minimum side setback of 10.0', the existing and proposed side setback is 7.7'.

ZONING BOARD OF APPEALS



Town of Belmont  
Zoning Board of Appeals

RECEIVED  
TOWN CLERK  
BELMONT, MA

2020 FEB -4 PM 2:53

**APPLICATION FOR A SPECIAL PERMIT**

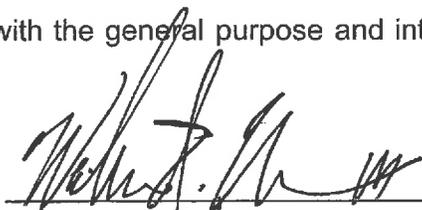
Date: 1/3/20

Zoning Board of Appeals  
Homer Municipal Building  
19 Moore Street  
Belmont, MA 02478

To Whom It May Concern:

Pursuant to the provisions of Massachusetts General Laws, Chapter 40A, Section 9, as amended, and the Zoning By-Laws of the Town of Belmont, I/we the undersigned, being the owner(s) of a certain parcel of land (with the buildings thereon) situated on 79 SCHOOL Street/Road, hereby apply to your Board for a **SPECIAL PERMIT** for the erection or alteration on said premises or the use thereof under the applicable Section of the Zoning By-Law of said Town for CONSTRUCT A SECOND FLOOR ADDITION

on the ground that the same will be in harmony with the general purpose and intent of said Zoning By-Law.

Signature of Petitioner   
Print Name WILLIAM HORNE  
Address 79 SCHOOL ST  
BELMONT, MA 02478  
Daytime Telephone Number 017-306-5219



OFFICE OF COMMUNITY DEVELOPMENT  
TOWN OF BELMONT  
19 Moore Street  
Homer Municipal Building  
Belmont, Massachusetts 02478-0900

Telephone: (617) 993-2650 Fax: (617) 993-2651

Building Division  
(617) 993-2664  
Engineering Division  
(617) 993-2665  
Planning Division  
(617) 993-2666

June 24, 2019

William Horne and Andrea Dandridge  
79 School Street  
Belmont, MA 02478

RE: Denial to Construct a Second Story Addition

Dear Mr. Horne and Ms. Dandridge;

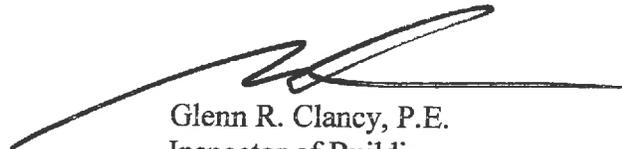
The Office of Community Development is in receipt of your building permit application for your proposal to construct a second story addition located at 79 School Street in a Single Residence C Zoning District.

Your application has been denied because it does not comply with the current Town of Belmont Zoning By-Law. More specifically, Section 4.2.2 of the Zoning By-Law Dimensional Regulations allows a minimum side setback of 10.0'.

1. The existing and the proposed side setback is 7.7'.

You may alter your plans to conform to the current Town of Belmont Zoning By-Law and resubmit a building permit application, or you may request one (1) Special Permit from the Zoning Board of Appeals. If you choose this option, please contact the Office of Community Development to schedule an appointment with Ara Yogurtian, Assistant Director, at (617) 993-2650 in order to begin the process.

Sincerely,



Glenn R. Clancy, P.E.  
Inspector of Buildings

79 School Street Construction Project – Special Permit Statement of Intent

January 17 2020

We are a growing family of two adults, two children and two dogs, and we need more than one full bathroom! In order to do so, we are proposing a modest addition (less than 200 sf) above the single-story part of our house, along with a similar interior renovation below. When complete, we'll have two bathrooms upstairs and one downstairs for grandparents and/or visitors.

While this addition requires a special permit, please note that we are not expanding the envelope of our house. Specific to the second floor exterior elevations, we intend to match the current character of the existing house by introducing a more modestly pitched roofline than currently exists, which we hope will look as though it's always been part of the original home.

We are sensitive to the needs and desires of our neighbors, as such we are confident that this project will not be detrimental to the neighborhood in any way.

Sincerely,

A handwritten signature in black ink, appearing to read 'William E. Horne III', written in a cursive style.

William E. Horne III



# Zoning Compliance Check List

(Registered Land Surveyor)

Property Address: 79 SCHOOL ST

Zone: SR C

Surveyor Signature and Stamp: Bruce Bradford

Date: 8/9/19

	REQUIRED	EXISTING	PROPOSED
Lot Area	9000 SF	6391 SF	6391 SF
Lot Frontage	75' MIN	83.76'	83.76'
Floor Area Ratio			
Lot Coverage	25% MAX	18.9%	18.9%
Open Space	50% MIN	65%	65%
Front Setback	25' MIN	15.5'	15.5'
Side Setback	10' MIN	7.7'	7.7'
Side Setback	10' MIN	11.3'	11.3'
Rear Setback	30' MIN	96.6'	96.6'
Building Height	36' MAX	29.5'	29.5'
Stories	2-5 MAX	2	2
1/2 Story Calculation			

**NOTES:**

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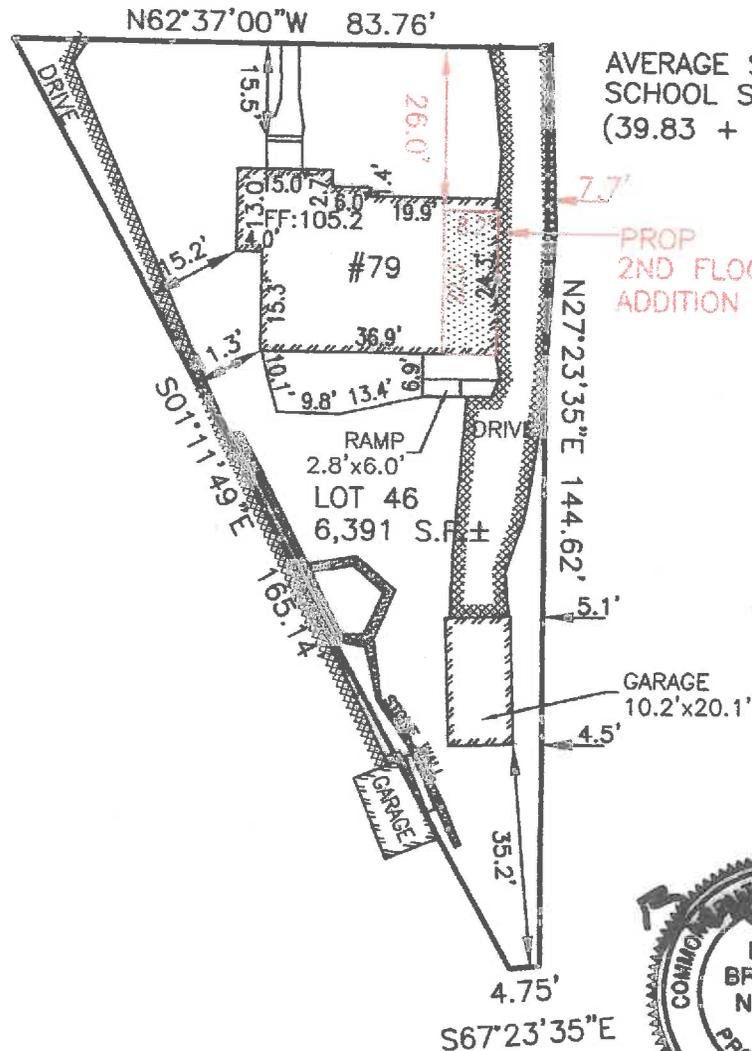


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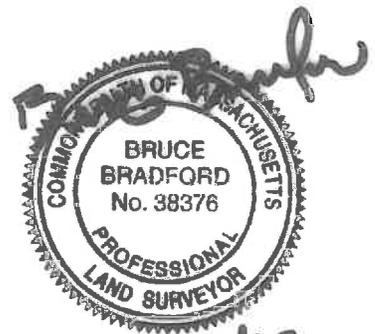
# SCHOOL STREET



AVERAGE SETBACK  
SCHOOL STREET  
 $(39.83 + 16) / 2 = 27.9$

PROP  
2ND FLOOR  
ADDITION

GARAGE  
10.2'x20.1'



5/29/19

## ZONING INFORMATION:

ZONE: SR-C  
DEED REFERENCE: BOOK 63870 PAGE 338  
PLAN REFERENCE: BOOK 87 PLAN 7

	EXISTING	PROPOSED	REQUIRED/ PERMITTED
LOT AREA	6,391 S.F.	6,391 S.F.	9,000 S.F. MIN.
LOT FRONTAGE	83.76'	83.76'	75' MIN.
SETBACK			
FRONT	15.5'	15.5'	25' MIN.
SIDE	7.7'	7.7'	10' MIN.
REAR	96.6'	96.6'	30' MIN.
LOT COVERAGE	18.9%	18.9%	25% MAX.
OPEN SPACE	65%	65%	50% MIN.
BUILDING HGT	29.5'	29.5'	36' MAX.
# OF STORIES	2	2	2.5 MAX.

