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COVER LETTER

Belmont Manor Nursing Home, Inc.
34 Agassiz Avenue
Belmont, MA 02478

December 26, 2017

Belmont Town Hall
455 Concord Avenue
Belmont, MA 02478
Attention: Ms. Ellen O'Brien Cushman, Town Clerk

Office of Community Development
19 Moore Street, 2nd Floor
Belmont, MA 02478
Attention: Mr. Jeffrey A. Wheeler, Senior Planner

**Re: Belmont Manor Nursing Home, Inc. - Applications for Modification of Use Variance
and Design and Site Plan Review**

Dear Ms. Cushman and Mr. Wheeler:

As you know, we are planning to construct an addition to the Belmont Manor Nursing Home located at 34 Agassiz Avenue in Belmont. This addition to the northeasterly portion of the nursing home will allow for important renovations within the facility, including an improved bedroom layout and a new laundry facility in the cellar as detailed in the plans and accompanying filing materials.

Accordingly, please find enclosed an application package seeking approvals from both the Zoning Board of Appeals and the Planning Board, respectively. More specifically, we are requesting that the ZBA approve a modification of the existing use variance. In addition, because the proposed addition is greater than 2,500 gross square feet, we are also including the necessary filing materials for Design and Site Plan Review by the Planning Board in accordance with Section 7.3.2(a) of the Belmont By-Laws.

The following materials are included with this application package (19 copies enclosed):

Tab 2	Application Forms – (a) Variance for modification of an existing use variance and (b) Design and Site Plan Review
Tab 3	Project Narrative
Tab 4	Open House Invitation and Sign-In Sheet
Tab 5	Petition
Tab 6	Building Elevations
Tab 7	Landscape Plan
Tab 8	Letter of Support from the Town of Belmont Fire Department
Tab 9	Letters of Support from Direct Abutters
Tab 10	Zoning Compliance Checklist
Tab 11	Stormwater Management Report
Tab 12	DPH Regulations re: Beds/Parking
Tab 13	DPH Survey Results
Tab 14	U.S. News and World Report
Tab 15	Architectural Plans

As provided in this filing, the proposed addition meets all applicable variance and design and site plan review criteria and will result in substantial benefits to the residents of Belmont Manor, the neighborhood, and the Town of Belmont generally. The addition will provide significant quality of life improvements for Belmont Manor residents as the renovations will increase the number of single and double rooms, rather than triple rooms. The addition will allow us to eliminate two triple rooms within two units. These units are on the west side of the building and the 72 residents that live there are unable to leave the floor due to either infirmity or dementia. The new space, which is next to the only multi-purpose room on each of the units, will allow for additional visiting and dining areas, which will significantly enhance our residents' quality of life. The renovations will also add a much needed new laundry facility as well as additional common area for the residents. In this way, the proposed renovations to the Belmont Manor Nursing Home will allow us to remain in the forefront of high-quality, state of the art nursing care facilities.

Please note that we have engaged in productive outreach with our neighbors prior to filing this application. As a result of these successful discussion, we have agreed to implement landscaping improvements to enhance existing conditions surrounding the property for the benefit of our neighbors. We are pleased to do our part to enhance the quality of the neighborhood.

We appreciate your coordination of the necessary legal notices, advertisements and mailings. It is my understanding that this matter may be scheduled to be heard at the January 8, 2018 joint Planning Board and ZBA meeting. Please feel free to contact me with any questions, or if you require any additional information. Thank you for your assistance.

Sincerely,



Stewart A. Karger
Belmont Manor Nursing Home, Inc.

cc: Paul Finger
David H. Dunlap
Matt Nelson
Peter Tamm, Esq.
Marvin Cine, Esq.

ZONING APPLICATIONS



Town of Belmont
Zoning Board of Appeals

APPLICATION FOR A VARIANCE

Date: December 8, 2017

Zoning Board of Appeals
Homer Municipal Building
19 Moore Street
Belmont, MA 02478

To Whom It May Concern:

Pursuant to the provisions of the Massachusetts General Laws, Chapter 40A, Section 10, as amended, I/we, the undersigned, being the owner(s) of a certain parcel of land (with the buildings thereon) situated on 34 Agassiz Avenue Street/Road, petition your Board to vary the terms of the Zoning By-Laws of the Town insofar as the same applies to the proposed erection of a addition, in accordance with the plan attached hereto, on the ground that (submit a written statement addressing each of these criteria):

1. Owing to circumstances relating to soil conditions, shape or topography of such land or structures and especially affecting such land or structures but not affecting generally the Zoning District in which it is located, a literal enforcement of the Provisions of this By-Law would involve substantial hardship, financial or otherwise, to the petitioner;
2. Desirable relief may be granted without substantial detriment to the public good, (i.e., surrounding neighborhood), and;
3. Without nullifying or substantially derogating from the intent and purpose of this By-Law.

The petitioner(s) seek permission to construct: (brief description and violation)
modification of an existing use variance to construct an addition to the Belmont Manor
Nursing Home, together with associated site plan improvements, as more
specifically described in the Project Narrative attached hereto.

Signature of Petitioner 
Belmont Manor Nursing Home, Inc.
Print Name Stewart A. Karger, President
Address 34 Agassiz Avenue
Belmont, MA 02478
Daytime Telephone Number (617) 489-1200



Town of Belmont
Planning Board

APPLICATION FOR DESIGN AND SITE PLAN REVIEW

(June 27, 2014)

Date: December 8, 2017

Planning Board
Homer Municipal Building
19 Moore Street
Belmont, MA 02478

To Whom It May Concern:

Pursuant to the provisions of Sections 6D, Single and Two-Family Dwellings in the General Residence Zoning Districts, and 7.3, Design and Site Plan Review, of the Town of Belmont Zoning By-Law, I/We the undersigned, being owner(s) of certain parcel of land (with the buildings thereon) situated on 34 Agassiz Avenue Street/Road, hereby make application to your Board for **DESIGN AND SITE PLAN REVIEW** for the erection or alteration on said premises or the use thereof under the applicable Section of the Zoning By-Law of said Town for

construction of an addition to the Belmont Manor Nursing Home, together with associated site improvements, as more specifically described in the Project Narrative attached hereto.

_____ on the ground that the same will be in harmony with the general purpose and intent of said Zoning By-Law.

Petitioner(s) are further to comply with the requirements of Sections 6D and 7.3 of said Zoning By-Law.

Signature of Petitioner


Belmont Manor Nursing Home, Inc.

Print Name

Stewart A. Karger, President

Address

34 Agassiz Avenue
Belmont, MA 02478

Daytime Telephone Number

(617) 489-1200

PROJECT NARRATIVE

**Applications of Belmont Manor Nursing Home, Inc.
for (i) Modification of Existing Use Variance and (ii) Design and Site Plan Review
34 Agassiz Avenue, Belmont, Massachusetts**

PROJECT NARRATIVE

I. INTRODUCTION

A. Prior Zoning Relief for the Property

Belmont Manor Nursing Home ("Belmont Manor") is located within a General Residence Zoning District. In 1966, a use variance (the "1966 Variance") was granted by the Board of Selectmen of the Town of Belmont permitting the construction of Belmont Manor within the General Residence Zoning District. The 1966 Variance allowed the construction of a nursing home facility in accordance with plans approved by the Board of Selectmen. Belmont Manor was constructed pursuant to the 1966 Variance and has been continuously operating since 1967.

In 1991, Belmont Manor Nursing Home, Inc. (the "Applicant") sought and obtained a modification of the 1966 Variance from the Zoning Board of Appeals for the Town of Belmont (the "Board") for the construction of four (4) additions to Belmont Manor in order to upgrade the facility in accordance with then-current nursing home industry standards (the "1991 Modification"). The 1991 Modification also allowed the minimum open space requirements of Section 4.2.1 of the Town of Belmont Zoning By-Laws (the "By-Laws") to vary from the requirement of 40% to 34.72%. Construction under the 1991 Modification also allowed the Applicant to add eleven (11) additional beds to the facility, increasing the aggregate number of permitted beds from 119 to 130.

In 2000, the Applicant sought and obtained a further modification of the 1966 Variance for construction of an addition on the front side of the building (away from Agassiz Avenue) to meet the goal of eliminating certain triple rooms (the "2000 Modification"). The 2000 Modification also allowed the Applicant to increase its allowable beds by one (1) bed from 130 to 131.

Following the Board's approval of the 2000 Modification, the Applicant performed work to the interior of the building, adding one (1) bed, but did not construct the proposed addition, having concluded that it was not financially feasible to do so. In 2007, however, the Applicant elected to proceed with construction of the addition approved by the 2000 Modification, and requested (and received) approval from the Board to do so (the "2007 Modification").

In 2011, the Applicant sought and obtained (i) a further modification of the 1966 Variance for construction of a three-story addition on the west side of the existing nursing home facility, which allowed the Applicant to (x) eliminate all existing four bed patient rooms, (y) reduce the number of triple occupancy patient rooms from 14 to 6 and (z) increase its allowable beds by four (4) from 131 to 135 (the "2011 Variance"), and (ii) a Special Permit from the Board to permit an alteration or extension of the nonconforming building. For the purposes hereof, the 1966 Variance, 1991 Modification, 2000 Modification, 2007 Modification and 2011 Variance are sometimes collectively referred to herein as the "Variance".

B. Proposed Project

Belmont Manor is an existing 3-story, approximately 59,889 square foot building that includes a full basement and two residential floors. The facility has 54 existing parking spaces and is licensed for 135 patients.

