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TOWN CLERK
BELMONT, MA

CASE NO. 19-39

2019 NOV 15 AM 9:31

NOTICE OF PUBLIC HEARING BY THE
BELMONT ZONING BOARD OF APPEALS

ON APPLICATION FOR ONE SPECIAL PERMIT

Notice is hereby given that the Belmont Zoning Board of Appeals will hold a public hearing on Monday, December 2, 2019 at 7:00 PM in the Art Gallery, 3rd floor, Homer Municipal Building, 19 Moore St., to consider the application of Yue Chen and Kelly Liu at 79 Hoitt Road located in a Single Residence C (SRC) Zoning District for One Special Permit under §1.5 of the Zoning Bylaw to construct a Sunroom. Special Permit, 1.-§4.2.2 of the Zoning Bylaws requires a minimum side setback of 10.0', the existing side setback to the principal building is 7.8' and the proposed to the sunroom is 8.4'.

ZONING BOARD OF APPEALS



OFFICE OF COMMUNITY DEVELOPMENT
TOWN OF BELMONT
19 Moore Street
Homer Municipal Building
Belmont, Massachusetts 02478-0900

Telephone: (617) 993-2650 Fax: (617) 993-2651

Building Division
(617) 993-2664
Engineering Division
(617) 993-2665
Planning Division
(617) 993-2666

September 26, 2019

Yue Chen and Kelly Liu
79 Hoitt Road
Belmont, MA 02478

RE: Denial to Construct a Sunroom

Dear Mr. Chen and Ms. Liu:

The Office of Community Development is in receipt of your building permit application for the construction of a sunroom at 79 Hoitt Road Road located in the Single Residence C (SRC) Zoning District.

Your application has been denied because it does not comply with the Town of Belmont Zoning By-Law. More specifically, § 4.2 of the Zoning By-Law Dimensional Regulation requires a side setback of 10'.

1. The existing side setback to the principal structure is 7.8' and the proposed side setback to the sunroom is 8.4'.

You may alter your plans to conform to the current Town of Belmont Zoning By-Law and resubmit a building permit application, or you may request (1) Special Permit from the Zoning Board of Appeals. If you choose this option, please contact the Office of Community Development to schedule an appointment with Ara Yogurtian, Assistant director, at (617) 993-2650 in order to begin the process.

Sincerely,

Glenn R. Clancy, P.E.
Inspector of Buildings

2019 NOV 15 AM 9:31



Town of Belmont
Zoning Board of Appeals

APPLICATION FOR A SPECIAL PERMIT

Date: 10/17/19

Zoning Board of Appeals
Homer Municipal Building
19 Moore Street
Belmont, MA 02478

To Whom It May Concern:

Pursuant to the provisions of Massachusetts General Laws, Chapter 40A, Section 9, as amended, and the Zoning By-Laws of the Town of Belmont, I/we the undersigned, being the owner(s) of a certain parcel of land (with the buildings thereon) situated on 79 Hoitt Street/Road, hereby apply to your Board for a **SPECIAL PERMIT** for the erection or alteration on said premises or the use thereof under the applicable Section of the Zoning By-Law of said Town for _____

Sunroom Addition
see ATTACHED

on the ground that the same will be in harmony with the general purpose and intent of said Zoning By-Law.

Signature of Petitioner *Kelly Liu*
Print Name Kelly Liu
Address 79 Hoitt Road
Belmont, MA 02478
Daytime Telephone Number 617 962 0306

Dear Zoning board of Appeals,

We were hired by Mrs. Lui, 79 Hoitt Rd in Belmont MA, to install a 324 Sq. Ft. Sunroom on the back side of her house.

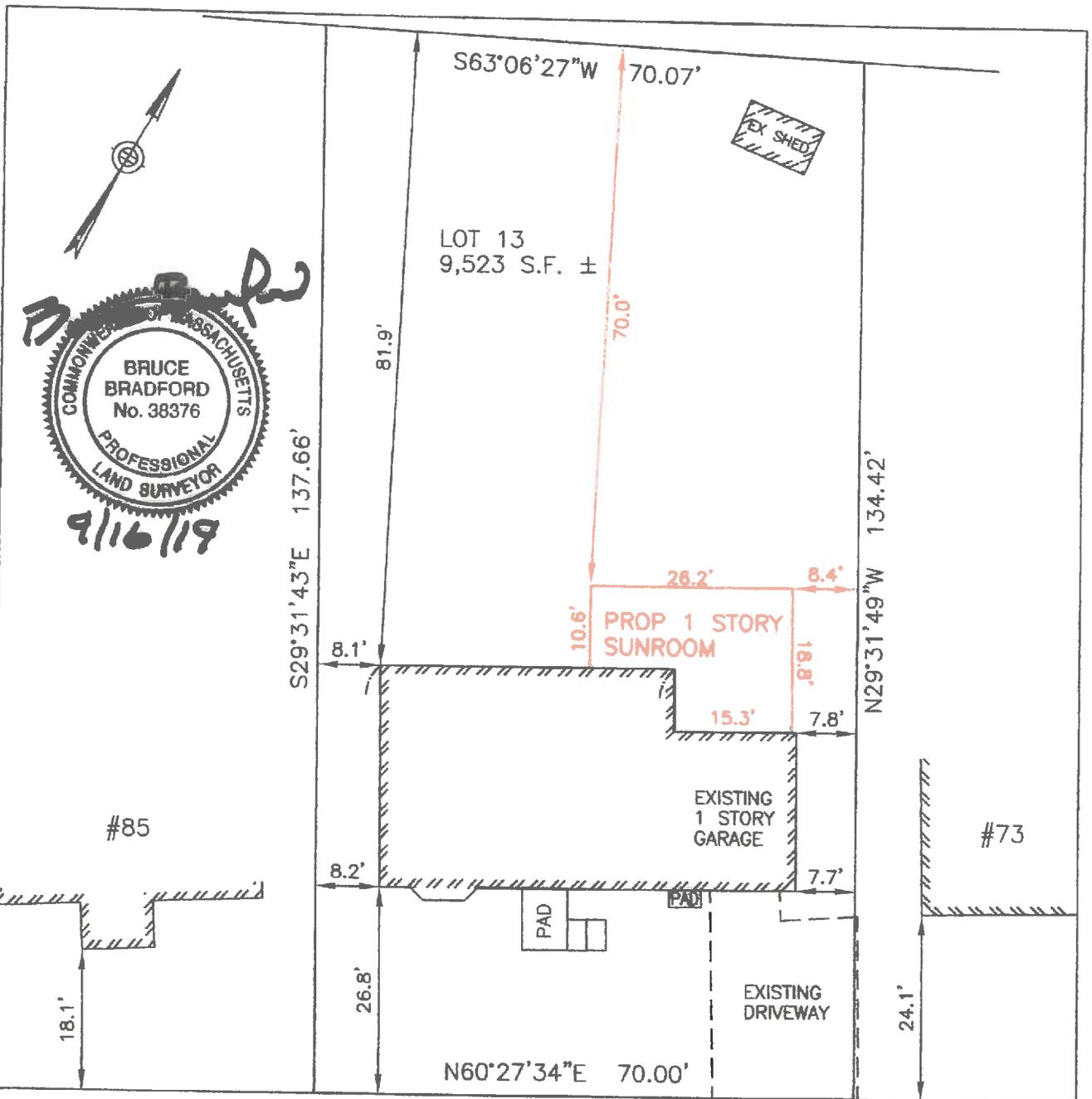
During the design process we tried to determine the best location for the sunroom that would serve the purpose intended. She wanted a much larger dining area, as well as expanding the family room which is very small. The kitchen/family room area is located on the North East side of the house, so locating the sunroom in that area was crucial.