THIS PROPERTY DOES NOT LIE WITHIN THE  
WETLANDS OR WETLANDS BUFFER ZONE.

THIS PROPERTY IS LOCATED IN ZONE X  
FIRM MAP DATED JUNE 4, 2010  
COMMUNITY PANEL NUMBER 25017C 0418 E

Owner WILLIAM HORNE & ANDREA DANDRIDGE  
Loc. House No. 79  
Lot No. LOT 46  
App. No. \_\_\_\_\_  
Date MAY 29, 2019  
Scale: 1 in. = 30 Ft.

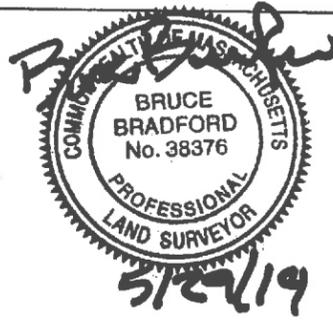
ESTABLISHED 1916  
**EMB**  
EVERETT M. BROOKS CO.  
SURVEYORS & ENGINEERS  
49 LEXINGTON STREET  
WEST NEWTON, MA 02465  
  
(617) 527-8750  
embrooks@embrooks.com

## PLAN OF LAND IN BELMONT, MA

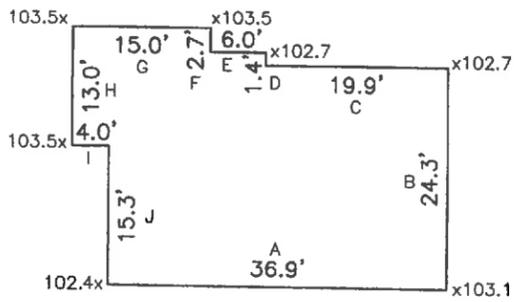
79 SCHOOL STREET  
PROPOSED ADDITION

SCALE: 1 IN. = 30 FT.  
DATE: MAY 29, 2019  
DRAWN: MF  
CHECK: BB

PROJECT NO. 25051



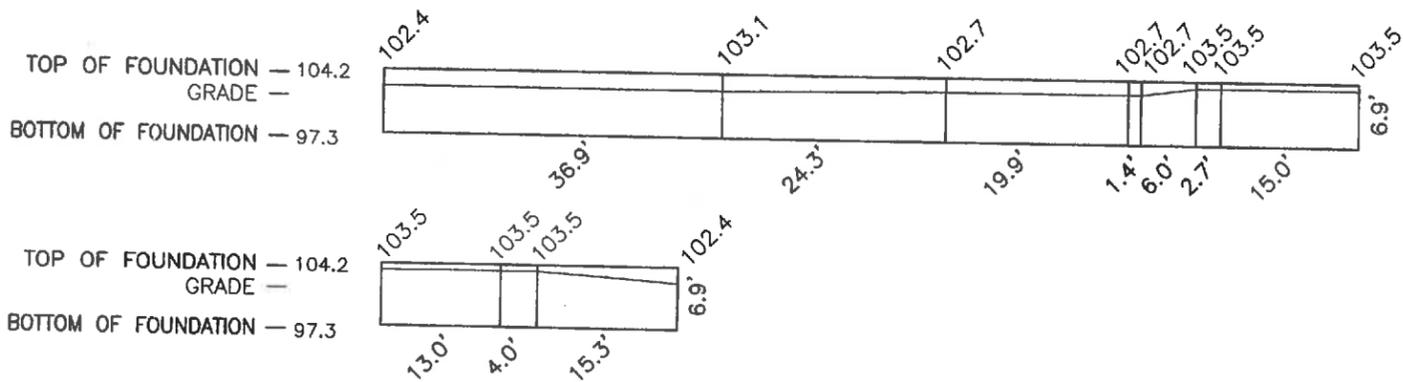
EVERETT M. BROOKS CO.  
 SURVEYORS & ENGINEERS  
 49 LEXINGTON STREET  
 WEST NEWTON, MA 02465  
 (617) 527-8750  
 INFO@EVERETTBROOKS.COM



AVERAGE GRADE: 103.0

79 SCHOOL STREET  
 PROPOSED ADDITION

SCALE: 1 IN. = 20 FT.  
 DATE: MAY 29, 2019  
 PROJECT NO. 25051



TOP FOUNDATION	104.2
BOT. FOUNDATION	97.3
HEIGHT OF FOUND WALL	6.9

SEGMENT:	LENGTH (FEET)	GRADE AT START OF SEGMENT	GRADE AT END OF SEGMENT	AREA OF EXPOSED FOUND. WALL	TOTAL AREA OF FOUND. WALL
A	36.9	102.4	103.1	53.505	254.61
B	24.3	103.1	102.7	31.59	167.67
C	19.9	102.7	102.7	29.85	137.31
D	1.4	102.7	102.7	2.1	9.66
E	6.0	102.7	103.5	6.6	41.4
F	2.7	103.5	103.5	1.89	18.63
G	15.0	103.5	103.5	10.5	103.5
H	13.0	103.5	103.5	9.1	89.7
I	4.0	103.5	103.5	2.8	27.6
J	15.3	103.5	102.4	19.125	105.57

SUMS:	167.06	955.65
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$$[1 - (\text{SUM OF EXPOSED AREA}) / (\text{SUM OF SEGMENT AREA})] \times 100$$

$$[1 - (167.06 / 955.65)] \times 100$$

**82.5% THEREFORE THIS SPACE IS A CELLAR AS DEFINED IN THE ZONING BY-LAW**

Cellar - A portion of a building partially underground, having 60% or more of its clear height below grade. (see basement)

# 79 SCHOOL STREET BELMONT, MA

## ZONING REQUIREMENTS FOR SINGLE FAMILY HOUSE IN SINGLE RESIDENCE C DISTRICT

EXISTING GROSS SQUARE FOOTAGE - 2,882SF  
PROPOSED GROSS SQUARE FOOTAGE - 2,882SF

	REQUIRED	PROVIDED
MIN LOT AREA	9,000SF	6,391SF
MIN LOT FRONTAGE	75'	83.76'
MAX LOT COVERAGE	25%	18.9%
MAX BUILDING HEIGHT	36'	29'-6"
MIN FRONT YARD DEPTH	25'	15'-6"
MIN SIDE YARD	10'	7'-7"
MIN REAR YARD	30'	N/A