As shown on the plans (the "Project Plans"), the Applicant proposes to construct a two and a half story addition with a cellar to the northeasterly portion of the nursing home, which will allow for important renovations within the facility, including an improved bedroom layout and a new laundry facility in the cellar (the "Project"). The footprint of the new addition will be approximately 1,658 square feet, with the second and third floors each comprised of approximately 1,658 square feet. The second and third floors will include two (2) new single rooms and two (2) new double rooms. The addition will enable the Applicant to eliminate the remaining triple rooms on two units, and to similarly increase the number of single and double rooms with the addition of four new beds. The addition maintains the existing architectural character of Belmont Manor, and the roof will be similar to that of the existing building.¹

The addition will enable the Applicant to eliminate the remaining six (6) triple rooms and increase the number of single and double rooms with the addition of four new beds. The new space will also allow for additional visiting and dining areas, which will significantly enhance the quality of life for seventy-two (72) residents. The renovations will also add a much-needed new laundry facility as well as additional common area for the residents. In this way, the proposed renovations will allow Belmont Manor Nursing Home to remain in the forefront of high-quality, state of the art nursing care facilities.

The following summarizes the room reconfiguration in connection with the Project:

Existing Bed Configuration	Proposed Bed Configuration
Single Rooms: 15 = 15 beds	Single Rooms: 21 = 21 beds
Double Rooms: 51 = 102 beds	Double Rooms: 59 = 118 beds
Triple Rooms: 6 = 18 beds	Triple Rooms: 0 = 0 beds
Quad Rooms: 0 = 0 beds	Quad Rooms: 0 = 0 beds
Total 135 beds	Total 139 beds

The Project will also involve planting of significant additional landscaping and buffering areas for the benefit of the neighbors located on Agassiz Avenue.

II. REQUESTED RELIEF

A. Modification of Use Variance

Pursuant to Section 7.6.2 of the By-Laws, the Applicant hereby requests that the Board approve a modification of and amendment to the terms and conditions of the Variance to allow the construction of the Project. We note that, although use variances are no longer authorized under the By-Laws, Section 7.6.2 grants the Board the authority to modify a use variance granted prior to January 1, 1976.²

¹ The height of the existing building was approved on July 15, 2011 in Case No. 11-05 using average grade of 57.7 ft. and measured to the top of peak as defined at that time. The height of the addition is measured relative to average grade of 58.3 ft. (including grade around proposed addition), and measured to the midpoint between the lowest and highest points of the roof for gable, hip and gambrel roofs as defined in the 2017 Belmont By-Laws.

² The grant of the 1966 Variance allows for the expansion of this use.

B. Design and Site Plan

Pursuant to Section 7.3.2 of the By-Laws, Design and Site Plan Review is required for any new building in any zoning district in excess of 2,500 square feet and/or the reconfiguration of 6 or more parking spaces. Because the addition to the existing nursing facility will be in excess of 2,500 square feet, the Applicant is also submitting for Design and Site Plan Review in order to proceed with the construction of the Project.

C. Requirement for Relief

The relief requested is necessitated by continued changes in managed care and the resulting changes in the operation of nursing homes. Nursing homes are an important component of the health care industry that are becoming increasingly complex. As the nursing home market continues to be stressed by an increasing demand for services combined with a constrained growth rate, Belmont Manor remains one of the preeminent facilities not only in the Commonwealth of Massachusetts as demonstrated by Belmont Manors' continued deficiency free surveys from the Department of Public Health, but also in the country, as evidenced by its 5-star rating in the U.S. World News Report, due to its ability to adapt to these changes within the industry and prescience in determining what a modern first-rate facility should have in terms of amenities and staff personnel. Because hospitals are discharging patients sooner and in a more critical state, residents are coming to Belmont Manor (or being returned to Belmont Manor) in need of first-rate medical care. In addition, due to the increased popularity of assisted living facilities and home health care, many elderly and ill people now begin their care at home or in assisted living facilities, only coming to a nursing home such as Belmont Manor when they are in need of a higher level of medical care and attention.

The residents of Belmont Manor deserve modern amenities that will improve their quality of life, and, as the steward of this nursing care facility, the Applicant believes that such upgrades to Belmont Manor can best be facilitated through the Project. Regulatory and market demands require additional area be allocated per resident in order to accommodate bed rooms, social areas, and visiting areas for families. This will allow Belmont Manor to remain as the gold standard for nursing care facilities.

III. APPLICANT'S NEIGHBORHOOD AND MUNICIPAL OUTREACH EFFORTS

A. Neighborhood Outreach

As described above, from the very early stages of the Project, the Applicant has reached out to, and communicated extensively with, its neighbors about the Project – seeking their input on design and proposed mitigation. The Applicant met with neighbors, offering information about the Project and an opportunity for comment and discussion, on the following dates:

- February 1, 2017
- March 12, 2017
- April 5, 2017
- June 1, 2017
- October 19, 2017
- October 26, 2017
- November 1, 2017
- “Open House” on November 2, 2017
- November 24, 2017
- November 26, 2017

- December 4, 2017

The Applicant sent out over 69 invitations to its open house held on November 2, 2017. Two (2) residents from the neighborhood attended this open house. A copy of the invitation sent to neighbors, as well as the sign-in sheet, is included in Tab 4 of the application. Many of Belmont Manor's neighbors have signed a petition in support of this application, a copy of which is also included in Tab 5. The Applicant has continually refined the Project design and mitigation commitments over the last year as a result of neighborhood input, and the Project therefore is reflective of the collaborative approach that the Applicant has undertaken with this development. The Applicant has also agreed to implement landscaping improvements, as shown on the Site Plans, to enhance existing conditions surrounding the property for the benefit of its neighbors.

B. Meetings with Town Officials

In addition to its meetings with neighbors, the Applicant has also met with municipal officials to discuss and review the Project. The Applicant met with Chief Kenneth Gardiner of the Belmont Fire Department on October 26, 2017. A copy of the Belmont Fire Department's letter in support of the Project is included in Tab 8 of this application.

The Applicant also met with members of the Office of Community Development, including Glenn Clancy, Jeffrey Wheeler and Ara Yogurtian on November 1, 2017, and again with Jeffrey Wheeler on December 4, 2017.

IV. ADDITIONAL INFORMATION REGARDING THE PROJECT

A. Operational Impacts

The addition of four new beds, and the reconfiguration of existing rooms, in connection with the Project will not impact the existing operation of Belmont Manor – no new staff or resources will be required.

B. Traffic, Parking, and Access

Based upon actual parking demand at the facility, the Applicant expects that any incremental traffic impacts of the Project will be minimal. It is anticipated that the four new beds associated with the Project will result in only 4 new vehicular trips over a 7-day period (less than 1 trip per day). Traffic to and from Belmont Manor therefore will continue to be processed the same manner as it is today. Similarly, no new material parking demand will result from the Project. The Planning Board may confirm this in the course of Design and Site Plan Review in accordance with Section 5.2.1(i) of the Belmont By-Laws.

Belmont Manor's current access driveway off of Agassiz Avenue will remain unchanged.

C. Lighting

No new site or parking lot lighting is anticipated in connection with the Project. The Applicant has already ensured that existing post lighting is properly shielded to limit spillover or glare onto abutting properties. All building lighting for the addition will utilize fully shielded, full cut-off style fixtures to limit spillover onto abutting properties. No flood-type building lighting will be installed.

D. Utilities

The existing water, sewer, and other utilities will continue to serve Belmont Manor following construction of the addition. Since the addition is being constructed over the existing utility services, they will be replaced/relocated in the some configuration, as shown on the Site Utility Plan.

E. Stormwater Treatment

Stormwater from the roof will be collected in gutters and downspouts and directed to an infiltration system. The stormwater system will be designed in conformance with the applicable provisions of Massachusetts Stormwater Management Policy, guidelines and the Town's Stormwater and Erosion Control Bylaw. For the Board's information, a copy of the Applicant's Stormwater Management Report is included with this Application.

F. Refuse Removal

Refuse removal will continue to be conducted as it currently is performed, outside of the view of residential abutters.

G. Noise

The Project will have minimal impact, if any, on sound levels in the vicinity of the Project site. Existing HVAC systems will be updated as necessary to incorporate the addition. These HVAC units are specifically designed to operate at low noise levels and will comply with the Town of Belmont's Noise Bylaw.

H. Landscaping and Screening

Based upon a number of discussions and meetings with neighbors, the Applicant has committed to install extensive landscaping and screening, both on its own property and on abutting properties, as shown on the landscaping plans included in Tab 7 of the application. Therefore, any visual or other minor impacts of the Project will be carefully mitigated through the Applicant's implementation of this screening, landscaping, and plantings.

V. SATISFACTION OF VARIANCE REQUIREMENTS

The Variance modification requested by the Applicant pursuant to Section 7.6.2 of the By-Laws is warranted because the Project satisfies the variance criteria set forth in said Section 7.6.2, as follows:

A. The soil conditions, shape and topography of the land on which Belmont Manor is situated do not generally affect the zoning district in which Belmont Manor is located.

Belmont Manor is situated on a triangular lot abutting conservation land containing mostly wetlands. While the land that abuts Belmont Manor is substantially higher and generally suitable for residential construction, the Property itself is located in a depressed valley or swale, and has surface and soil conditions that do not render it suitable for residential construction (or any other use expressly permitted within the General Residence Zoning District) due to the costs involved. The shape, soil, and topography characteristics noted above apply only to Belmont Manor and do not apply to other properties within the General Residence Zoning District. As a result of these conditions, together with the close proximity of Belmont Manor to abutting conservation land and neighboring residential properties – all of which uniquely affect the Applicant's property – the developable area at Belmont Manor is extremely limited. The area of the Project (on already improved land) therefore is the only feasible area on which to construct the addition.

- B. A literal enforcement of the provisions of the By-Laws would involve substantial hardship, financial or otherwise, for the applicant and the residents of Belmont Manor.

