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BELMONT, MA

2019 OCT 23 AM 8:45

CASE NO. 19-36

NOTICE OF PUBLIC HEARING BY THE  
BELMONT ZONING BOARD OF APPEALS

ON APPLICATION FOR TWO SPECIAL PERMITS

Notice is hereby given that the Belmont Zoning Board of Appeals will hold a public hearing on Monday, November 4, 2019 at 7:00 PM in the Art Gallery, 3<sup>rd</sup> floor, Homer Municipal Building, 19 Moore St., to consider the application of Mr. Manoukian and Ms. Aroushanian at 5 Edward Street located in a Single Residence C (SRC) Zoning District for two Special Permits under §1.5 of the Zoning Bylaw to construct an addition. Special Permits, 1.- Section 4.2.2 of the Zoning Bylaws requires a minimum rear setback of 25.0' on the South side, the existing and proposed rear setback on the South side is 9.4' and 2.- A minimum rear setback of 26.27' is required on the West side, the existing rear setback on the West side is 33.8' and the proposed is 21.2'.

ZONING BOARD OF APPEALS





OFFICE OF COMMUNITY DEVELOPMENT  
TOWN OF BELMONT  
19 Moore Street  
Homer Municipal Building  
Belmont, Massachusetts 02478-0900

Telephone: (617) 993-2650 Fax: (617) 993-2651

Building Division  
(617) 993-2664  
Engineering Division  
(617) 993-2665  
Planning Division  
(617) 993-2666

July 09, 2019

Roubik Manoukian and Goar Aroushanian  
5 Edward Street  
Belmont, MA 02478

RE: Denial to Construct an Addition

Dear Mr. Manoukian and Ms. Aroushanian

The Office of Community Development is in receipt of your building permit application to construct an addition at your home at 5 Edward Street located in the Single Residence C (SR-C) Zoning District.

Your application has been denied because it does not comply with the current Town of Belmont Zoning Bylaws. More specifically, Section 4.2.2 of the Zoning Bylaws requires a minimum rear setback of 25.0' on the South side and a minimum rear setback of 26.27' on the West side.

1. The existing and proposed rear setback on the South side is 9.4'.
2. The existing rear setback on the West side is 33.8' and the proposed is 21.2'.

You may alter your plans to conform to the current Town of Belmont Zoning By-Law and resubmit a building permit application, or you may request two (2) Special Permits from the Zoning Board of Appeals to reduce the South rear setback of the structure to no less than a side setback at 10.0' and maintain the West rear setback at 9.4'. If you choose this option, please contact the Office of Community Development to schedule an appointment with Ara Yogurtian, Assistant Director, at (617) 993-2650 in order to begin the process.

Sincerely,

  
Glenn R. Clancy, P.E.  
Inspector of Buildings

August 28th, 2019

To: Zoning Board of Appeals Members

We have a deck at the rear of our house on the west-facing side. The deck was built prior to our purchasing of the house and the structure did not comply to building code. Over the years it has deteriorated and as a result it needs to be demolished and rebuilt from scratch in compliance with up-to-date building regulations.

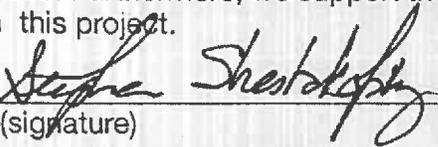
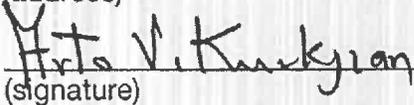
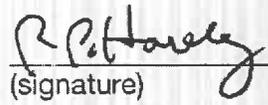
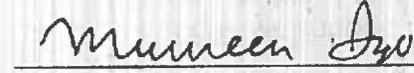
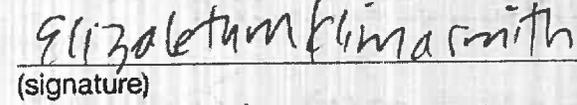
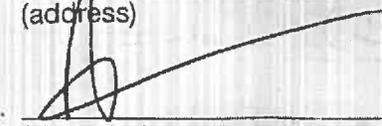
We use the deck extensively from the end of spring to beginning of fall - weather permitting. We would like to replace the deck with a heated sunroom in order to extend the utility of the area.