## INSULATION REQUIREMENTS

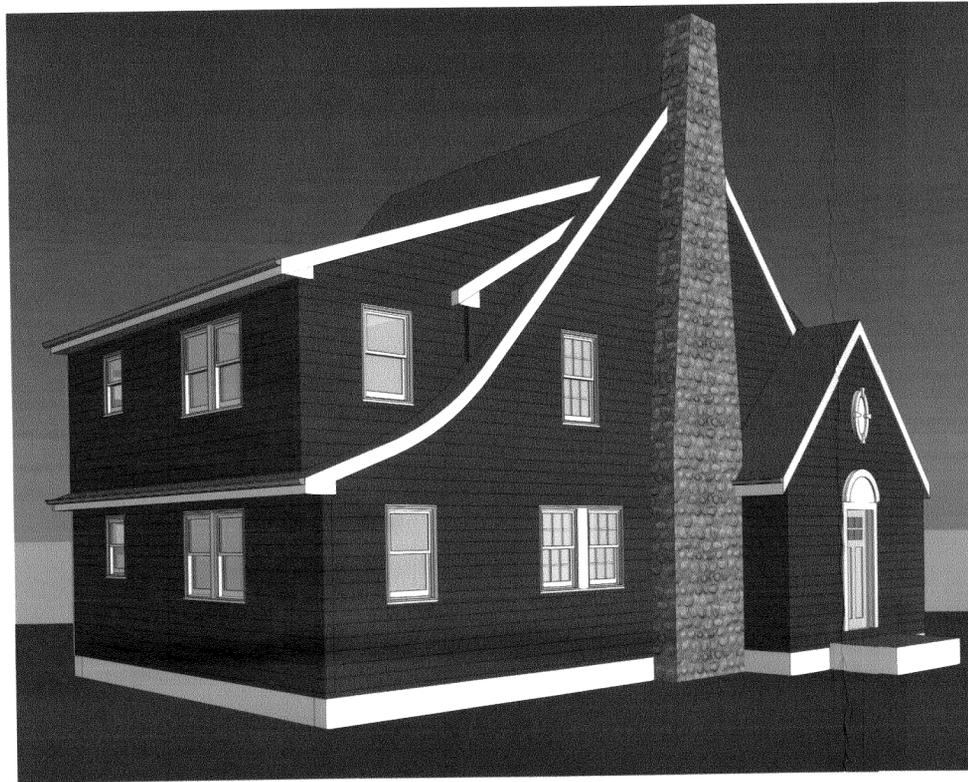
SLAB	R-10, 2" WIDE
FLOOR	R-30
CRAWL SPACE	R-10 (CONTINUOUS) / R-13 (CAVITY)
WALL	R-20 OR R-13 CAVITY + R-5 CONTINUOUS SHEATHING
ROOF	R-38

## ADOPTED CODES

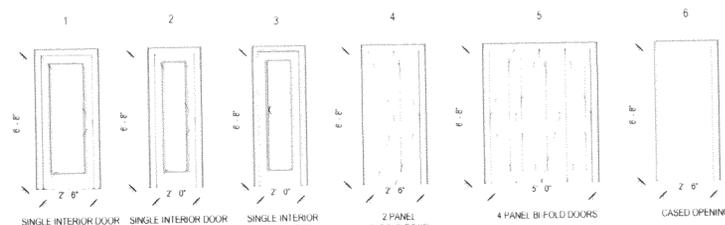
ZONING	CITY OF BELMONT ZONING BY LAWS
BUILDING	MA 780 CMR 9TH EDITION RESIDENTIAL VOLUME & MASSACHUSETTS AMENDMENTS INTERNATIONAL RESIDENTIAL CODE 2015

## GENERAL NOTES

- ALL WORK SHALL BE PERFORMED IN CONFORMANCE WITH THE FEDERAL, STATE AND LOCAL CODES AND LAWS AND WITH THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL BE BOUND TO PERFORM IN STRICT COMPLIANCE WITH MANUFACTURER'S SPECS AND INDUSTRY RECOMMENDED PROCEDURES.
- G.C. SHALL OBTAIN ALL NECESSARY PERMITS FOR THE PROJECT AND SHALL BE RESPONSIBLE FOR NOTIFYING AND COORDINATING APPROPRIATE INSPECTIONS WITH REGULATORY AGENCIES THROUGHOUT THE PROJECT. AT THE END OF THE PROJECT, THE G.C. SHALL PRESENT TO THE OWNER A FINAL INSPECTION CERTIFICATE AND THE CERTIFICATE OF OCCUPANCY.
- ALL CONDITIONS AND MEASUREMENTS SHALL BE VERIFIED AT THE HOUSE BEFORE PROCEEDING WITH THE WORK. G.C. SHALL NOTIFY ARCHITECT AND STRUCTURAL ENGINEER IMMEDIATELY IF UNFORESEEN STRUCTURAL CONDITIONS ARE ENCOUNTERED DURING DEMOLITION AND CONSTRUCTION. PROVIDE TEMPORARY SUPPORTS AND/OR SHORING AS NEEDED PENDING REVIEW BY STRUCTURAL ENGINEER PRIOR TO DEMOLITION INVESTIGATE EXISTING STRUCTURE. VERIFY THAT EXISTING STRUCTURE WILL NOT BE COMPROMISED BY ANY DEMOLITION ACTIVITY.
- G.C. SHALL BE RESPONSIBLE FOR PROPER INSTALLATION AND SERVICING OF ANY NEW SYSTEMS AND CONTINUATION OF EXISTING SYSTEMS AND SERVICES. THE G.C. SHALL EVALUATE EXISTING SYSTEMS AND RELAY THEIR CONDITION TO THE ARCHITECT. THE G.C. SHALL COORDINATE LOCATIONS, MODIFICATIONS AND INSTALLATION OF NEW WATER, SEWER AND ELECTRICAL SERVICES INTO BUILDING IF APPLICABLE.
- ALL TRADES INVOLVED WITH THE PROJECT SHALL COOPERATE WITH ONE ANOTHER. SHALL CONSCIOUSLY SAVE AND PROTECT WORK BEING PERFORMED BY OTHER TRADES AND, IN GENERAL, PROTECT CONDITIONS AT THE SITE. EXISTING CONDITIONS OR INSTALLED COMPLETED WORK WHICH HAS BEEN DAMAGED SHALL BE REPAIRED AT NO COST TO THE OWNER.
- G.C. SHALL MAINTAIN A CLEAN AND ORDERLY WORKSITE AT ALL TIMES. PROVIDE ADEQUATE DUST AND DIRT PROTECTION ON SITE FOR EXISTING AREAS. PROTECT ALL FINISHED SURFACES AGAINST DAMAGE UNTIL THE DATE OF SUBSTANTIAL COMPLETION OF WORK. THE ARCHITECT WILL, AT THIS TIME, CONDUCT A FINAL INSPECTION OF ALL WORK.
- MATERIALS, DIMENSIONS, TRIM AND GENERAL QUALITY OF WORK SHALL MATCH THE ORIGINAL PORTION OF THE EXISTING HOUSE WHERE NOT SPECIFIED OR INDICATED OTHERWISE.
- PATCH FLOORS, WALLS AND CEILINGS TO MATCH EXISTING AS REQUIRED AFTER DEMOLITION.
- G.C. SHALL COORDINATE WITH OWNER ON THE INSTALLATION OF ITEMS WHICH ARE PROVIDED BY OWNER AND TO BE INSTALLED BY G.C. (I.E. SPECIAL LIGHTING FIXTURES, PLUMBING FIXTURES, AND ARCHITECTURAL DETAILS.)
- CONTRACTOR WILL COORDINATE WITH OWNER AND ARCHITECT FOR STOCKING, REINSTALLATION AND PRESERVATION OF MATERIALS.
- AT THE COMPLETION OF THE WORK, VACUUM SITE AND REMOVE ALL PAINT AND VARNISH SPOTS AND ALL OIL, GREASE, AND OTHER STAINS CAUSED BY THIS WORK FROM FLOORS, WALLS, GLASS, FIXTURES, HARDWARE, EQUIPMENT, AND OTHER SURFACES, LEAVING THEIR FINISHES IN A SATISFACTORY CONDITION. REMOVE ALL EQUIPMENT, MATERIALS, AND DEBRIS CAUSED BY THE WORK, AND LEAVE THE SITE IN CLEAN CONDITION.
- CONTRACTOR SHALL GUARANTEE ALL WORK DONE UNDER THIS CONTRACT FOR A PERIOD OF ONE YEAR AFTER COMPLETION AND SHALL MAKE ALL REPAIRS TO CORRECT DEFECTIVE WORK TO THE SATISFACTION OF THE ARCHITECT.
- OWNER IS RESPONSIBLE FOR FINAL SELECTION OF ALL WINDOW & DOOR TYPES, HARDWARE, MECHANICAL, ELECTRICAL SYSTEMS & INTERIOR/EXTERIOR FINISHES.



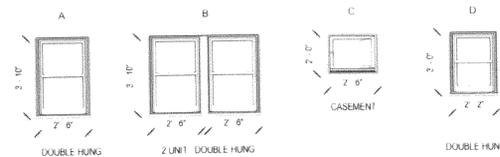
## 1 EXTERIOR 3D VIEW



NOTE: MATCH NEW DOOR & TRIM DETAILS WITH EXISTING DOORS.  
SEE PLAN FOR DOOR HANDING.  
\*VERIFY ALL HEIGHTS TO MATCH EXISTING DOORS.