As discussed above, the Project is driven by the changing health care climate and resulting changes in the needs of residents of Belmont Manor. Due to these changes, as well as residents' increasing demands for private and semi-private rooms, more square footage is required per resident in order to provide medical equipment to assist residents, accommodate family members and other visitors, and provide residents with their desired level of privacy. Without this addition, the quality of care that Belmont Manor would be able to provide residents would be compromised and, as a result, substantial hardship would occur for both the Applicant as the provider of these services and the residents of Belmont Manor as the recipients.

Belmont Manor has since its inception been a state-of-the-art facility committed to providing the highest quality of care for its residents. As a result of this commitment, Belmont Manor has consistently been found to be in compliance with all Massachusetts Department of Public Health regulations and requirements. The proposed addition will allow Belmont Manor to remain a five-star state-of-the-art facility in the Town of Belmont. Without the proposed addition, the applicant would suffer hardship as a result of not being able to continue to provide first-rate services to its residents.

- C. The requested Variance modification may be granted without substantial detriment to the public good and without nullifying or substantially derogating from the intent or purpose of the By-Laws.

The requested relief will not be a detriment to the public good but will in fact benefit the public good by providing the following benefits:

- (i) Any visual or other minor impacts of the Project on abutting residential properties will be carefully mitigated through the Applicant's generous use of screening, landscaping, and plantings.
- (ii) Due to the elimination of all triple rooms, together with a commensurate increase in the number of single and double rooms, approximately 84 residents of Belmont Manor will directly benefit from an improved level of care due to increased capacity for medical equipment and family visits in their immediate living areas, and the Applicant will be able to continue to provide the amenities of a five star, state-of-the-art elderly care facility in the Town of Belmont.

Furthermore, the relief will not nullify or derogate from the intent or purpose of the By-Laws. The By-Laws allow for uses similar to nursing home uses by special permit in the General Residence District, including hospitals, sanitariums, and elderly housing. Belmont Manor is the only nursing home in the Town of Belmont and provides critical services for residents of the Town. By proactively engaging the neighborhood in planning for the Project, the Applicant has ensured that the Project provides protections that are central to the purpose and intent of the By-Laws, and to the existing Variance itself: substantial landscaping and screening improvements, appropriate mitigation of all Project impacts, and creation of an improved condition for the neighborhood and the community as a whole.

VI. SATISFACTION OF DESIGN AND SITE PLAN APPROVAL REQUIREMENTS

The site plan approval requested by the Applicant pursuant to Section 7.3 of the By-Laws is warranted because the Project satisfies the site plan approval criteria set forth in Section 7.3.5, as follows:

- B. The dimensions of the proposed building, lot, and lot coverage shall comply with the requirements in Section 4 of the By-Laws.

As set forth in the Zoning Compliance Checklist attached as Tab 10 to the application, the Project complies with all applicable dimensional requirements. However, note that the existing structure is currently classified as legally nonconforming with respect to height.

- B. The arrangement of parking and loading spaces, internal traffic circulation, and traffic controls in relation to the proposed uses complies with Section 5.1 of the By-Laws.

As described above, the addition of four new beds, and the reconfiguration of existing rooms, in connection with the Project will not impact the existing operation of Belmont Manor – no new staff or resources will be required. The Applicant therefore expects that any traffic impacts of the Project will be minimal. It is anticipated that the four new beds associated with the Project will result in only 4 new vehicular trips over a 7-day period (less than 1 trip per day). Traffic to and from Belmont Manor therefore will continue to be processed safely and efficiently – in the same manner as it is today.

Parking similarly will be only minimally impacted by the Project. While the By-Laws do not prescribe parking requirements for nursing home uses, Belmont Manor will continue to provide spaces well in excess of the “1 space per 4 beds” standard set forth in the regulations of the Massachusetts Department of Public Health (1 space per 2.5 beds will be provided). The Applicant has also secured temporary parking rights during construction of the Project, to avoid impacts on the existing operation of Belmont Manor.

The configuration and design of the parking area (including individual spaces) and access driveway ensures that vehicles will be able to move safely and efficiently through the site. The site and parking area improvements associated with the Project comply with the requirements of Section 5.1 of the By-Laws.

- C. All signs shall comply with Section 5.2 of the By-Laws.

The Project will not involve any modifications to existing site signage, and there will be no new signs.

- D. All landscaping requirements comply with Section 5.3 of the By-Laws.

Based upon a number of discussions and meetings with neighbors, the Applicant has committed to install substantial landscaping and screening to minimize any visual impacts of the Project on abutting properties, as shown on the landscaping plans included in Tab 7 of the application. Therefore, any visual or other minor impacts of the Project will be carefully mitigated through the Applicant’s use of screening, landscaping, and plantings. The landscaping improvements associated with the Project meet or exceed the requirements set forth in Section 5.3 of the By-Laws.

- E. The method to dispose of refuse and other waste is located within the structure.

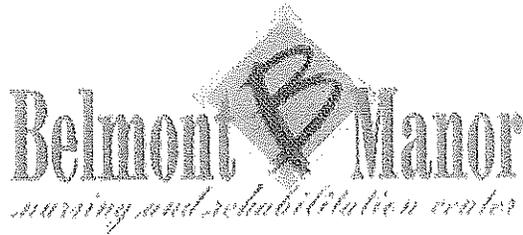
As noted above, refuse removal, which is currently conducted outside the building in an area outside of the view of residential abutters, will continue to be conducted as it currently is performed.

- F. All environmental controls comply with Section 5.4 of the By-Laws.

As noted above, no new site or parking lot lighting is anticipated in connection with the Project. The Applicant has already ensured that existing post lighting is properly shielded to limit spillover or glare onto abutting properties. All building lighting for the addition will utilize fully shielded, full cut-off style fixtures to limit spillover onto abutting properties. No flood-type building lighting will be installed.

In addition, the Project will have only a minimal impact on sound levels in the vicinity of the Project site. Following its discussions with neighbors, the Applicant has committed to use HVAC units that are specifically designed to operate at low noise levels. In these and all other respects, the improvements associated with the Project comply with Section 5.4 of the By-Laws.

**OPEN HOUSE INVITATION
AND
SIGN IN SHEET**



September 25, 2017

Dear Neighbor,

I am writing to extend an invitation to an Open House at Belmont Manor on Thursday, November 2, 2017 at 7:00pm. The purpose of this open house is to provide information to our neighbors regarding a proposed addition that we are contemplating. We would like to solicit your input and support prior to submitting any documentation to the Town of Belmont.

The scope of the addition is limited. We are proposing to build a small addition on the east side of the building on the front lawn. The addition would have 2 stories above ground and 1 story below ground (basement). The addition would be approximately 1,400 square feet per floor foot print housing 2 single bedrooms and 2 double bedrooms. The basement would house a new laundry.

As you may know, Belmont Manor's mission is to continue to be a leader in short term rehabilitation and long term care. We have been ranked a Five Star facility for the past 6 years, and ranked among the best nursing facilities, not only in Massachusetts, but in the country. By eliminating the remaining 6 three bedrooms, the 18 residents that reside in these rooms would greatly benefit and their quality of life enhanced. We would also be able to convert additional interior space into sitting/dining areas, to give residents choices where they eat, and relax. The current census of Belmont Manor is 135 beds. We are proposing to add 4 beds for a total new census of 139 beds. The additional beds have been designed and would be distributed so that no new staff will be needed. Therefore, there will be virtually no impact to the neighborhood. Belmont Manor, as in the past, is committed to providing the best care for our residents as well as being a good neighbor. We want to continue to be the only premier elder care provider in Belmont.

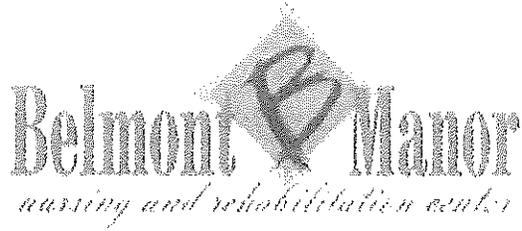
The addition has been designed to have little to no visual or impact on most of the neighborhood. I have met with the neighbors that live directly behind the proposed addition. These neighbors have already seen the sketches and are in complete support of the proposal. Landscaping and site work will be done to enhance the north and east sides of the addition.

I look forward to seeing you at the Open House where you will be able to view our plans, ask questions or voice any concerns. If you are unable to attend, please do not hesitate to contact me directly at 617-489-1200 and I would be happy to answer any of your questions.

Sincerely,

A handwritten signature in cursive script that reads "Stewart A. Karger".

Stewart A. Karger,
Administrator



OPEN HOUSE - NOVEMBER 2, 2017

NAME

ADDRESS

George Kukulis

40-42 AGASSIZ AVE BELMONT MA 02471

Janet Collett

31 Agassiz

PETITION



A PETITION TO THE BELMONT ZONING BOARD OF APPEAL

We the undersigned are sending you this petition to notify you of our full support for the variance for Belmont Manor Nursing Center's proposed addition.

It is our understanding that Belmont Manor is seeking to add a two story addition with a basement on the east side of the building. The additional space will be Resident single and double rooms which will allow Belmont Manor to eliminate the remaining six triple bedrooms. Additionally, we will be able to create more social areas for our Residents to dine, relax and visit. The census is proposed to go from 135 (currently) to adding four beds, for a total of 139

We are all either immediate abutters or close neighbors to Belmont Manor and we are the ones who would be most closely affected by this addition..