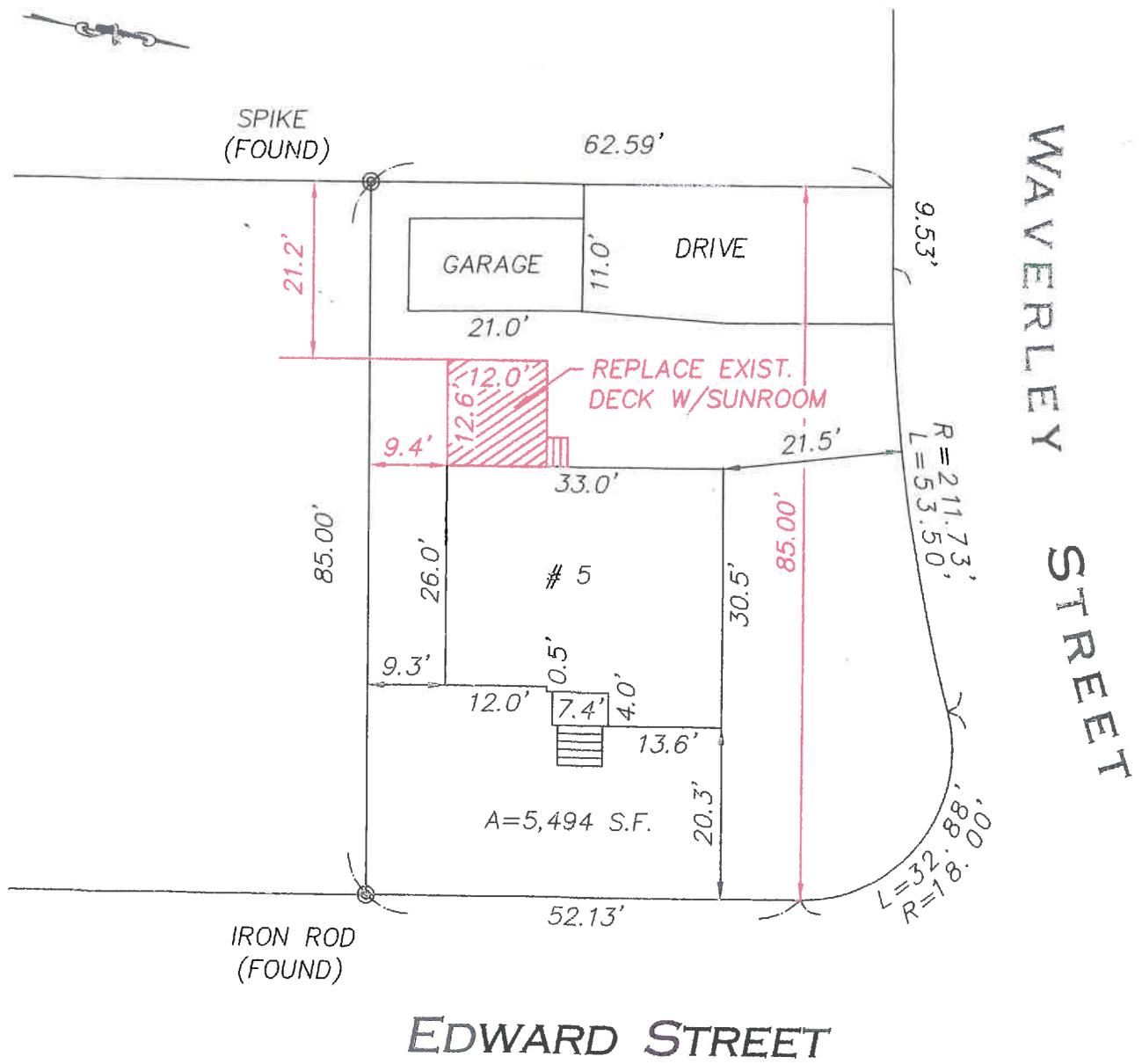
The new structure will have the footprint of the existing deck. Our lot coverage is roughly 24% and after the project is completed the coverage and setbacks will stay the same. In addition, our house doesn't have a mudroom and the new room will give us the ability to use the space as a mud room (hang coats, etc). It will make the adjacent kitchen warmer and more energy efficient as well. We are planning to have a dedicated heating zone for the sunroom which can be turned off when the room is not in use.