## 4 DOOR TYPES

1/4" = 1'-0"



NOTE: MATCH NEW WINDOW & TRIM DETAILS WITH EXISTING WINDOWS.  
MATCH HEAD HEIGHT W/ EXISTING WINDOWS ON THE SAME FLOOR.

## 3 WINDOW TYPES

1/4" = 1'-0"

SUSAN KOELLE ARCHITECT LLC  
48 BENNETT ROAD  
MARBLEHEAD, MA 01945  
617 480 4415



Consultants

Project Title  
**Horne Residence**  
79 School Street, Belmont, MA

Project Title

Drawing Title  
**Cover**

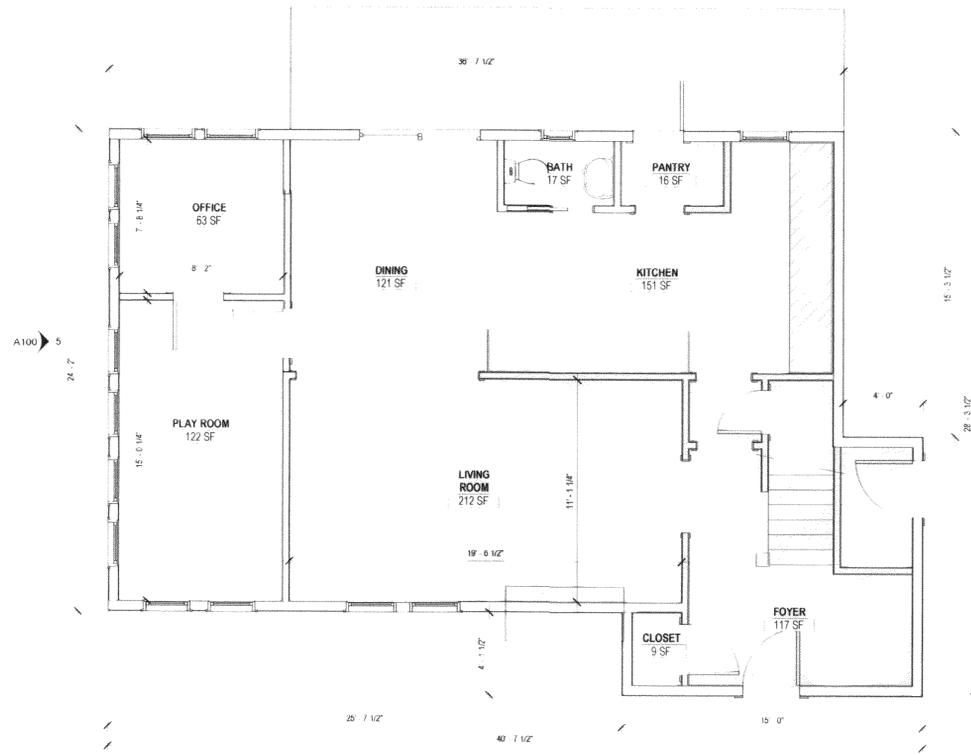
Drawn By  
SK

Scale  
1/4" = 1'-0"

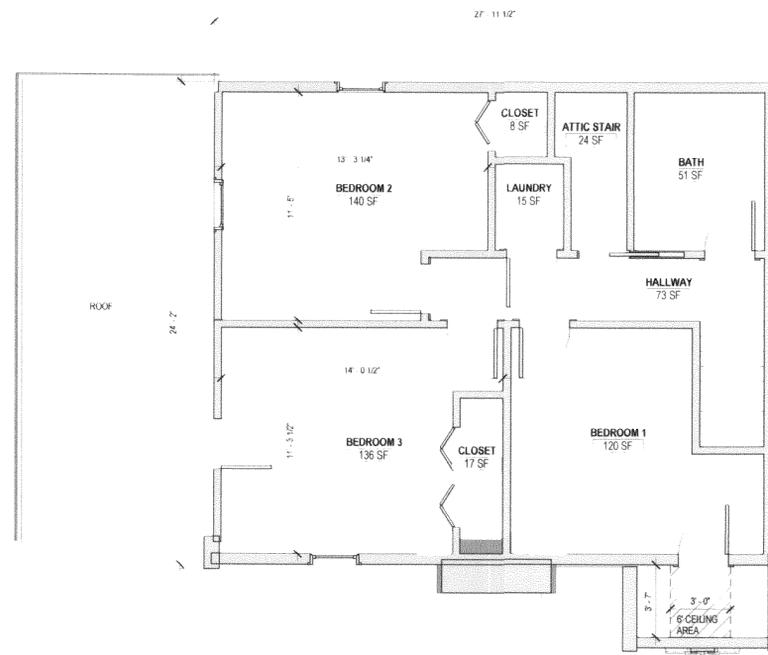
Date  
8/1/2019

Drawing #

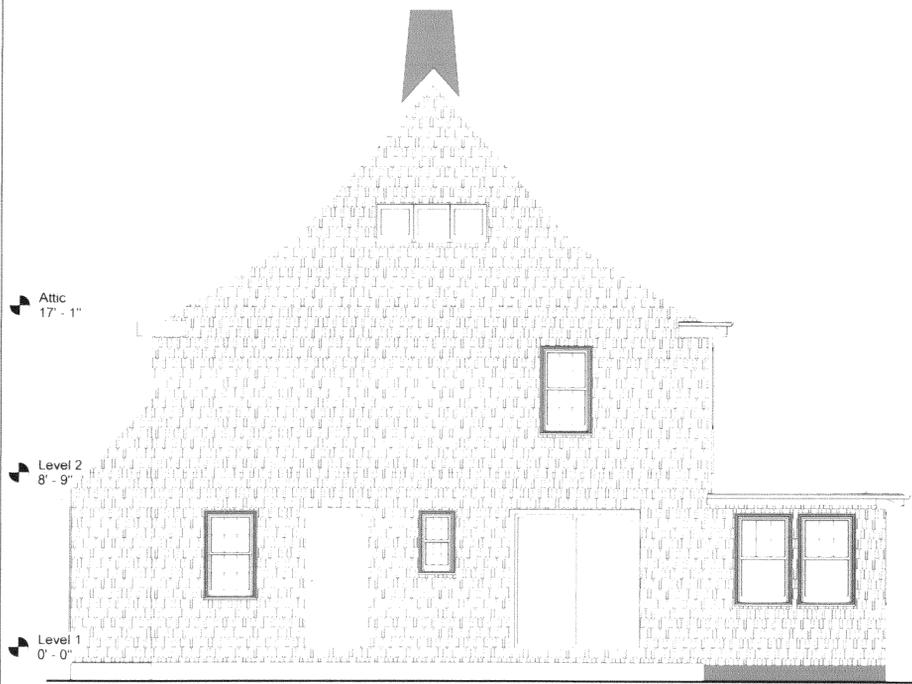
**A001**



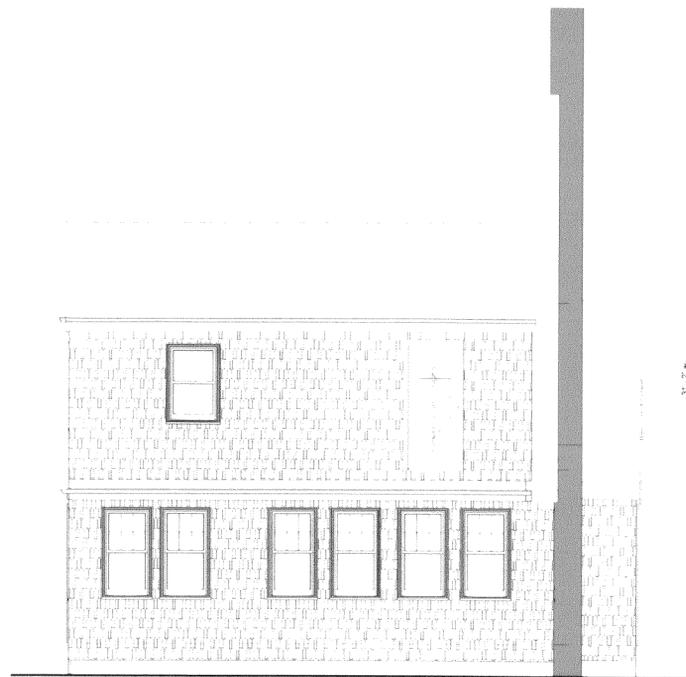
1 Level 1 - Existing  
1/4" = 1'-0"