We decided to take advantage of a jog on the back of the house created by the garage so the room would like it was originally part of the house. Upon initiating the permit process, we discovered that the garage already sits in the side yard setback area, creating a pre-existing, non-conforming condition.

The house sits in a SR-C zone, which according to section 4.2 of the Zoning By-laws, has a side yard bet back requirement of 10 Ft. The house currently sits 7.7 Ft from the side yard setback. We shortened the part of the sunroom that attaches to the back of the garage by 10 Inches in width so it set back from the East end of the garage and would not encroach any further onto the side yard setback.

Currently it is proposed to sit 8.4 Ft from the side yard setback and does not increase the Non-conformity. Making the addition any skinner would defeat the purpose of the room, considering the majority of the other side is taken up by basement stairs, (see attached plan view.)

We feel that this special permit can be granted without deviating from the spirit and intent of the by-law. We respectfully request that you grant is a Special Permit for relief from the side yard setback of 1.6 Ft so we may proceed forward with the project.



HOITT ROAD

ZONING INFORMATION:

ZONE: SR-C
 DEED REFERENCE: BOOK 30454 PAGE 444
 PLAN REFERENCE: DECEMBER 10, 1996

	EXISTING	PROPOSED	REQUIRED/ PERMITTED
LOT AREA	9,523 S.F.	9,523 S.F.	9,000 S.F. MIN.
LOT FRONTAGE	70.00'	70.00'	75' MIN.
SETBACK			
FRONT	26.8'	26.8'	25' MIN.
SIDE	7.7'	7.7'	10' MIN.
REAR	80.0'	70.0'	30' MIN.
LOT COVERAGE	15.5%	19.5%	25% MAX.
OPEN SPACE	80%	79.4%	50% MIN.
# OF STORIES	2	2	2.5 MAX.

THIS PROPERTY DOES NOT LIE WITHIN THE WETLANDS OR WETLANDS BUFFER ZONE.

THIS PROPERTY IS LOCATED IN ZONE C
 FIRM MAP DATED JUNE 15, 1982
 COMMUNITY PANEL NUMBER 250182 001 B

Owner YUE CHEN & KELLY LIU
 Loc. House No. 79
 Lot No. LOT NO. 13
 App. No. _____
 Date SEPTEMBER 16, 2019
 Scale: 1 in. = 20 Ft.

ESTABLISHED 1916
EMB
 EVERETT M. BROOKS CO.
 SURVEYORS & ENGINEERS
 49 LEXINGTON STREET
 WEST NEWTON, MA 02465
 (617) 527-8750
 (617) 332-1578 FAX
 embrooks@embrooks.com

**PLAN OF LAND IN
 BELMONT, MA**
 79 HOITT ROAD
 PROPOSED ADDITION

SCALE: 1 IN. - 20 FT.
DATE: SEPTEMBER 16, 2019
DRAWN: GA
CHECK: BB

PROJECT NO. 25916



Zoning Compliance Check List

(Registered Land Surveyor)

Property Address: 79 HORT ROAD

Zone: SR-C

Surveyor Signature and Stamp: Bruce Bradford

Date: 10/16/19

	REQUIRED	EXISTING	PROPOSED
Lot Area	9000 SF	9523 SF	9523 SF
Lot Frontage	75'	70'	70'
Floor Area Ratio			
Lot Coverage	25% MAX	15.5%	19.5%
Open Space	50% MIN	80%	79.4%
Front Setback	25' MIN	26.8'	26.8'
Side Setback	10' MIN	8.1'	8.1'
Side Setback	10' MIN	7.7'	7.7'
Rear Setback	30' MIN	80'	70'
Building Height			
Stories	2.5 MAX	2	2
½ Story Calculation			

NOTES:

Drawing
1 of 21

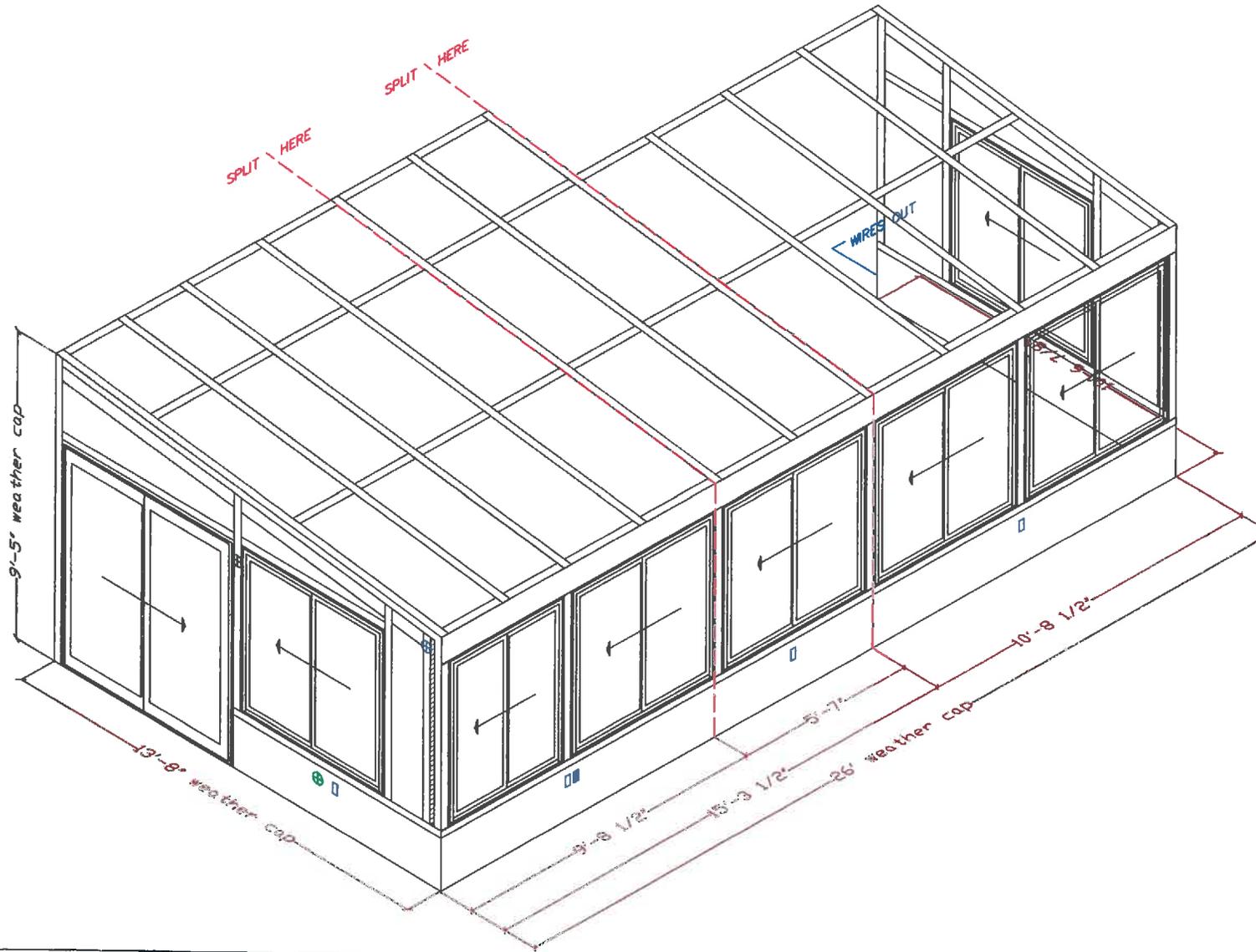
5-15-19
5-23-19

Revision 3
Revision 4

5-28-19

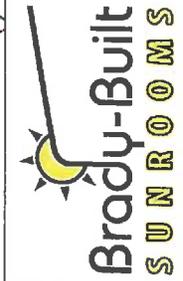
Revision 5

DARK BRONZE Aluminum Exterior
NATURAL Wood Finish Interior



Isometric View North East

160 Southbridge St.
Auburn, MA 01501
Tel: 508-798-2600
Fax: 508-798-3034
www.sunroomsbybrady.com



Drawn: MG
Revi:
Scale: NTS
Iso

Kelly Liu
79 Hoitt Road
Belmont, MA 02478

Confidential, Brady-Built Inc.