<u>NAME</u>	<u>ADDRESS</u>	<u>TELEPHONE #.</u>
Elizabeth & Dionne	48 Agassiz Ave (owner)	617-932-1624
Keith Dionne	48 Agassiz Ave (owner)	617-319-4350
Tom Pappas	64 Agassiz Ave	607 484 6870
Patric Phillip	64 Agassiz Ave	607 484 6870
Gert Caspritz	53 Moraine St	617 407 2965
Mammoth	35 MORRIS ST	732 332 8259
M. J. M.	15 MORRIS ST	617-452-6889
Scott MORRIS	56 AGASSIZ AVE	617-955-7170
Jordan Hampton	52 Agassiz Ave	617 480 7586
Paul Sullivan	52 Agassiz Ave	617 596 9357
J. King	82 Agassiz Ave	617-610-8738
M. W. H.	96 Agassiz Ave.	404-422-7777
Christine O'Neill	35 Agassiz Ave.	617. 489. 4456



A PETITION TO THE BELMONT ZONING BOARD OF APPEAL

We the undersigned are sending you this petition to notify you of our full support for the variance for Belmont Manor Nursing Center's proposed addition.

It is our understanding that Belmont Manor is seeking to add a two story addition with a basement on the east side of the building. The additional space will be Resident single and double rooms which will allow Belmont Manor to eliminate the remaining six triple bedrooms. Additionally, we will be able to create more social areas for our Residents to dine, relax and visit. The census is proposed to go from 135 (currently) to adding four beds, for a total of 139

We are all either immediate abutters or close neighbors to Belmont Manor and we are the ones who would be most closely affected by this addition..

<u>NAME</u>	<u>ADDRESS</u>	<u>TELEPHONE #.</u>
Kathleen M Allen	43 Agassiz Ave	617-216-8192
Daniel Blum	25 Agassiz Ave	916-902-2880
Chris	40 AGASSIZ AVE	617 312-8920
Philip Rossini	35 Agassiz Ave	617-489-4456
Derek Tommy	26 Agassiz Ave	617-699-1455
Keany Shea	55 Moraine St	781-608-3140
Bai Sun	11 Moraine St	617-407-2440
Pam Ann	27 Agassiz Ave	617 484 7163
Todd DeWald	57 Agassiz Ave	617-483-8222
Philip Lawrence	68 Agassiz Ave	617 592-3009
Lillian Lakes	562 Tropelo Rd	404-734-4044
SILVIA VATAI	564 Tropelo Rd	617-250-7564



A PETITION TO THE BELMONT ZONING BOARD OF APPEAL

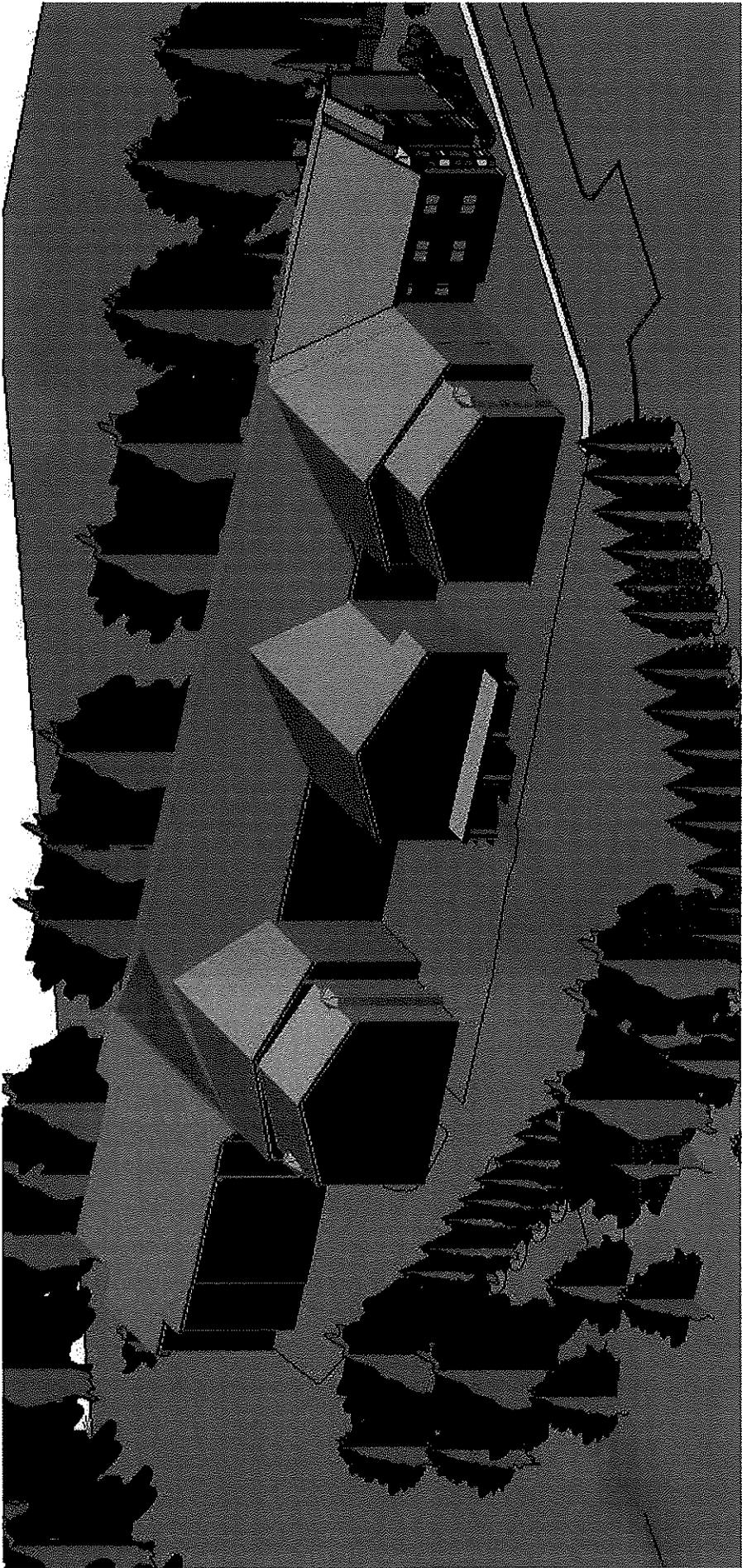
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<u>NAME</u>	<u>ADDRESS</u>	<u>TELEPHONE #.</u>
Jessica Shursky	5108 Trapelo Rd	1017 354 8970
NATHALY TURKOWIAK	566 Trapelo Rd	310 736 5739 -
McMullin	570 Trapelo Rd.	323.841.4418
Alexandra Sprague	592 Trapelo Rd. 1	774-266-1975
Robert Martiney	620 Trapelo Rd	617 301 0587
Daryl E. Benson	39 Agassiz Ave	477 484-1105

BUILDING ELEVATION



LANDSCAPE PLAN

FIRE DEPARTMENT E-MAIL

Stewart Karger

From: Gardiner, Kenny <kgardiner@belmont-ma.gov>
Sent: Thursday, December 21, 2017 9:12 AM
To: Wheeler, Jeffrey; Yogurtian, Ara
Cc: 'Stewart Karger'; Frizzell, David
Subject: ZBA/Planning Board

Jeffrey/Ara,

I met with Mr. Karger a few weeks back and went over the preliminary plan for the addition to the Belmont Manor Nursing Home . Fire department access was discussed , driveway width compliance of 20', etc., and extension of fire alarm and sprinkler protection into new addition. Of course final acceptance/ approval will be necessary in future with final plan submission but as of now no issues are present for Fire Prevention.

Regards

Captain Gardiner

Captain Ken Gardiner Jr, Fire Inspector I
Belmont Fire Prevention Bureau
FF Roland A. Weatherbee Fire Headquarters
299 Trapelo Road
Belmont Mass. 02478
Phone: 617-993-2207
Fax : 617-993-2211



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ZONING COMPLIANCE CHECK LIST

Zoning Compliance Check List (Registered Land Surveyor)

Property Address: 34 Agassiz Avenue

Zone: GR

Surveyor Signature and Stamp:



Date: 12/22/17

	REQUIRED	EXISTING	PROPOSED
Lot Area	5,000	79,680	79,680
Lot Frontage ¹	50	92.33	92.33
Floor Area Ratio	N/A	N/A	N/A
Lot Coverage	30% (23,904 sf)	25.5% (20,312 sf)	27.7% (22,082 sf)
Open Space	40% (31,872 sf)	42% (33,477 sf)	40% (31,878 sf)
Front Setback	20	121.6	120.8
Side Setback	10	58.1 (east)	50.8 (east)
Side Setback	10	21.2 (north)	21.2 (north)
Rear Setback	12	20.5	20.5
Building Height	33	32.4 ²	30.2 ³
Stories	2 1/2	3	2 1/2 ⁴
1/2 Story Calculation			

NOTES:

(1) Property Frontage is on Agassiz Avenue.

(2) Height of existing building as approved on July 15, 2011 in Case No. 11-05 using average grade of 57.7.

(3) Height of proposed addition measured relative to average grade of 63.3 (grade around proposed addition).

(4) The addition consists of a cellar and 2 1/2 floors above

LETTERS OF SUPPORT
FROM DIRECT ABUTTERS

Stewart Karger

From: George Kokoros <gkokoros@gmail.com>
Sent: Monday, November 20, 2017 3:24 PM
To: Stewart Karger
Subject: RE: Proposed Building Expansion of Belmont Manor Nursing Facility

To Whom It May Concern:

Our property located at 40-42 Agassiz Avenue, directly abuts Belmont Manor Nursing located at 34 Agassiz Ave. The administrator and owner of the Nursing Home, Mr. Stewart Karger, approached my parents and me as he began making plans for an expansion along the eastern side of his business property. We naturally had very legitimate concerns and questions about how this expansion would affect the privacy, aesthetics, light/noise levels, and overall enjoyment of our property.

Mr. Karger has met with us several times along with his landscape architect and showed us building and landscape design plans that will completely hide the new addition from view, address land grading issues, and improve the overall privacy and landscaping along the entire border of our properties.