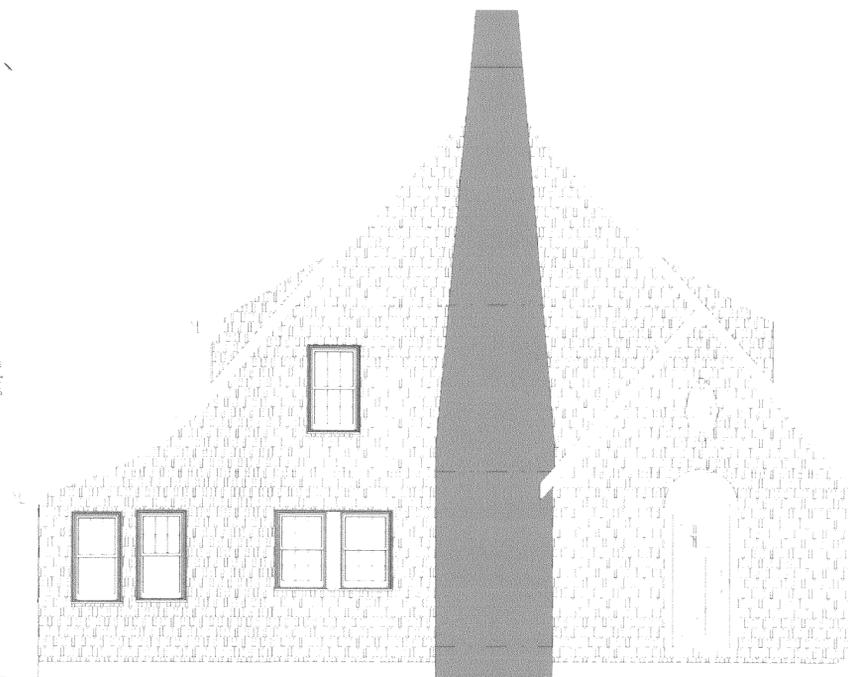
2 Level 2 - Existing  
1/4" = 1'-0"



6 Existing North Elevation  
1/4" = 1'-0"



5 Existing West Elevation  
1/4" = 1'-0"



4 Existing South Elevation  
1/4" = 1'-0"

SUSAN KOELLE ARCHITECT LLC  
45 BENNETT ROAD  
MARBLEHEAD, MA 01945  
617.480.4429



Consultants

Project Title  
**Home Residence**  
79 School Street, Belmont, MA

Drawing Title  
**Existing Plans & Elevations**

Drawn By:

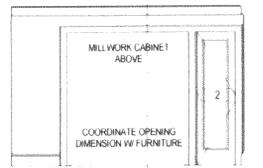
Author

Scale:  
1/4" = 1'-0"

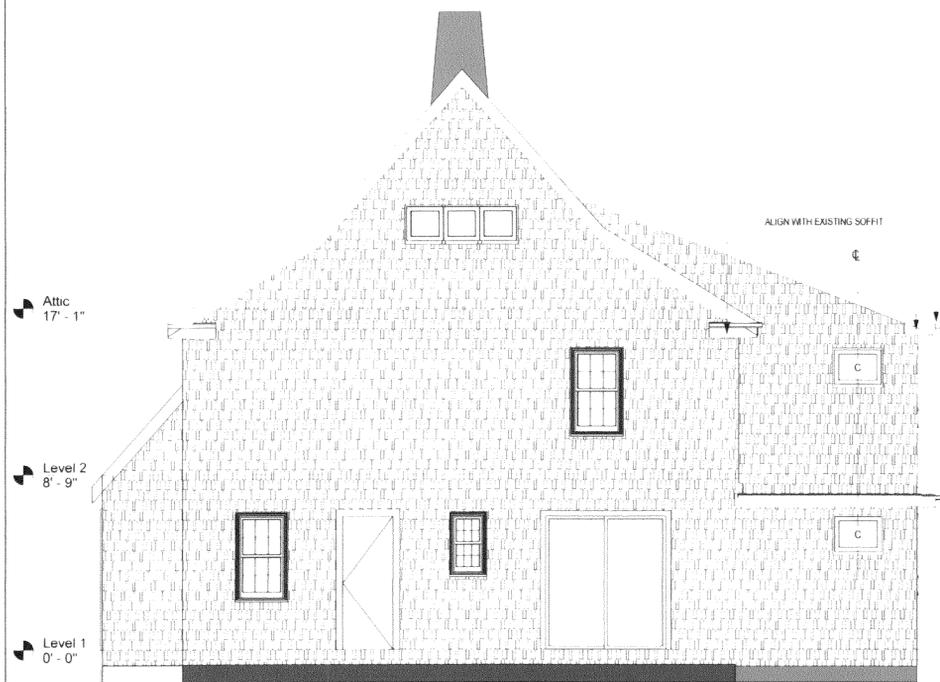
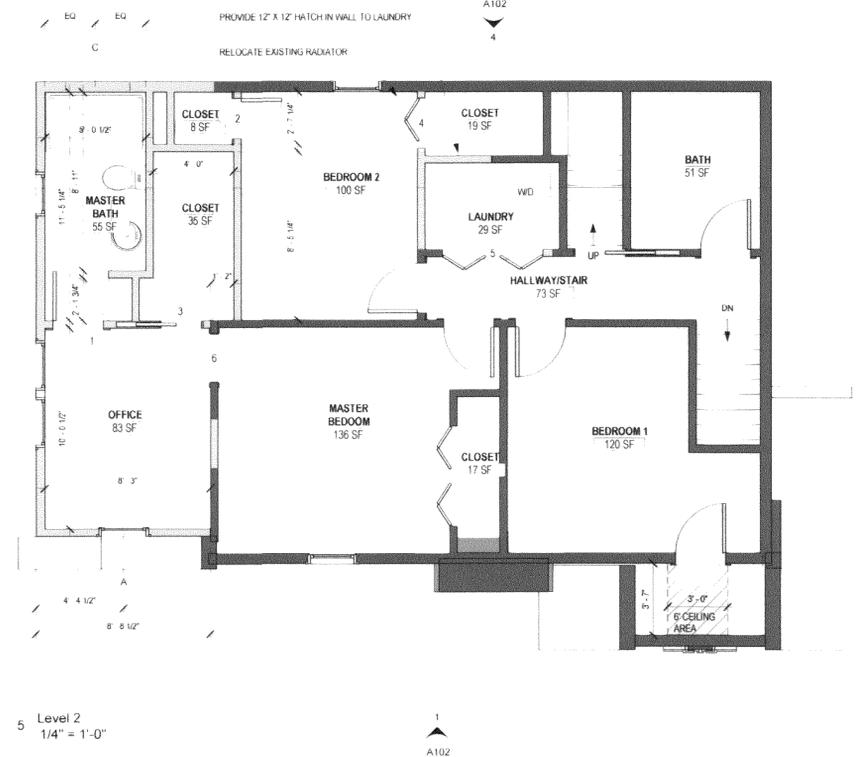
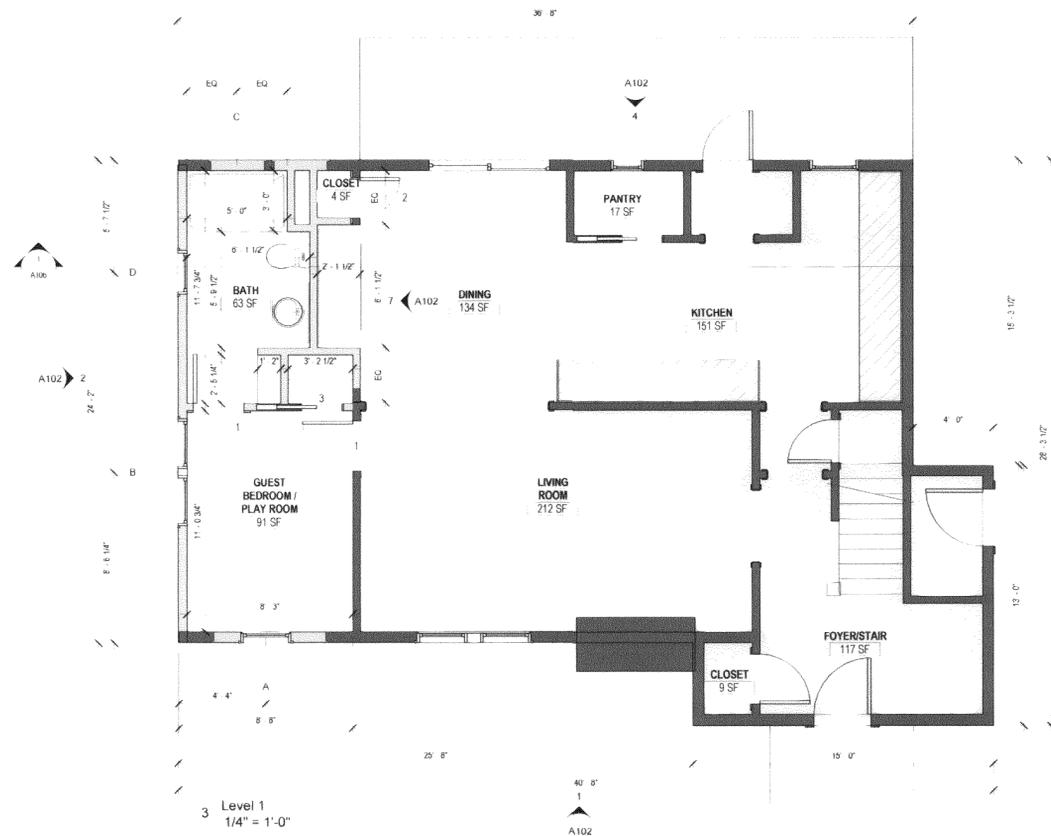
Date:  
8/1/2019