Drawing
2 of 21

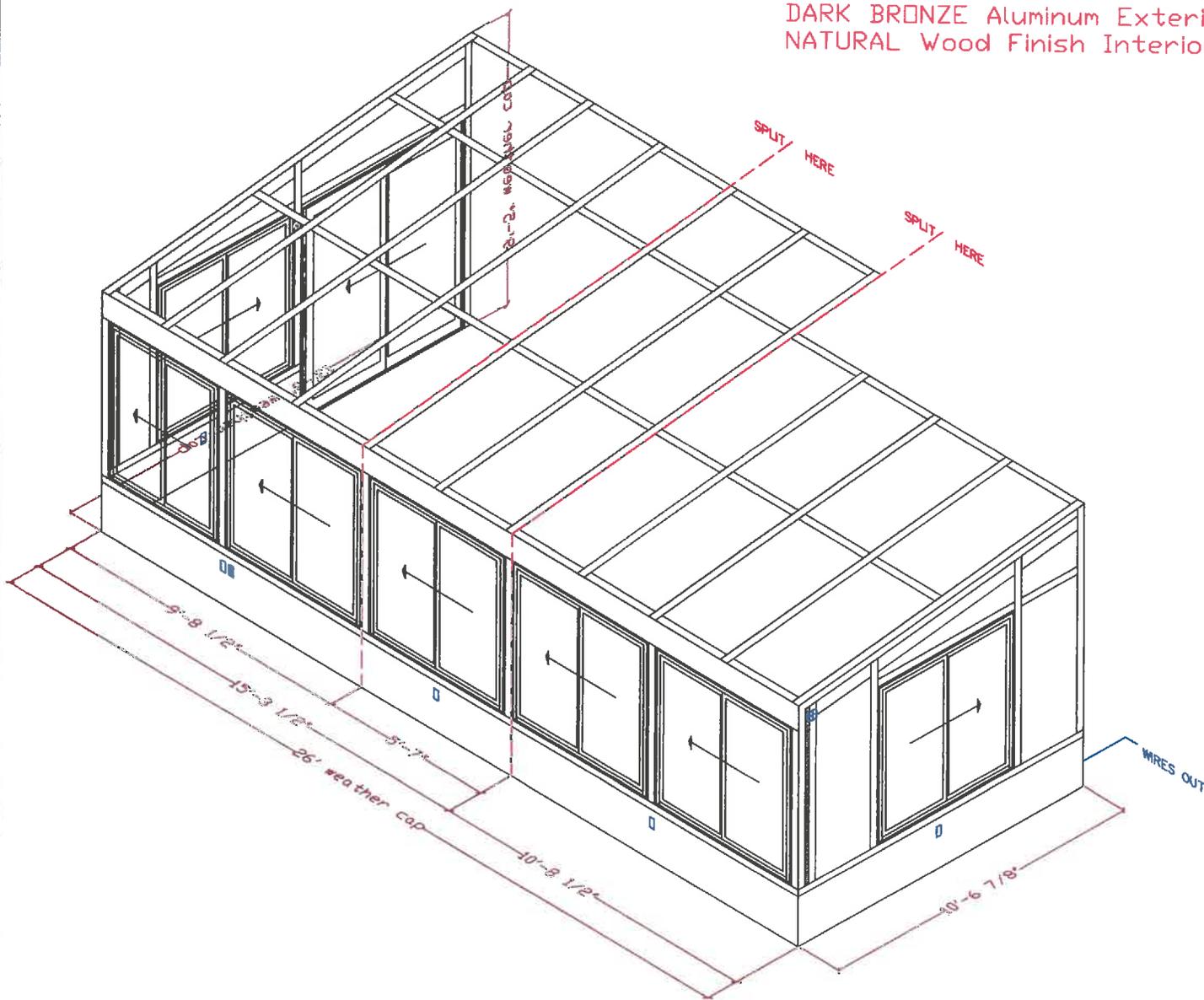
5-15-19
5-23-19

Revision 3
Revision 4

5-28-19

Revision 5

CUSTOMER SIGNATURE _____
DATE _____



DARK BRONZE Aluminum Exterior
NATURAL Wood Finish Interior

Isometric View North West

160 Southbridge St.
Auburn, MA 01501
Tel: 508-798-2600
Fax: 508-798-3034
www.sunroomsbybrady.com



Drawn: MG
Revi:
Scale: NTS
Iso2

Kelly Liu
79 Hoitt Road
Belmont, MA 02478

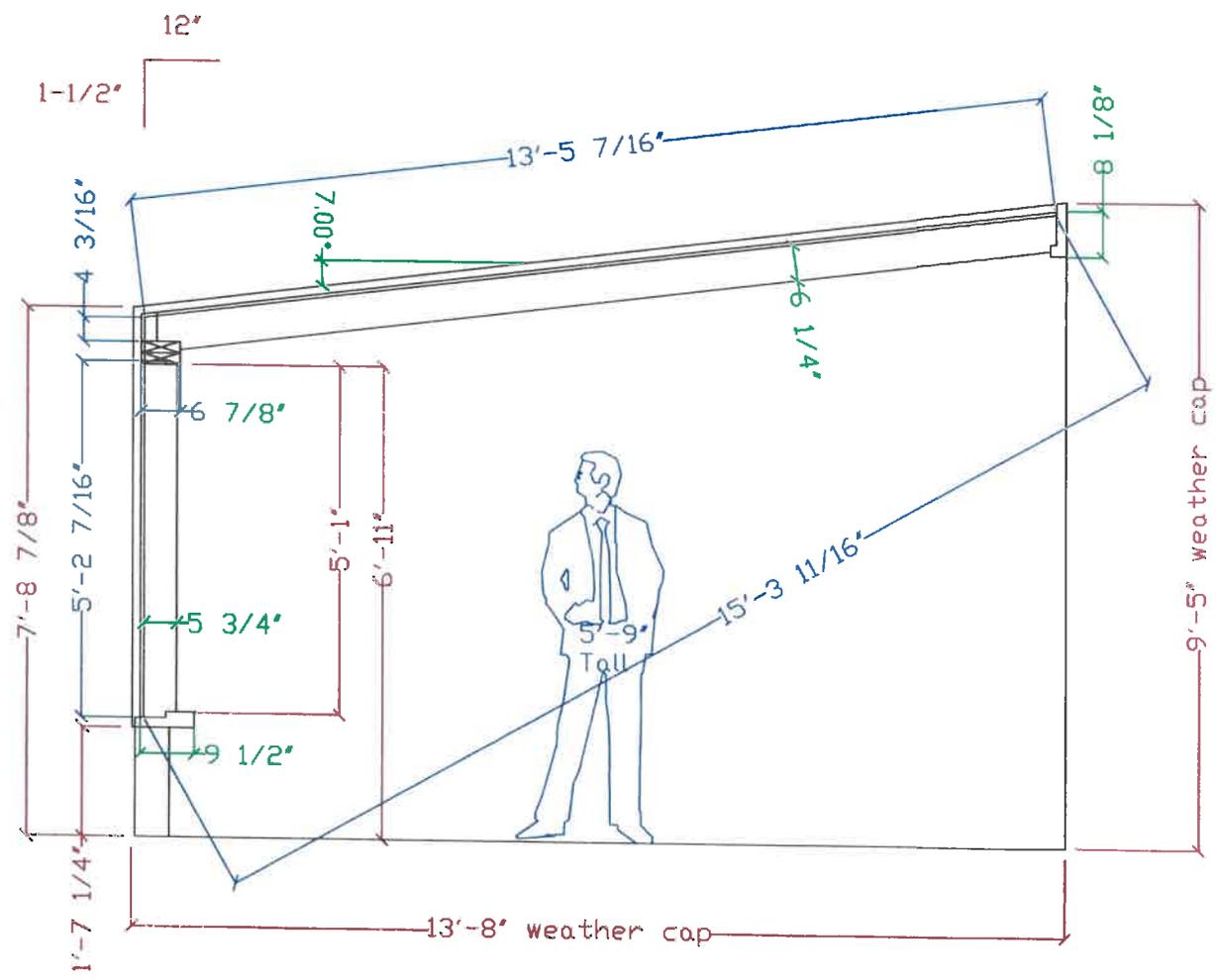
Confidential, Brady-Built Inc.