Respectfully,  
Goar Aroushanian and Roubik Manoukian

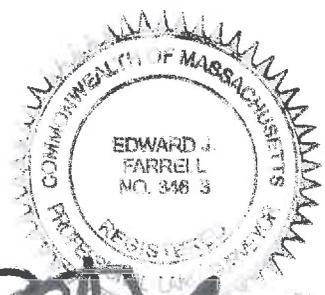
5 Edward Street,  
Belmont MA, 02478

We the neighbors of Roubik Manoukian and Gohar Aroushanian of 5 Edward Street, Belmont, MA, have reviewed their plans to replace existing deck with sunroom at the above-mentioned address. Furthermore, we support their petition for a special perming allowing them to proceed with this project.

1.  Stephen Shestakofsky  
(signature) (name)  
18 Edward Street, Belmont  
(address)
2.  Arto V. Kurkjian  
(signature) (name)  
308 Waverley st. Belmont  
(address)
3.  Richard & Jessica Hartley  
(signature) (name)  
11 Edward (Direct abettus, 100% in favor!!!)  
(address) (12 Edward St)
4.  Muneen P. Izo Belmont  
(signature) (name)  
12 Edward st Belmont Mass.  
(address)
5.  Elizabeth Klimarnith  
(signature) (name)  
17 Edward Street Belmont Massachusetts  
(address)
6.  CHRISTINA ORCHANIAN  
(signature) (name)  
1 Clover st. Belmont, MA 02478  
(address)
7.  DARA COUERARY  
(signature) (name)  
299 WAVERLEY, BELMONT, MA 02475  
(address)



**EDWARD STREET**



*[Handwritten signature]*

OWNER: ROUBIK MANOUKIAN & GOAR AROUSHANIAN  
 LOCUS HOUSE # - 5 EDWARD STREET

LOCUS DEED - BOOK 30591 PAGE 526  
 LOCUS PLAN - PLAN BOOK 381 PLAN 30  
 APP. # -

ZONING DISTRICT= SRC

|                   | REQ. | EXIST. | PROP.   |
|-------------------|------|--------|---------|
| MAX. LOT COVERAGE | 25%  | 23.6%  | 23.9%*  |
| MIN. OPEN SPACE   | 50%  | 65.6%  | 65.3%** |
| FRONT SETBACK     | 25'  | 20.3'  | 20.3'   |
| SIDE SETBACK      | 10'  | 9.3'   | 9.3'    |
| REAR SETBACK      | 30'  | 21.2'  | 21.2'   |

SITE DOES NOT FALL WITHIN THE WETLAND ZONE.

\* 916 S.F. HOUSE + 28 S.F. FRONT STOOP + 151 S.F. PROP. ADDITION + 231 S.F. GARAGE = 1326/5544 = 23.9%  
 \*\* 916 S.F. HOUSE + 28 S.F. FRONT STOOP + 151 S.F. PROP. ADDITION + 231 S.F. GARAGE + 600 S.F. DRIVE = 1926/5544 = 34.7% OR 65.3%

**PLOT PLAN  
 5 EDWARD STREET  
 BELMONT MASS.**

SCALE: 1" = 20' JUNE 28, 2019

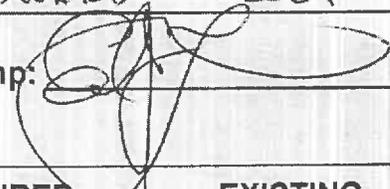
Prepared By  
**EDWARD J. FARRELL**  
 PROFESSIONAL LAND SURVEYOR  
 110 WINN STREET ~ SUITE 203 ~ WOBURN, MA.  
 (781)-933-9012

# Zoning Compliance Check List (Registered Land Surveyor)



Property Address: S EDWARD STREET

Zone: SRC

Surveyor Signature and Stamp: 

Date: 7-18-19

|                                     | REQUIRED | EXISTING | PROPOSED |
|-------------------------------------|----------|----------|----------|
| Lot Area                            | 9.000    | 5494     | 5494     |
| Lot Frontage                        | 75'      | 148.04'  | 148.04'  |
| Floor Area Ratio                    |          |          |          |
| Lot Coverage                        | 25%      | 23.6%    | 23.9%    |
| Open Space                          | 50%      | 65.6%    | 65.3%    |
| Front Setback                       | 25'      | 20.3'    | 20.3'    |
| Side Setback                        | 10'      | 9.3'     | 9.3'     |
| Side Setback<br><small>Rear</small> | 30'      | 9.4'     | 9.4'     |
| Rear Setback                        | 30'      | 21.2'    | 21.2'    |
| Building Height                     |          |          |          |
| Stories                             |          |          |          |
| 1/2 Story Calculation               |          |          |          |
|                                     | REQUIRED | EXISTING | PROPOSED |
|                                     |          |          |          |