Drawing #

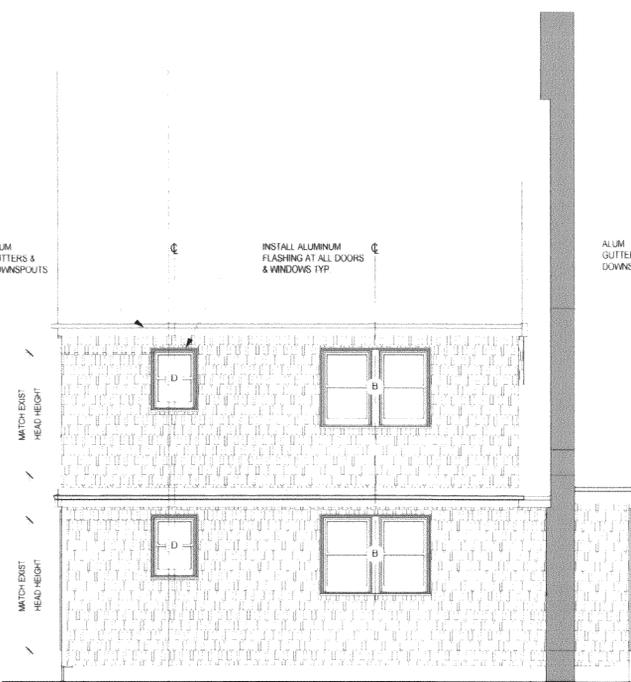
**A100**



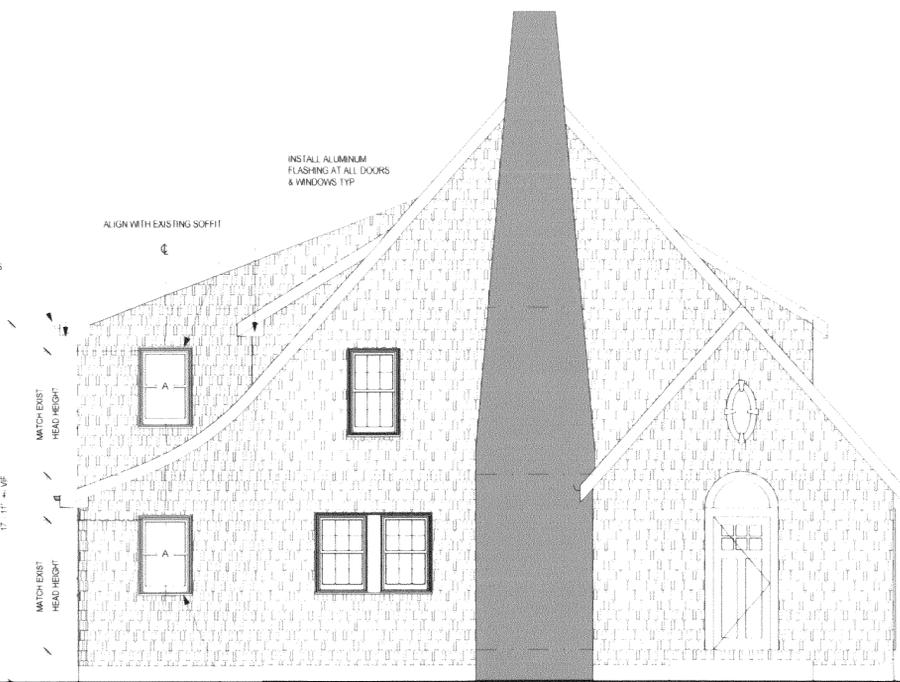
7 DINING ROOM INTERIOR ELEVATION  
1/4" = 1'-0"



4 Proposed North Elevation  
1/4" = 1'-0"



2 Proposed West Elevation  
1/4" = 1'-0"



1 Proposed South Elevation  
1/4" = 1'-0"

SUSAN KOLLE ARCHITECT LLC  
45 BENNETT ROAD  
MARBLEHEAD, MA 01945  
617.480.4419



Consultants:

Project Title  
**Horne Residence**  
79 School Street, Belmont, MA

Drawn Title  
Proposed Plans & Elevations

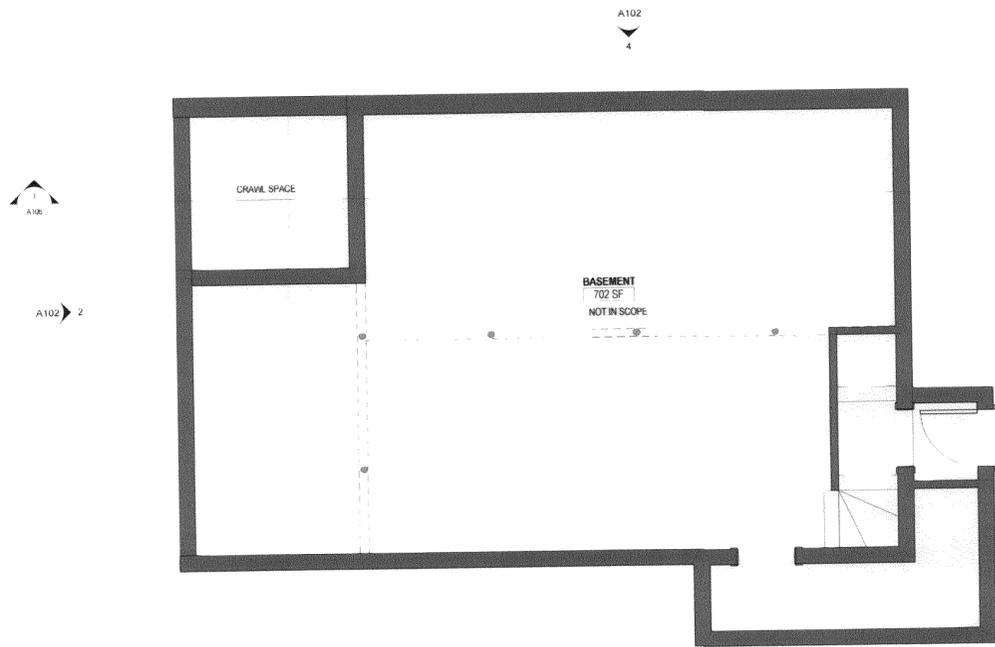
Drawn By:  
SK

Scale:  
1/4" = 1'-0"