With these assurances and considering that Mr Karger has been a thoughtful neighbor for many years, we are comfortable supporting the expansion plans as we understand them.

Best,

George Kokoros 617-312-8920
James & Vaso Kokoros 617-484-5604
40-42 Agassiz Avenue
Belmont, MA 02478



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Stewart Karger

From: Elizabeth Harmer Dionne <eharmerdionne@comcast.net>
Sent: Monday, June 26, 2017 7:57 PM
To: Stewart Karger
Cc: Keith Dionne; Lauren Szufat; Owen Cunningham
Subject: RE: FW: Meeting on April 5

Dear Stewart:

Thank you for meeting with us on June 1. As we indicated when we met, we support the proposed addition to Belmont Manor, provided you create the privacy landscaping screening as proposed in the models you showed us.

When you have an opportunity, could you please send us a .pdf of the proposed landscaping screening? We would like to share that with our tenants as well.

Best regards,

Elizabeth Dionne

55 Wellesley Road

Owner, 48 Agassiz Ave

Belmont, MA 02478

On June 2, 2017 at 2:06 PM Stewart Karger <stewartkarger@belmontmanor.com> wrote:

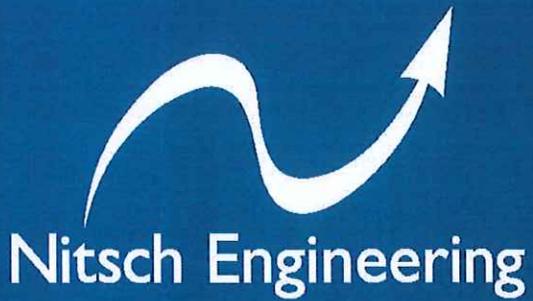
Good afternoon Elizabeth,

I want to thank you for taking the time to meet with me last evening. I am glad that Belmont Manor and myself will be able to achieve our goals with the proposed addition. In addition, enhance your property by providing more privacy for your tenants. When you have a chance, I would appreciate if you could send me a note stating your support.

Thank you again, and have a nice weekend.

Stewart

STORM WATER MANAGEMENT REPORT



December 6, 2017

**STORMWATER
MANAGEMENT REPORT**

For

BELMONT MANOR NURSING CENTER
Belmont, Massachusetts

Prepared for:

Paul Finger Associates
14 Spring Street
2nd Floor
Waltham, MA 02453

Prepared by:

NITSCH ENGINEERING, INC.
2 Center Plaza, Suite 430
Boston, MA 02108

NITSCH PROJECT #11069
SITE UTILITIES



Nitsch Project #11069

Matthew T. Brassard
12/6/2017

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1.0 PROJECT BACKGROUND

The Belmont Manor Nursing Center is situated on a 1.8-acre parcel located at 34 Agassiz Avenue in Belmont Massachusetts. It is bounded to the north & east/southeast by residential properties, and to the west/southwest by Commonwealth of Massachusetts property. Most of the site is developed and includes an existing building, parking and access areas, and landscape improvements.

The existing drainage system serving the building areas and parking facility consists of standard deep-sump hooded catch basins and a closed pipe network that ultimately discharges to Beaver Brook via an 18" diameter piped connection approximately 110 feet in length. In addition to runoff generated by the project site, this discharge pipe also receives runoff collected offsite by the municipal drainage pipe network located in Agassiz Avenue. A 15" municipal drain line crosses the subject property and connects to the existing 18" discharge pipe immediately downstream of the terminus of the on-site drainage system.

Exterior improvements to the existing building, landscape, and drainage systems were recently completed under a previous Order of Conditions issued by the Belmont Conservation Commission. Drainage improvements were completed for both the on-site private and municipal drainage systems which meet and exceed the Massachusetts Department of Environmental Protection Stormwater Management Standards (DEP Standards). Improvements to the existing drainage system associated with the above-referenced project included the following:

- Installation of a treatment chamber,
- Installation of pervious pavers, and
- Construction of a rain garden.

An approved Stormwater Management System Operation and Maintenance Plan was also created for the property and approved as part of that permitting process.

2.0 PROPOSED IMPROVEMENTS

2.1 Building Addition

The proposed project involves the construction of a small addition to the facility with a footprint of approximately 1,770 sf. No changes to the parking lot are proposed other than a minor relocation of the curb line near the delivery area. Although the addition is less than the 2,500 sf of alteration threshold that designates a regulated activity, the landscape improvements and stormwater improvements described below will likely result in a total disturbed area that exceeds the threshold.

2.2 Runoff Mitigation

The stormwater runoff generated by the proposed addition will be conveyed by downspouts and collector pipe to a subsurface recharge system consisting of a perforated pipe in a crushed stone bed. The system will be sized to mitigate the increase in runoff generated by the roof area of the building addition, with an overflow connection to the existing drainage pipe system.

2.3 Erosion Control

Due to the relatively small construction area, typical erosion control will be limited to installation of silt sacks in catch basins in the adjacent parking lot, and street sweeping. Additional erosion control can be incorporated into the plan as required and detailed in the application for the Stormwater Management permit.

3.0 MassDEP Stormwater Management Standards

The Project will be considered a **redevelopment** under the DEP Stormwater Management Standards. However, the Project is designed to meet and exceed the MassDEP Stormwater Management Standards as summarized below:

Standard 1: No New Untreated Discharges or Erosion to Wetlands

The Project will not generate any runoff requiring treatment under the DEP Standards (roof and landscape runoff only). The Project will not generate stormwater flow capable of causing erosion.

Standard 2: Peak Rate Attenuation

Existing peak discharge rates from the project will be maintained by infiltration of the roof runoff. No impacts on downstream flood conditions are anticipated for this small redevelopment project.

Standard 3: Groundwater Recharge

The static recharge volume provided by the infiltration trench exceeds the required recharge volume for the Project.

Standard 4: Water Quality Treatment

Not applicable; no runoff requiring treatment under the DEP Standards will be generated by the Project (roof and landscape runoff only).

Standard 5: Land Uses with Higher Potential Pollutant Loads

Not applicable; the Project does not contain Land Uses with Higher Potential Pollutant Loads.

Standard 6: Critical Areas

Not applicable; the Project is not located within any critical areas.

Standard 7: Redevelopments

The Project is considered a redevelopment under the MassDEP Stormwater Management Standards. However, all applicable Standards have been fully met.

Standard 8: Construction Period Pollution Prevention and Sedimentation Control

Any sediment generated by this small construction site will be contained by the basic site erosion controls proposed.

Standard 9: Operation and Maintenance Plan

A post-construction operation and maintenance (O&M) plan was prepared under a previous permitting process. The existing O&M plan will be modified to include the stormwater recharge BMP proposed for the Project.

Standard 10: Prohibition of Illicit Discharges

An illicit discharge statement is included in the existing Operation and Maintenance Plan.

DPH BEDS/PARKING REGULATIONS

105 CMR 150.000: LICENSING OF STANDARDS FOR LONG-TERM
CARE FACILITIES

SECTION

- 150.001: Definitions
- 150.002: Administration
- 150.003: Admissions, Transfers and Discharges
- 150.004: ~~Patient-Resident~~ Care Policies
- 150.005: Physician Services
- 150.006: Other Professional Services and Diagnostic Services
- 150.007: Nursing Services
- 150.008: Pharmaceutical Services and Medications
- 150.009: Dietary Service
- 150.010: Restorative Therapy Services: Physical Therapy, Occupational Therapy, Speech, Hearing and Language Therapy (and Therapeutic Recreation in a SNCFC)
- 150.011: Social Services
- 150.012: Activities and Recreation
- 150.013: Clinical and Related Records
- 150.014: Utilization Review
- 150.015: ~~Patient-Resident~~ Comfort, Safety, Accommodations and Equipment
- 150.016: Environmental Health and Housekeeping
- 150.017: ~~Construction and Equipment Reserved-~~
- 150.018: **Hospital Based Long-Term Care Facilities (HB/LTCF) - Provisions Regarding the Sharing of Services**
- 150.019: Education Services (SNCFC)
- ~~150.020: Supplement A: Limited Nursing Care in Certain Level IV Units~~
- 150.021: Support Services Plan for Level IV Community Support Facilities
- 150.022: Standards for Dementia Special Care Units
- 150.023: DSCU Definitions
- 150.024: Staff Qualifications and Training
- 150.025: Content of Training
- 150.026: Therapeutic Activity Directors in Dementia Special Care Units
- 150.027: Activities in Dementia Special Care Units
- 150.028: Dementia Special Care Unit Disclosure Requirement
- 150.029: Physical Environment for Dementia Special Care Units
- 150.030: Definitions
- 150.031: Provision of Information on Palliative Care and End-of-Life Options
- 150.100: **State and Local Rules**
- 150.110: **Type of Construction**
- 150.120: **Determination of Need Approvals**
- 150.130: **Conversions**
- 150.140: **Reserved**
- 150.150: **Special Requirements: HB/LTCF**
- 150.160: **Restrictions**
- 150.200: **Location**
- 150.210: **Roads and Walks**
- 150.220: **Parking**
- 150.230: **Provisions for Individuals with Disabilities**
- 150.240: **Outdoor Recreation**
- 150.300: **Maximum Number of Beds –Nursing Care Units**
- 150.310: **Required Supporting Elements – Nursing Care Units**
- 150.320: **Bedrooms – Nursing Care Units**