**NOTES:**

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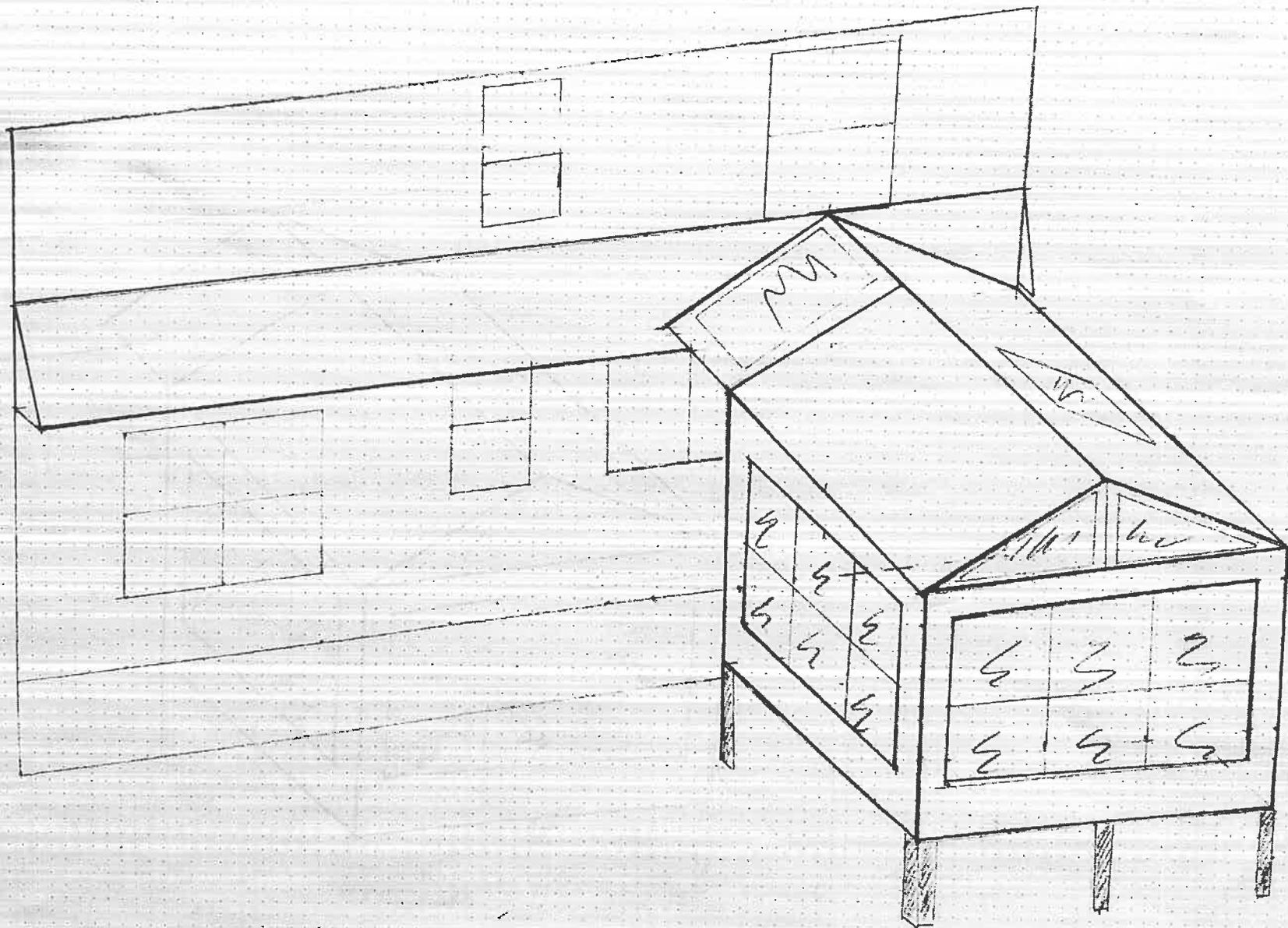
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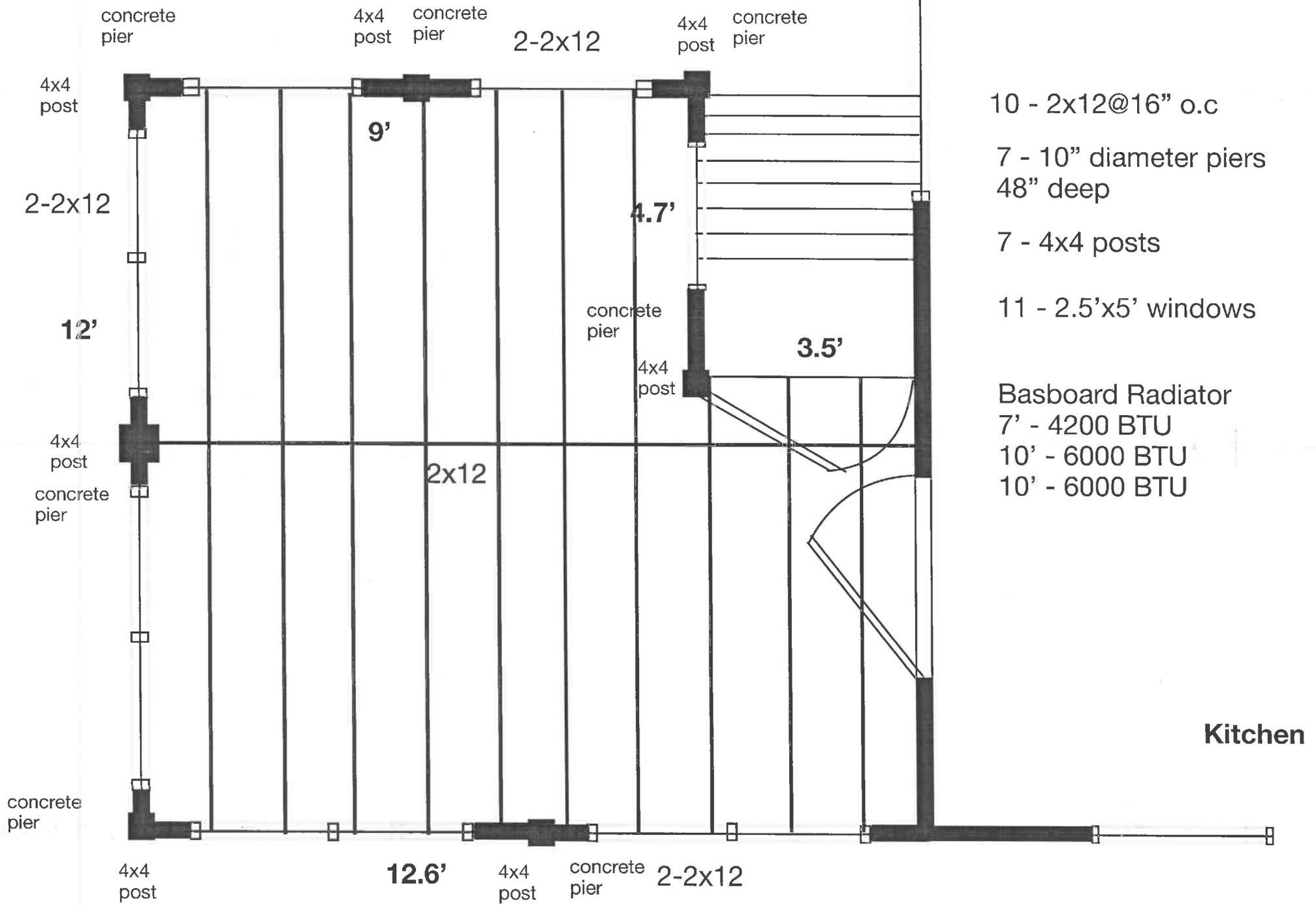
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1/2"=1'-0"



- 10 - 2x12@16" o.c
- 7 - 10" diameter piers  
48" deep
- 7 - 4x4 posts
- 11 - 2.5'x5' windows
- Basboard Radiator
  - 7' - 4200 BTU
  - 10' - 6000 BTU
  - 10' - 6000 BTU

**Kitchen**

1/2" = 1'-0"

North View



West View

1/2"=1'-0"



South View

1/2"=1'-0"