Drawing
3 of 21

4-22-19 Revision 1
5-15-19 Revision 3

5-23-19 Revision 4

CUSTOMER SIGNATURE _____ DATE _____



BEAM DETAIL "A"

Elevation at Glulam Beam Frame

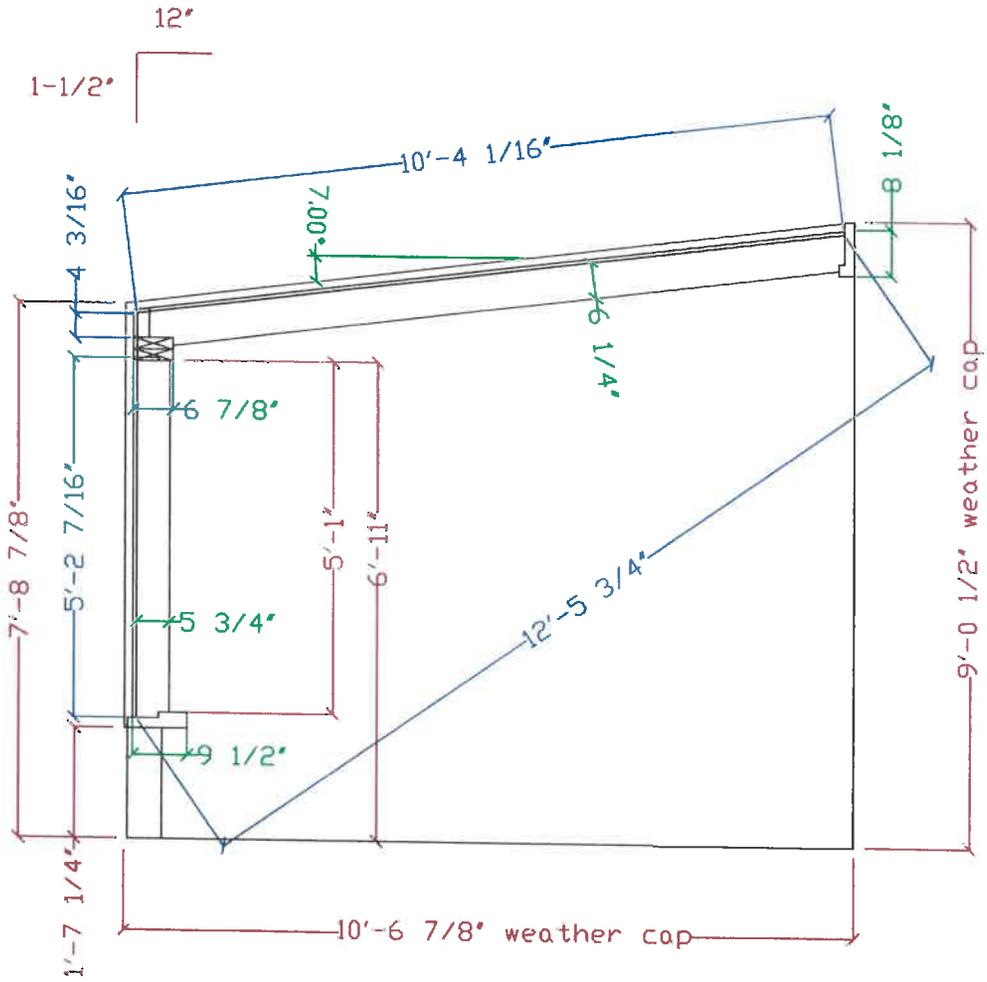
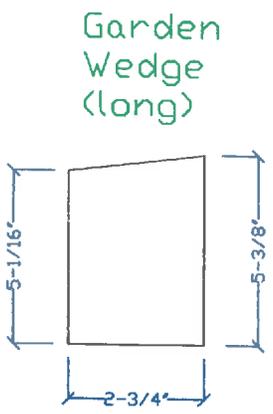
160 Southbridge St.
Auburn, MA 01501
Tel: 508-798-2600
Fax: 508-798-3034
www.sunroomsbybrady.com



Drawn: MG
Rev:
Scale: 3/8"=1'-0"
BeamA

Kelly Liu
79 Hoitt Road
Belmont, MA 02478

Confidential, Brady-Built Inc.