150.330: Special Care Room – Nursing Care Unit
150.340: Nurses Station
150.350: Medicine Room – Nursing Care Units
150.360: Activity Area – Nursing Care Units
150.370: Resident Bathrooms and Washrooms
150.380: Storage Areas -- Nursing Care Units
150.390: Utility Rooms -- Nursing Care Units
150.400: Maximum Number of Beds – Resident Care
Units
150.410: Required Supporting Elements – Resident Care Units
150.420: Resident Bedrooms -- Resident Care Units
150.430: Special Care Room -- Resident Care Units
150.440: Attendant's Station
150.450: Medicine Closet -- Resident Care Units
150.460: Activity Areas -- Resident Care Units
150.470: Resident Bathrooms and Washrooms -- Resident Care Units
150.480: Storage Areas -- Resident Care Units
150.500: Storage Areas
150.510: General and Special Activity Areas
150.520: Examination and Treatment Room
150.530: Office Space
150.540: Restorative Service Areas
150.550: Staff and Public Toilets and Washrooms
150.560: Central Kitchen
150.570: Central Dining
150.580: Nourishment Kitchen
150.590: Central Laundry
150.600: Corridors
150.610: Ramps
150.620: Stairs and Stairways
150.630: Doors and Doorways
150.640: Windows
150.650: Carpeting
150.660: Room Surface Finishes
150.670: Ceiling Heights In Resident Areas
150.700: Heating and Air Conditioning Systems
150.710: Ventilation Systems
150.720: Water Supply
150.730: Sewerage
150.740: Elevators
150.750: Refrigeration
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150.810: Night Lights
150.820: Reading Lights
150.830: Emergency Electrical Systems
150.840: Electrical Outlets
150.850: Call Systems
150.860: Telephone Systems
150.1000: Severability

150.300: Maximum Number of Beds -- Nursing Care Units

- (A) Level I and II nursing units shall consist of not more than 41 beds.
- (B) Level III nursing units shall consist of not more than 60 beds.
- (C) A nursing unit shall not encompass beds on more than one floor.
- (D) An HB/LTCF shall consist of at least 20 but not more than 41 beds.

150.310: Required Supporting Elements -- Nursing Care Units

A unit shall have, centrally located within its area, a special care room, a nurse's station, a nurse's toilet, a walk-in medicine room, a clean utility room, a soiled utility room, a linen storage closet, a drinking fountain or water dispenser, a janitor's closet and a room for the storage of supplies and equipment.

150.320: Bedrooms -- Nursing Care Units

(A) Floor Area.

- (1) The floor area of resident bedrooms, excluding closet, vestibule and toilet room areas shall not be less than 125 square feet for single occupancy rooms and 90 square feet per bed for multiple occupancy rooms.
- (2) For HB/LTCFs, the floor area of resident bedrooms, excluding closet, vestibule and toilet room areas shall not be less than 100 square feet for single occupancy rooms and 80 square feet per bed for multiple occupancy rooms.

(B) No resident bedroom shall contain more than two beds.

(C) Rooms shall be shaped and sized so each bed can be placed at least three feet from any lateral wall and at least three feet from any window or radiator. Beds shall be spaced at least three feet from any other bed and an unobstructed passageway of at least four feet shall be maintained at the foot of each bed.

(D) Resident bedrooms shall have a floor level above the grade level adjacent to the building.

(E) All resident bedrooms shall be along exterior walls with window access to the exterior.

(F) All resident bedrooms shall open directly to a main corridor and shall be permanently and clearly identified by number on or beside each entrance door.

151.200: Location

Each facility shall be located on a site subject to the approval of the Department. Sites shall be away from nuisances such as large commercial or industrial developments or similar developments that produce high levels of noise or air pollution; and shall afford a safe, sanitary and pleasant environment for patients.

151.210: Roads and Walks

Roads and walks shall be provided separately within the lot lines to the main entrance, ambulance entrance, kitchen entrance and the delivery and receiving areas.

151.220: Parking

(A) Parking shall be provided in accordance with the provisions of local zoning and building ordinances, but in no case shall the ratio of offstreet parking be less than one parking space for each four beds. Exception to this requirement may be granted only with the approval of the Department.

(B) For HB/LTCF,

(1) if access to an LTCF is through the main hospital entrance, that portion of existing hospital parking nearest the entrance shall be reserved for LTCF visitors.

(2) if access is provided by a separate entrance, existing parking nearest the entrance shall be designated for the visitors.

151.230: Provisions for Handicapped

(A) Gradients of Walks. Public walks shall be not less than four feet wide and shall have a gradient of not greater than 8%.

(B) Walks -- Continuous Surface. Walks shall be of a continuing common surface, not interrupted by steps or abrupt changes in level. Wherever walks cross other walks, driveways or parking lots, they shall blend to a common level.

(C) Handicapped Parking.

(1) At least two parking spaces shall be provided and identified for use by the physically handicapped. These spaces shall be in close proximity to the building entrance.

(2) Such parking spaces, if diagonal or headon, shall be not less than 12 feet wide to allow proper access in or out of vehicles.

(3) Walks and ramps from parking areas, garages, *etc.* shall conform to 105 CMR 151.230(A) and (B).

(4) Access from parking areas through a primary building entrance shall be a continuous level or ramped surface without steps or abrupt changes in level.

151.240: Outdoor Recreation

Outdoor recreational area for patients of at least 25 square feet per bed shall be provided for 100% of total authorized beds and shall exclude parking areas. Exceptions to this requirement may be granted only with the approval of the Department.

151.300: Maximum Number of Beds -- Nursing Care Units

(A) Level I and II nursing units shall consist of not more than 41 beds.

(B) Level III nursing units shall consist of not more than 60 beds.

(C) A nursing unit shall not encompass beds on more than one floor.

(D) An HB/LTCF shall consist of at least 20 but not more than 41 beds.

DPH SURVEY RESULTS

DEPARTMENT OF HEALTH AND HUMAN SERVICES
CENTERS FOR MEDICARE & MEDICAID SERVICES

PRINTED: 06/16/2016
FORM APPROVED
OMB NO. 0938-0391

STATEMENT OF DEFICIENCIES AND PLAN OF CORRECTION		(X1) PROVIDER/SUPPLIER/CLIA IDENTIFICATION NUMBER: 225419	(X2) MULTIPLE CONSTRUCTION A. BUILDING _____ B. WING _____	(X3) DATE SURVEY COMPLETED 06/14/2016
NAME OF PROVIDER OR SUPPLIER BELMONT MANOR NURSING HOME, IN			STREET ADDRESS, CITY, STATE, ZIP CODE 34 AGASSIZ AVENUE BELMONT, MA 02478	
(X4) ID PREFIX TAG	SUMMARY STATEMENT OF DEFICIENCIES (EACH DEFICIENCY MUST BE PRECEDED BY FULL REGULATORY OR LSC IDENTIFYING INFORMATION)	ID PREFIX TAG	PROVIDER'S PLAN OF CORRECTION (EACH CORRECTIVE ACTION SHOULD BE CROSS-REFERENCED TO THE APPROPRIATE DEFICIENCY)	(X5) COMPLETE DATE
F000	INITIAL COMMENTS Belmont Manor Nursing home was surveyed and found to be in compliance with 42 CFR Part 483, subpart B requirements for long term care facilities.	F000		

LABORATORY DIRECTOR'S OR PROVIDER/SUPPLIER REPRESENTATIVE'S SIGNATURE

TITLE

(X6) DATE

Electronically Signed

06/16/2016

Any Deficiency statement ending with an asterisk (*) denotes a deficiency which the institution may be excused from correcting providing it is determined that other safeguards provide sufficient protection to the patients. (See instructions.) Except for nursing homes, the findings stated above are disclosable 90 days following the date of the survey whether or not a plan of correction is provided. For nursing homes, the above findings and plans of correction are disclosable 14 days following the date these documents are made available to the facility. If deficiencies are cited, an approved plan of correction is requisite to continued program participation.

This form is a printed electronic version of the CMS 2567L. It contains all the information found on the standard document in much the same form. This electronic form once printed and signed by the facility administrator and appropriately posted will satisfy the CMS requirement to post survey information found on the CMS 2567L.

MA DPH/Division of Health Care Facility Licensure

STATEMENT OF DEFICIENCIES AND PLAN OF CORRECTION		(X1) PROVIDER/SUPPLIER/CLIA IDENTIFICATION NUMBER: 225419	(X2) MULTIPLE CONSTRUCTION A. BUILDING _____ B. WING _____	(X3) DATE SURVEY COMPLETED 06/14/2016
NAME OF PROVIDER OR SUPPLIER BELMONT MANOR NURSING HOME, IN			STREET ADDRESS, CITY, STATE, ZIP CODE 34 AGASSIZ AVENUE BELMONT, MA 02478	
(X4) ID PREFIX TAG	SUMMARY STATEMENT OF DEFICIENCIES (EACH DEFICIENCY MUST BE PRECEDED BY FULL REGULATORY OR LSC IDENTIFYING INFORMATION)	ID PREFIX TAG	PROVIDER'S PLAN OF CORRECTION (EACH CORRECTIVE ACTION SHOULD BE CROSS-REFERENCED TO THE APPROPRIATE DEFICIENCY)	(X5) COMPLETE DATE
R000	Initial Comments Based on a Dementia Special Care Unit (DSCU) focused licensure survey, the facility was found in compliance with those specific licensure regulations pertaining to the provision of DSCU services for applicable residents.	R000		