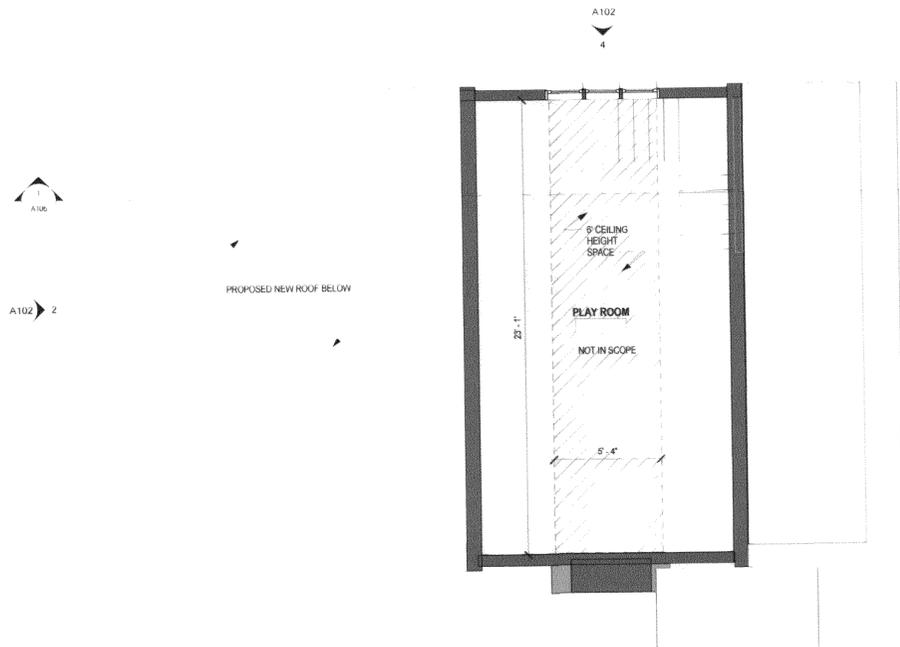
Date:  
8/1/2019

Drawing #

**A102**



1 BASEMENT  
1/4" = 1'-0"



2 Attic  
1/4" = 1'-0"

SUSAN KOELLE ARCHITECT LLC  
49 BENNETT ROAD  
MARBLEHEAD, MA 01945  
617.480.4415



Consultants

Project Title  
**Horne Residence**  
79 School Street, Belmont, MA

Drawing Title  
**Proposed Basement  
Plan, Attic Plan &  
Building Section**

Drawn By:  
SK

Scale: 1/4" = 1'-0"      Date: 06/19/19

Drawing #

**A103**

**GENERAL NOTES**

DESIGN LOADS		
GROUND SNOW LOAD		45PSF
LIVING AREAS	LIVE LOAD	40PSF
SLEEPING AREAS	LIVE LOAD	30PSF

SOIL BEARING CAPACITY IS ASSUMED TO BE 2.500PSF A GEOTECHNICAL ENGINEER MUST BE CONSULTED FOR VERIFICATION

**CODES**

- 1 ALL WORK SHALL CONFORM TO THE LATEST EDITION OF INTERNATIONAL BUILDING CODE, AISC AND ACI
- 2 SHORE BEFORE REMOVING LOADBEARING MEMBERS
- 3 REPORT TO THE OWNER AND ENGINEER ANY UNFORSEEN SITE CONDITIONS

**REINFORCED CONCRETE**

- 1 ALL CONCRETE WORK SHALL CONFORM TO ACI 318 AND 301 REQUIREMENTS
- 2 TAKE TWO CYLINDERS FOR EACH POUR BREAK ONE AT 7 DAYS AND ONE AT 28 DAYS FROM PLACEMENT
- 3 28 DAY COMPRESSIVE STRENGTH 4,000PSI SLUMP 4" +/- 1"
- 4 AGGREGATE 3/4"
- 5 GROUT NON SHRINK 4,000PSI
- 6 SLUMP 4" +/- 1"
- 7 REINFORCING STEEL ASTM A615 60KSI
- 8 WWF ASTM A185 FY=65KSI
- 9 REINFORCING COVER 1 1/2"
- 10 AIR ENTRAINMENT 5% TO 7%

**WOOD MEMBERS**

- 1 ALL FLOOR JOISTS AND WALL STUDS MUST BE MIN NO 2 SPRUCE-PINE-FIR, FB = 1,000PSI
- 2 ROOF DECK AND WALL SHEETING PLYWOOD MUST BE EXTERIOR TYPE
- 3 ALL METAL CONNECTORS MUST BE GALVANIZED MADE BY SIMPSON
- 4 INSTALL SIMPSON HURRICANE CONNECTORS PER STATE BUILDING CODE
- 5 ALL METAL CONNECTORS MUST BE SIMPSON CONNECTORS

**ENGINEERED LUMBER**

- 1 LVL BEAMS BY BOISE
- 2 VERSA-LAM 2 0 3100 FLOOR BEAMS (100% DURATION)
- 3 INSTALL AND CONNECT TOGETHER PER MANUFACTURERS REQUIREMENTS

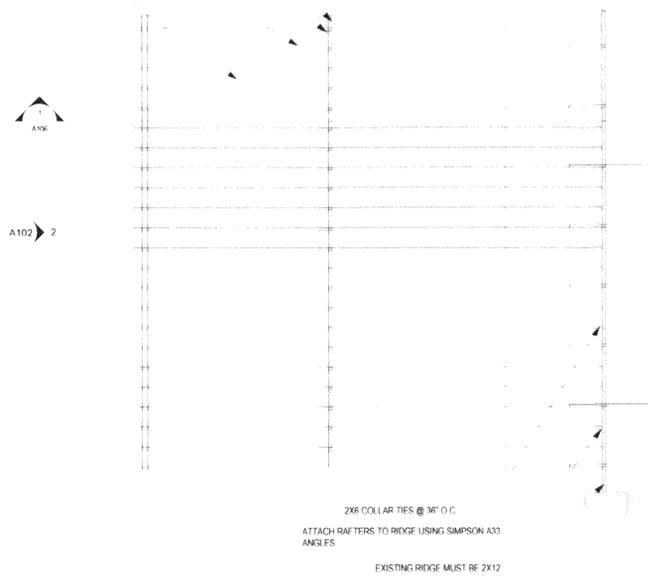
NOTE ALL LVL BEAMS MUST BE BOLTED TOGETHER PER THE MANUFACTURES REQUIREMENTS FOR SIDE LOADING

2X6 PURLIN

2X6 STRUTS TO LOAD BEARING WALL BELOW

2X10 RAFTERS @ 12" O.C.

ROOF DECKING 3/4" PLYWOOD GLUED & NAILED (TYP)



4 Roof Framing Plan  
1/4" = 1'-0"

2 2X10 HEADER BELOW

POSTS BELOW

3 1/2" X 7 1/4" VERSA-LAM 2 0 3100 LVL BEAM SUPPORTING FLOOR JOISTS

2 2X10 HEADER BELOW

2X8 FLOOR JOISTS @ 16" O.C.

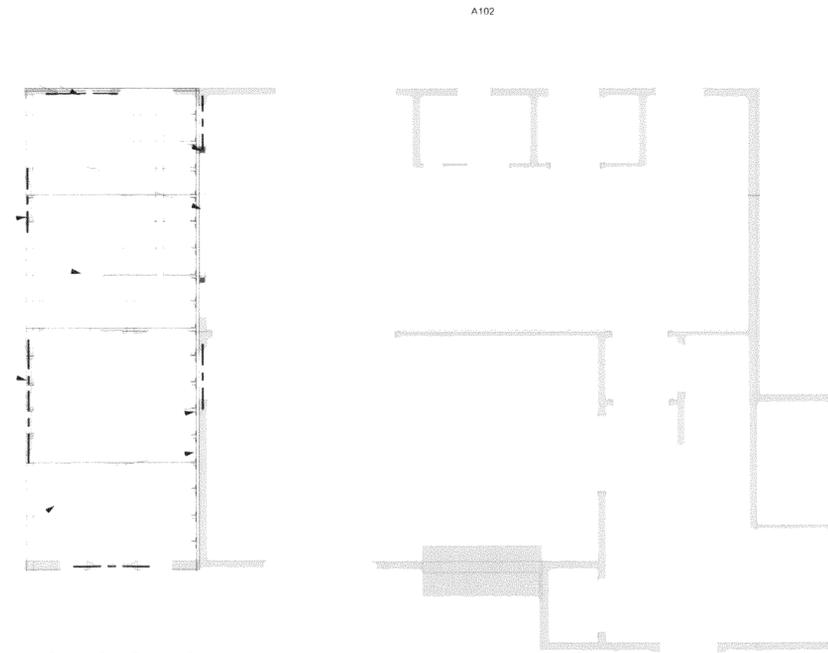
A102 2

2 2X10 HEADER BELOW

SIMPSON FACE MOUNT JOIST HANGERS TO LEDGER BOARD

2" X 10" LEDGER BOARD W/ 1/2" X 5" LAG BOLTS 2 @ 16" O.C.