BEAM DETAIL "B"

Elevation at Glulam Beam Frame

160 Southbridge St.
Auburn, MA 01501
Tel: 508-798-2600
Fax: 508-798-3034
www.sunroomsbybrady.com



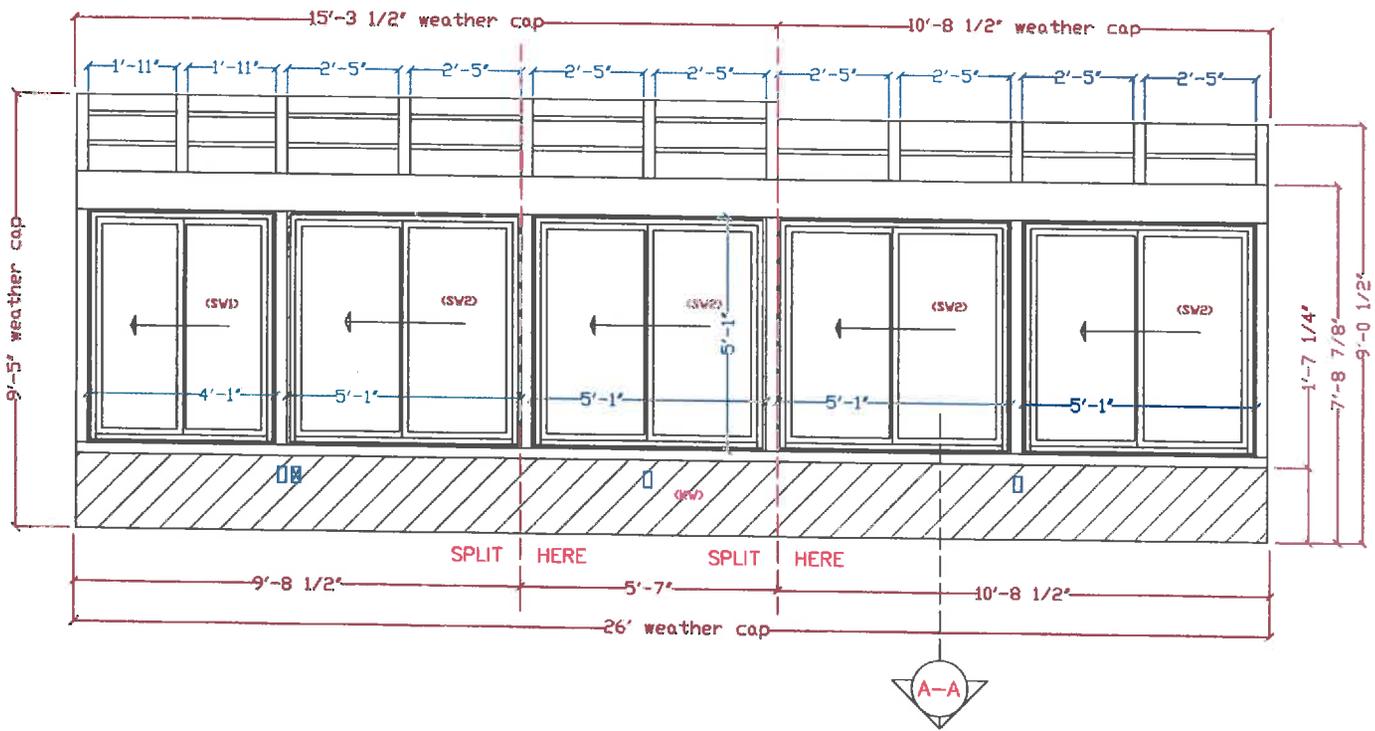
Drawn: MG
Revi:
Scale: 3/8"=1'-0"
Beam B

Kelly Liu
79 Hoitt Road
Belmont, MA 02478

Confidential, Brady-Built Inc.

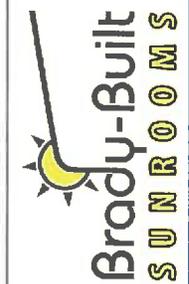
Drawing 5 of 21	4-24-19	Revision 1	5-15-19	Revision 3
	5-4-19	Revision 2	5-23-19	Revision 4

CUSTOMER SIGNATURE _____ DATE _____



Elevation at Front (North) Wall
As viewed from exterior

160 Southbridge St.
Auburn, MA 01501
Tel: 508-798-2600
Fax: 508-798-3034
www.sunroomsbybrady.com



Drawn:	MG
Revi:	
Scale:	1/4"=1'-0"
Front	

Kelly Liu
79 Hoitt Road
Belmont, MA 02478

Confidential, Brady-Built Inc.