MA Division of Health Care Facility Licensure and Certification

LABORATORY DIRECTOR'S OR PROVIDER/SUPPLIER REPRESENTATIVE'S SIGNATURE

TITLE

Electronically Signed

(X6) DATE

06/16/2016

DEPARTMENT OF HEALTH AND HUMAN SERVICES
CENTERS FOR MEDICARE & MEDICAID SERVICES

PRINTED: 04/07/2015
FORM APPROVED
OMB NO. 0938-0391

STATEMENT OF DEFICIENCIES AND PLAN OF CORRECTION		(X1) PROVIDER/SUPPLIER/CLIA IDENTIFICATION NUMBER: 225419	(X2) MULTIPLE CONSTRUCTION A. BUILDING _____ B. WING _____	(X3) DATE SURVEY COMPLETED 03/16/2015
NAME OF PROVIDER OR SUPPLIER BELMONT MANOR NURSING HOME, IN			STREET ADDRESS, CITY, STATE, ZIP CODE 34 AGASSIZ AVENUE BELMONT, MA 02478	
(X4) ID PREFIX TAG	SUMMARY STATEMENT OF DEFICIENCIES (EACH DEFICIENCY MUST BE PRECEDED BY FULL REGULATORY OR LSC IDENTIFYING INFORMATION)	ID PREFIX TAG	PROVIDER'S PLAN OF CORRECTION (EACH CORRECTIVE ACTION SHOULD BE CROSS-REFERENCED TO THE APPROPRIATE DEFICIENCY)	(X5) COMPLETE DATE
F000	INITIAL COMMENTS Belmont Manor Nursing Home is in compliance with the requirements of 42 CFR Part 483 Subpart B requirements for Long Term Care Facilities	F000		

LABORATORY DIRECTOR'S OR PROVIDER/SUPPLIER REPRESENTATIVE'S SIGNATURE

TITLE

(X6) DATE

Electronically Signed

04/07/2015

Any Deficiency statement ending with an asterisk (*) denotes a deficiency which the institution may be excused from correcting providing it is determined that other safeguards provide sufficient protection to the patients. (See instructions.) Except for nursing homes, the findings stated above are disclosable 90 days following the date of the survey whether or not a plan of correction is provided. For nursing homes, the above findings and plans of correction are disclosable 14 days following the date these documents are made available to the facility. If deficiencies are cited, an approved plan of correction is requisite to continued program participation.

This form is a printed electronic version of the CMS 2567L. It contains all the information found on the standard document in much the same form. This electronic form once printed and signed by the facility administrator and appropriately posted will satisfy the CMS requirement to post survey information found on the CMS 2567L.

DEPARTMENT OF HEALTH AND HUMAN SERVICES
CENTERS FOR MEDICARE & MEDICAID SERVICES

Printed 02/11/2013
FORM APPROVED
OMB NO. 0938-0391

STATEMENT OF DEFICIENCIES AND PLAN OF CORRECTION	(X1) PROVIDER/SUPPLIER/CLIA IDENTIFICATION NUMBER: 225419	(X2) MULTIPLE CONSTRUCTION A. BUILDING _____ B. WING _____	(X3) DATE SURVEY COMPLETED 02/07/2013
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NAME OF PROVIDER OR SUPPLIER BELMONT MANOR NURSING HOME, IN	STREET ADDRESS, CITY, STATE, ZIP CODE 34 AGASSIZ AVENUE BELMONT, MA 02478
---	---

(X4) ID PREFIX TAG	SUMMARY STATEMENT OF DEFICIENCIES (EACH DEFICIENCY MUST BE PRECEDED BY FULL REGULATORY OR LSC IDENTIFYING INFORMATION)	ID PREFIX TAG	PROVIDER'S PLAN OF CORRECTION (EACH CORRECTIVE ACTION SHOULD BE CROSS-REFERENCED TO THE APPROPRIATE DEFICIENCY)	(X5) COMPLETION DATE
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F 000	<p>INITIAL COMMENTS</p> <p>Belmont Manor Nursing Home is in compliance with the requirements of 42 CFR Part 483 Subpart B requirements for Long Term Care Facilities.</p>	F 000		
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LABORATORY DIRECTOR'S OR PROVIDER/SUPPLIER REPRESENTATIVE'S SIGNATURE	TITLE	(X6) DATE
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Any deficiency statement ending with an asterisk (*) denotes a deficiency which the institution may be excused from correcting providing it is determined that other safeguards provide sufficient protection to the patients. (See instructions.) Except for nursing homes, the findings stated above are disclosable 90 days following the date of survey whether or not a plan of correction is provided. For nursing homes, the above findings and plans of correction are disclosable 14 days following the date these documents are made available to the facility. If deficiencies are cited, an approved plan of correction is requisite to continued program participation.

Post-Certification Revisit Report

Public reporting for this collection of information is estimated to average 10 minutes per response, including time for reviewing instructions, searching existing data sources, gathering and maintaining data needed, and completing and reviewing the collection of information. Send comments regarding this burden estimate or any other aspect of this collection of information including suggestions for reducing the burden, to CMS, Office of Financial Management, P.O. Box 26684, Baltimore, MD 21207; and to the Office of Management and Budget, Paperwork Reduction Project (0938-0390), Washington, D.C. 20503.

(Y1) Provider / Supplier / CLIA / Identification Number 225419	(Y2) Multiple Construction A. Building B. Wing	(Y3) Date of Revisit 11/29/2013
Name of Facility BELMONT MANOR NURSING HOME, IN	Street Address, City, State, Zip Code 34 AGASSIZ AVENUE BELMONT, MA 02478	

This report is completed by a qualified State surveyor for the Medicare, Medicaid and/or Clinical Laboratory Improvement Amendments program, to show those deficiencies previously reported on the CMS-2567, Statement of Deficiencies and Plan of Correction that have been corrected and the date such corrective action was accomplished. Each deficiency should be fully identified using either the regulation or LSC provision number and the identification prefix code previously shown on the CMS-2567 (prefix codes shown to the left of each requirement on the survey report form).

(Y4) Item	(Y5) Date	(Y4) Item	(Y5) Date	(Y4) Item	(Y5) Date
ID Prefix <u>F0333</u> Reg. # <u>483.25(m)(2)</u> LSC _____	Correction Completed 11/28/2013	ID Prefix _____ Reg. # _____ LSC _____	Correction Completed	ID Prefix _____ Reg. # _____ LSC _____	Correction Completed
ID Prefix _____ Reg. # _____ LSC _____	Correction Completed	ID Prefix _____ Reg. # _____ LSC _____	Correction Completed	ID Prefix _____ Reg. # _____ LSC _____	Correction Completed
ID Prefix _____ Reg. # _____ LSC _____	Correction Completed	ID Prefix _____ Reg. # _____ LSC _____	Correction Completed	ID Prefix _____ Reg. # _____ LSC _____	Correction Completed
ID Prefix _____ Reg. # _____ LSC _____	Correction Completed	ID Prefix _____ Reg. # _____ LSC _____	Correction Completed	ID Prefix _____ Reg. # _____ LSC _____	Correction Completed
ID Prefix _____ Reg. # _____ LSC _____	Correction Completed	ID Prefix _____ Reg. # _____ LSC _____	Correction Completed	ID Prefix _____ Reg. # _____ LSC _____	Correction Completed

Reviewed By _____ State Agency	Reviewed By <i>Barbara Burns</i>	Date: <i>11-29-13</i>	Signature of Surveyor: <i>Marilyn Reccio RN</i>	Date:
Reviewed By _____ CMS RO	Reviewed By	Date:	Signature of Surveyor:	Date:

Followup to Survey Completed on: 10/7/2013	Check for any Uncorrected Deficiencies. Was a Summary of Uncorrected Deficiencies (CMS-2567) Sent to the Facility? YES NO
---	--

DEPARTMENT OF HEALTH AND HUMAN SERVICES
CENTERS FOR MEDICARE & MEDICAID SERVICES

Printed: 11/22/2011
FORM APPROVED
OMB NO. 0938-0391

STATEMENT OF DEFICIENCIES AND PLAN OF CORRECTION		(X1) PROVIDER/SUPPLIER/CLIA IDENTIFICATION NUMBER: 225419	(X2) MULTIPLE CONSTRUCTION A. BUILDING _____ B. WING _____	(X3) DATE SURVEY COMPLETED 11/21/2011
NAME OF PROVIDER OR SUPPLIER BELMONT MANOR NURSING HOME, IN		STREET ADDRESS, CITY, STATE, ZIP CODE 34 AGASSIZ AVENUE BELMONT, MA 02478		
(X4) ID PREFIX TAG	SUMMARY STATEMENT OF DEFICIENCIES (EACH DEFICIENCY MUST BE PRECEDED BY FULL REGULATORY OR LSC IDENTIFYING INFORMATION)	ID PREFIX TAG	PROVIDER'S PLAN OF CORRECTION (EACH CORRECTIVE ACTION SHOULD BE CROSS-REFERENCED TO THE APPROPRIATE DEFICIENCY)	(X5) COMPLETION DATE
F 000	INITIAL COMMENTS Belmont Manor Nursing Home is in compliance with the requirements of 42 CFR Part 483 Subpart B requirements for Long Term Care Facilities.	F 000		
LABORATORY DIRECTOR'S OR PROVIDER/SUPPLIER REPRESENTATIVE'S SIGNATURE		TITLE		(X6) DATE

Any deficiency statement ending with an asterisk (*) denotes a deficiency which the institution may be excused from correcting providing it is determined that other safeguards provide sufficient protection to the patients. (See instructions.) Except for nursing homes, the findings stated above are disclosable 90 days following the date of survey whether or not a plan of correction is provided. For nursing homes, the above findings and plans of correction are disclosable 14 days following the date these documents are made available to the facility. If deficiencies are cited, an approved plan of correction is requisite to continued program participation.

**US NEWS AND WORLD
REPORT RATING**



Belmont Manor Nursing Home, IN

34 Agawam Avenue, Belmont, MA (See Map) | (517) 488-1200

Overall Rating: Top Performing:

[Overview](#) [Inspection Results](#) [Contact Info](#)

Overview

Belmont Manor Nursing Home, IN in Belmont, MA, has an overall rating of Top Performing. It is a large facility with 135 beds and has for-profit, corporate ownership. Belmont Manor Nursing Home, IN is not part of a continuing care retirement community. It participates in Medicare and Medicaid.