3/4" PLYWOOD DECKING GLUED AND NAILED



1 Second Floor Framing Plan  
1/4" = 1'-0"

POST BELOW

2 2X10 HEADER BELOW

3 1/2" X 11 3/4" VERSA-LAM 2 0 3100 LVL BEAM BELOW SUPPORTING FLOOR JOISTS

2 2X10 HEADER BELOW

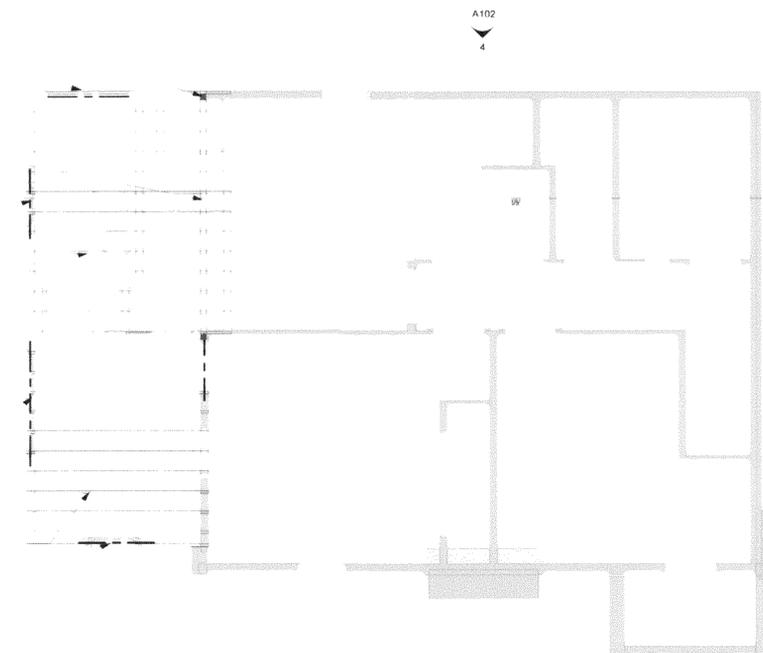
2X8 CEILING JOISTS @ 12" O.C.

A102 2

2 2X10 HEADER BELOW

3/4" PLYWOOD DECKING GLUED AND NAILED

2 2X10 HEADER BELOW



2 Attic Framing Plan  
1/4" = 1'-0"

THIS DRAWING IS BASED ON ASSUMPTIONS OF THE EXISTING STRUCTURAL FRAMING. THE EXISTING STRUCTURE NEEDS TO BE EXPOSED AND INVESTIGATED PRIOR TO THE RELEASE OF THESE DRAWINGS FOR CONSTRUCTION. THE DRAWINGS MAY NEED TO BE REVISED AND ADDITIONAL ENGINEERING MAY BE REQUIRED.

SUSAN KOELLE ARCHITECT LLC  
49 BENNETT ROAD  
MARBLEHEAD, MA 01945  
617.480.4419



Consultants:

Project Title:  
**Horne Residence**  
79 School Street, Belmont, MA

Drawing Title:  
**Framing Diagrams**

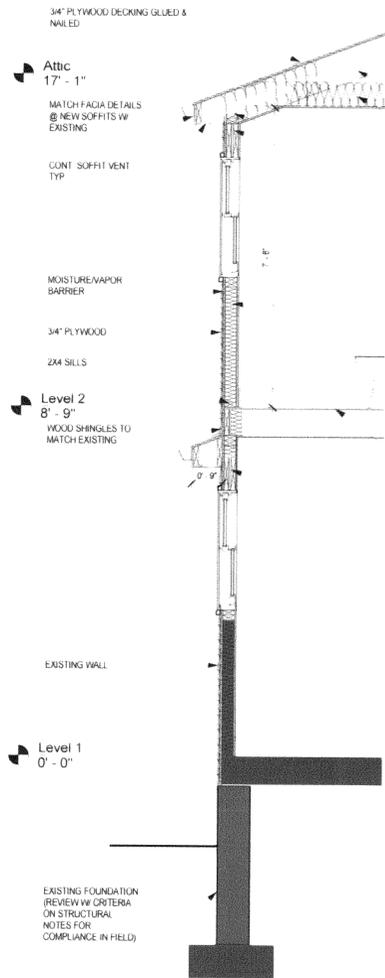
Drawn By:  
Author

Scale:  
1/4" = 1'-0"

Date:  
8/1/19

Drawing #

**A104**



2 Section 1 - Callout 1  
1/2" = 1'-0"

- 2X10 @ 12" O.C. RAFTERS
- 2X8 @ 12" O.C. ATTIC FLOOR JOISTS
- 2-2X4 TOP PLATE
- 2-2X10 HEADER
- 2X4 STUDS @ 16" O.C.
- NEW FLOOR JOISTS 2X8 @ 16" O.C.
- 2-2X10 HEADER

Attic  
17' - 1"

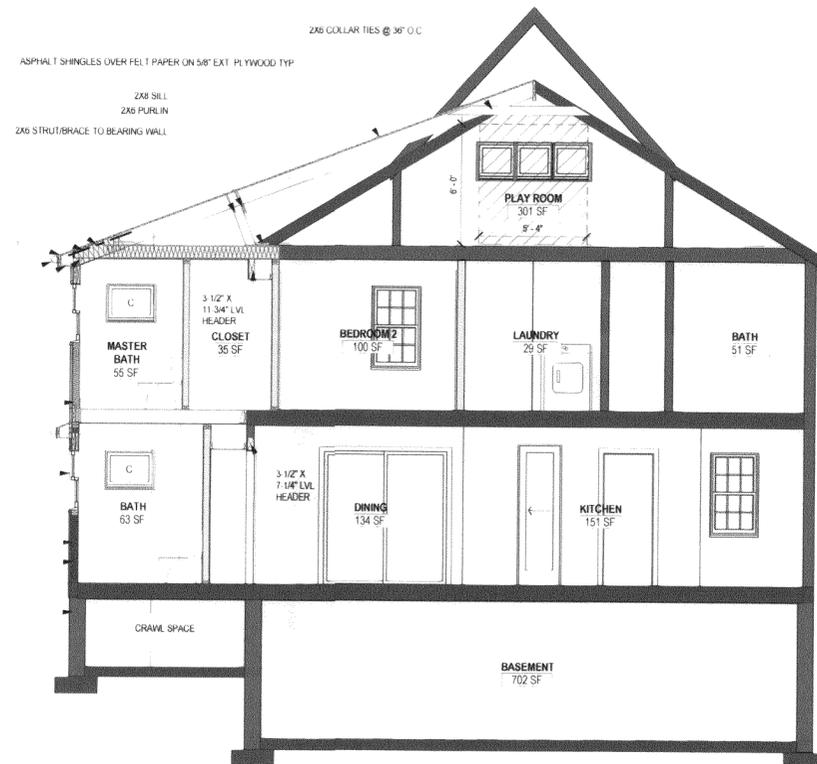
Level 2  
8' - 9"

Level 1  
0' - 0"

BASEMENT  
-7' - 8 1/2"

- 2" RIGID AIR BAFLE
- ICE & WATER SHIELD STARTER TYP
- METAL DRIP EDGE TYP
- ALUMINUM GUTTER & DOWN SPOUTS
- WOOD SOFFIT W/ CONT SOFFIT VENTS TYP
- SIMPSON HURRICANE CONNECTORS
- FIBERGLASS INSULATION TYP
- NEW WINDOW & HEADER
- FIBERGLASS INSULATION TYP
- EXISTING WALL
- EXISTING FOUNDATION

1 Section 1  
1/4" = 1'-0"



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Consultants

Project Title

Home Residence  
79 School Street, Belmont, MA

Drawing Title

Building Sections & Details

Drawn By

Author

Scale:

As indicated

Date:

8/1/19

Drawing #

A106