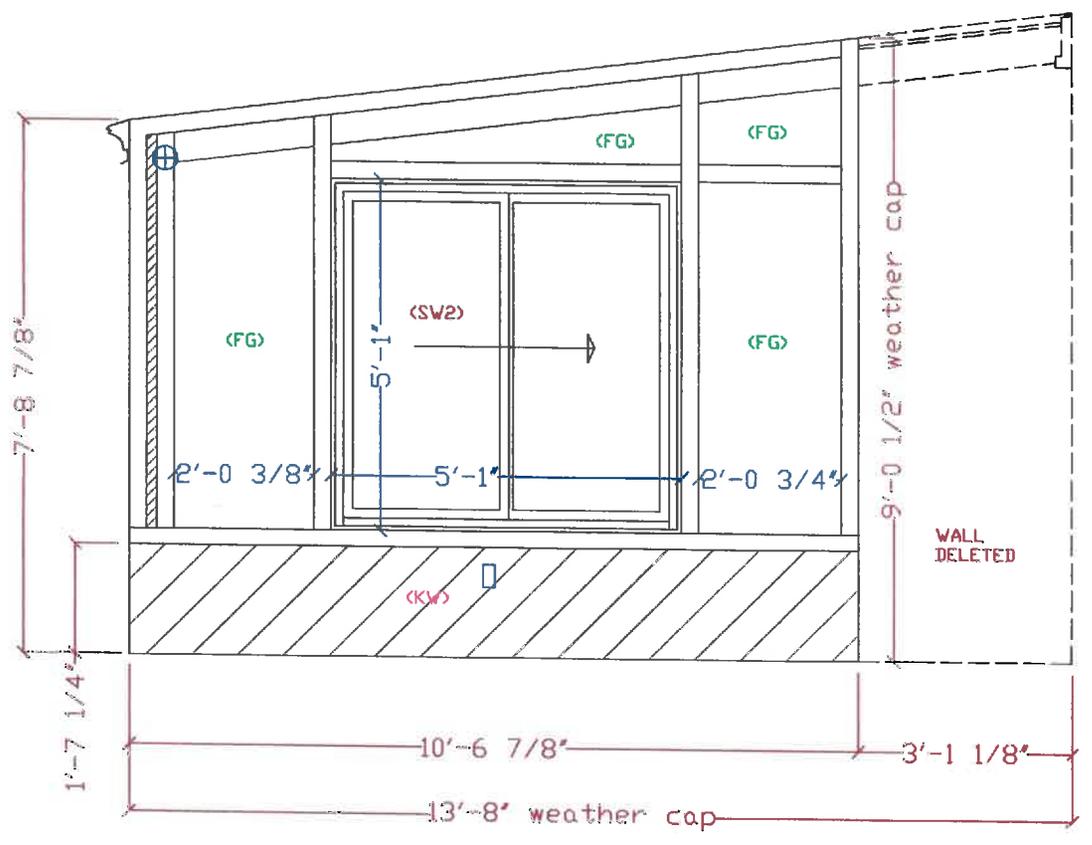
Drawing
7 of 21

4-24-19 Revision 1
5-4-19 Revision 2

5-15-19 Revision 3
5-23-19 Revision 4

Revision 3
Revision 4

CUSTOMER SIGNATURE _____ DATE _____



Elevation at Right (West) Wall
As viewed from exterior

160 Southbridge St.
Auburn, MA 01501
Tel: 508-798-2600
Fax: 508-798-3034
www.sunroomsbybrady.com



Drawn: MG
Revi:
Scale: 3/8"=1'-0"
Right

Kelly Liu
79 Hoitt Road
Belmont, MA 02478

Confidential, Brady-Built Inc.

Drawing
10 of 21

5-4-19

Revision 2

5-16-19

Add stairs

5-28-19

Revision 5

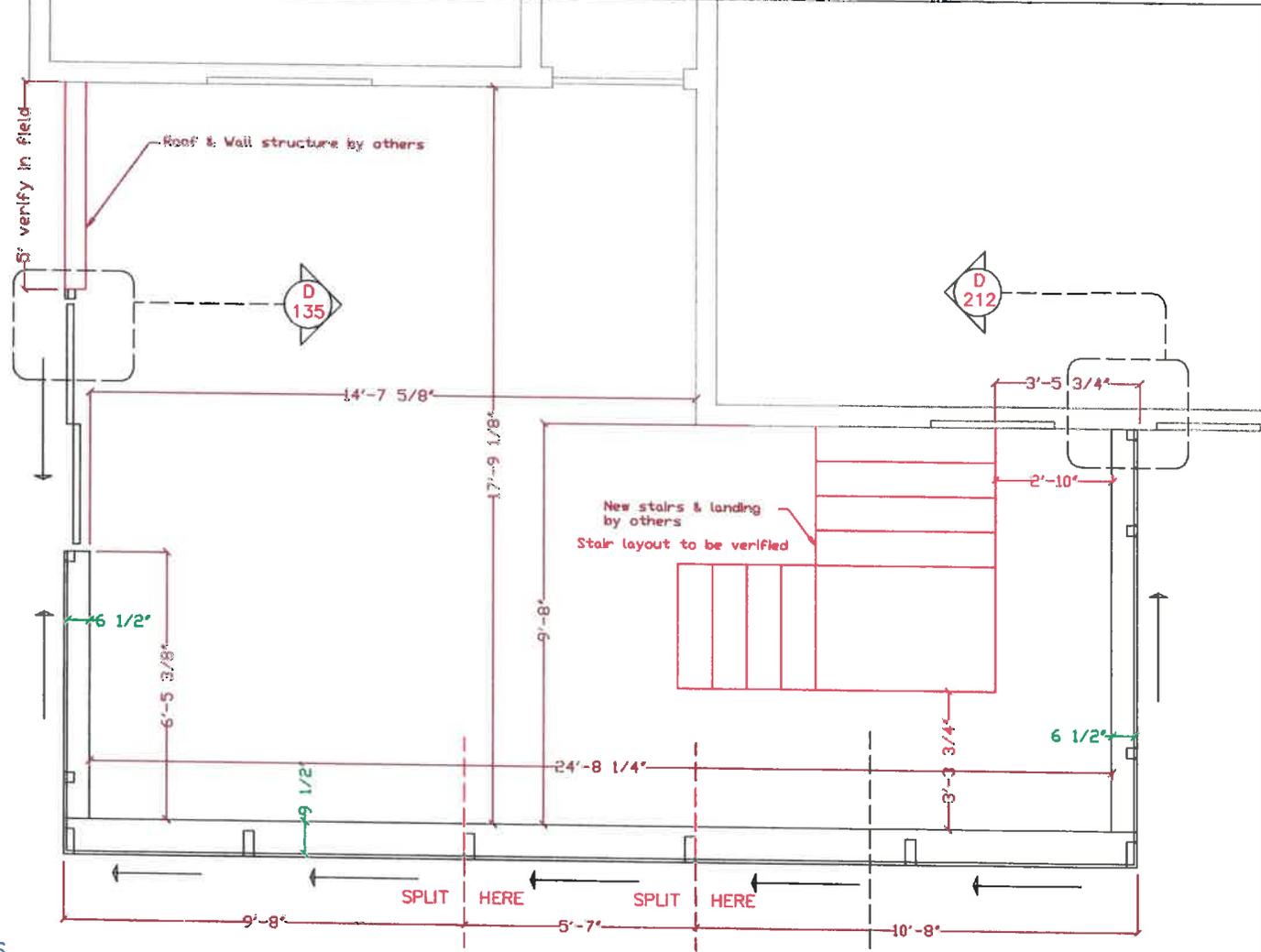
5-15-19

Revision 3

5-23-19

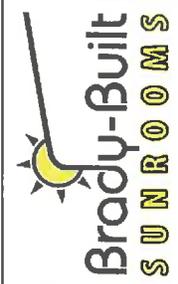
Revision 4

CUSTOMER SIGNATURE _____ DATE _____



Plan View at Sill

160 Southbridge St.
Auburn, MA 01501
Tel: 508-798-2600
Fax: 508-798-3034
www.sunroomsbybrady.com



Drawn: MG
Rev:
Scale: 1/4"=1'-0"
Sill

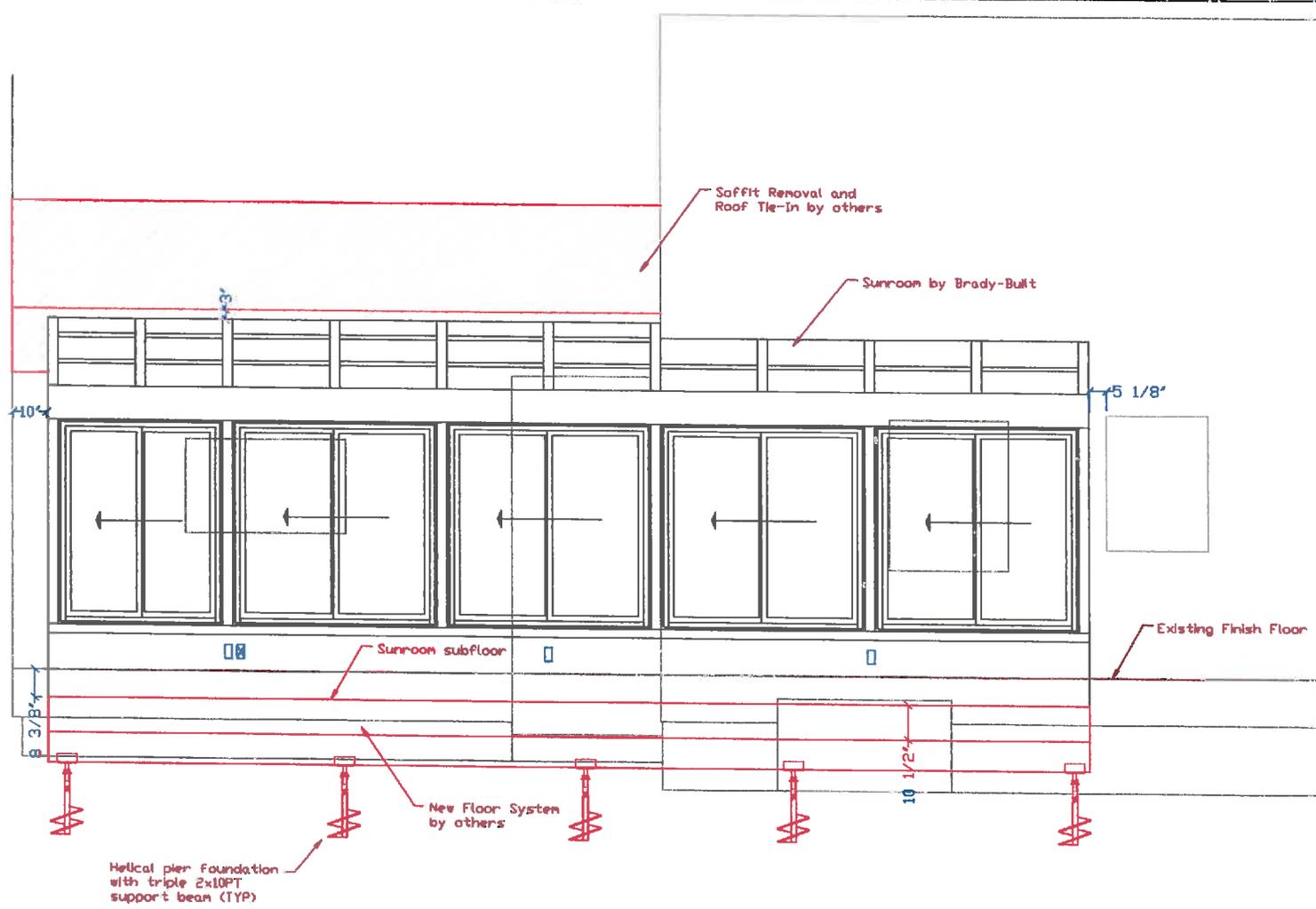
Kelly Liu
79 Hoitt Road
Belmont, MA 02478
Confidential, Brady-Built Inc.

Drawing
11 of 21

4-24-19 Revision 1
5-4-19 Revision 2

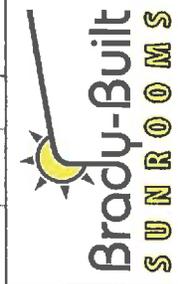
5-15-19 Revision 3
5-23-19 Revision 4

CUSTOMER SIGNATURE _____
DATE _____



North Elevation with Overlays

160 Southbridge St.
Auburn, MA 01501
Tel: 508-798-2600
Fax: 508-798-3034
www.sunroomsbybrady.com



Drawn: MG
Rev:
Scale: 1/4"=1'-0"
DLn

Kelly Liu
79 Haitt Road
Belmont, MA 02478
Confidential, Brady-Built Inc.