EXHIBIT:
ARCHITECTURAL PLANS

BELMONT MANOR NURSING CENTER Addition & Renovation

Belmont, Massachusetts

OWNER:

BELMONT MANOR NURSING CENTER INC
34 AGASSIZ AVENUE
BELMONT, MA 02478

ARCHITECT:

DAVID H. DUNLAP ASSOCIATES, INC
105 WEBSTER STREET
HANOVER, MA 02339
TEL: 781.878-0066

STRUCTURAL ENGINEER

ABERJONA ENGINEERING INC.
1 MT. VERNON STREET
WINCHESTER, MA 01890

CIVIL ENGINEER

PAUL FINGER ASSOCIATES
14 SPRING STREET
WALTHAM, MA 02451

PLUMB, ELEC, MECH, ENGINEER

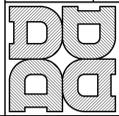
SED ASSOCIATE CORP.
132 LINCOLN STREET
BOSTON, MA 02111



David H. Dunlap

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DAVID H. DUNLAP ASSOCIATES, INC.
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VERIFY ALL DIMENSIONS ON SITE.

David H. Dunlap Associates Inc.
ARCHITECTS * ENGINEERS * PLANNERS
105 WEBSTER STREET UNIT 2
HANOVER, MASSACHUSETTS 02339
PHONE: (781) 878-0066 FAX: (781) 878-7060
email: David@DHDunlap.com



COVER SHEET

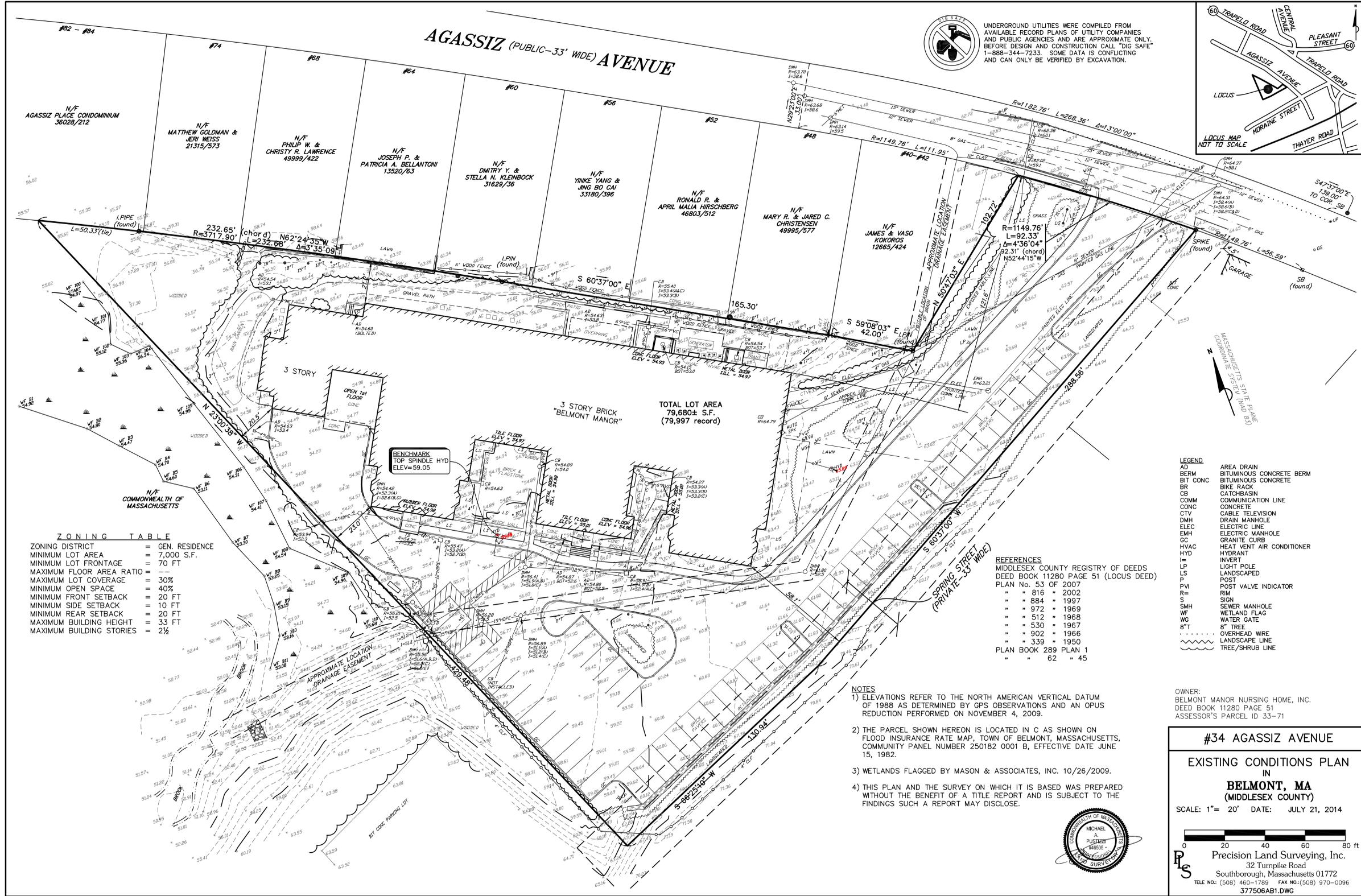
Belmont Manor Addition & Renovation
Belmont, Massachusetts

SCALE: DATE: 06.02.2017 DR. BY: LDP

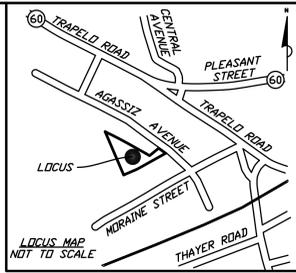
BUILDING PERMIT SUBMISSION 11-21-2017

CS-1

DON #



UNDERGROUND UTILITIES WERE COMPILED FROM AVAILABLE RECORD PLANS OF UTILITY COMPANIES AND PUBLIC AGENCIES AND ARE APPROXIMATE ONLY. BEFORE DESIGN AND CONSTRUCTION CALL "DIG SAFE" 1-888-344-7233. SOME DATA IS CONFLICTING AND CAN ONLY BE VERIFIED BY EXCAVATION.



ZONING TABLE

ZONING DISTRICT	= GEN. RESIDENCE
MINIMUM LOT AREA	= 7,000 S.F.
MINIMUM LOT FRONTAGE	= 70 FT
MAXIMUM FLOOR AREA RATIO	= --
MAXIMUM LOT COVERAGE	= 30%
MINIMUM OPEN SPACE	= 40%
MINIMUM FRONT SETBACK	= 20 FT
MINIMUM SIDE SETBACK	= 10 FT
MINIMUM REAR SETBACK	= 20 FT
MAXIMUM BUILDING HEIGHT	= 33 FT
MAXIMUM BUILDING STORIES	= 2½

REFERENCES

MIDDLESEX COUNTY REGISTRY OF DEEDS	DEED BOOK 11280 PAGE 51 (LOCUS DEED)
PLAN No.	53 OF 2007
"	815 " 2002
"	884 " 1997
"	972 " 1969
"	512 " 1968
"	530 " 1967
"	902 " 1966
"	339 " 1950
PLAN BOOK 289 PLAN 1	" " 62 " 45

- NOTES**
- ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 AS DETERMINED BY GPS OBSERVATIONS AND AN OPUS REDUCTION PERFORMED ON NOVEMBER 4, 2009.
 - THE PARCEL SHOWN HEREON IS LOCATED IN C AS SHOWN ON FLOOD INSURANCE RATE MAP, TOWN OF BELMONT, MASSACHUSETTS, COMMUNITY PANEL NUMBER 250182 0001 B, EFFECTIVE DATE JUNE 15, 1982.
 - WETLANDS FLAGGED BY MASON & ASSOCIATES, INC. 10/26/2009.
 - THIS PLAN AND THE SURVEY ON WHICH IT IS BASED WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO THE FINDINGS SUCH A REPORT MAY DISCLOSE.

LEGEND

AD	AREA DRAIN
BERM	BITUMINOUS CONCRETE BERM
BIT CONC	BITUMINOUS CONCRETE
BR	BIKE RACK
CB	CATCHBASIN
COMM	COMMUNICATION LINE
CONC	CONCRETE
CTV	CABLE TELEVISION
DMH	DRAIN MANHOLE
ELEC	ELECTRIC LINE
EMH	ELECTRIC MANHOLE
GC	GRANITE CURB
HVAC	HEAT VENT AIR CONDITIONER
HYD	HYDRANT
I=	INVERT
LP	LIGHT POLE
LS	LANDSCAPED
P	POST
PVI	POST VALVE INDICATOR
RIM	RIM
S	SIGN
SMH	SEWER MANHOLE
WF	WETLAND FLAG
WG	WATER GATE
8" T	8" TREE
.....	OVERHEAD WIRE
~~~~~	LANDSCAPE WIRE
~~~~~	TREE/SHRUB LINE

OWNER:
BELMONT MANOR NURSING HOME, INC.
DEED BOOK 11280 PAGE 51
ASSESSOR'S PARCEL ID 33-71

#34 AGASSIZ AVENUE

EXISTING CONDITIONS PLAN
IN
BELMONT, MA
(MIDDLESEX COUNTY)

SCALE: 1"= 20' DATE: JULY 21, 2014

Precision Land Surveying, Inc.
32 Turnpike Road
Southborough, Massachusetts 01772
TELE NO.: (508) 460-1789 FAX NO.: (508) 970-0096
377506A1.DWG



Landscape Architect:



Civil Engineers:

Land Surveyors:



LOCUS PLAN
NO SCALE

Stamp:



Project No: 106-1001.03
Date: 12.10.2017

Revisions:

No.	Description	Date
0	PERMITTING	12.10.2017
1		
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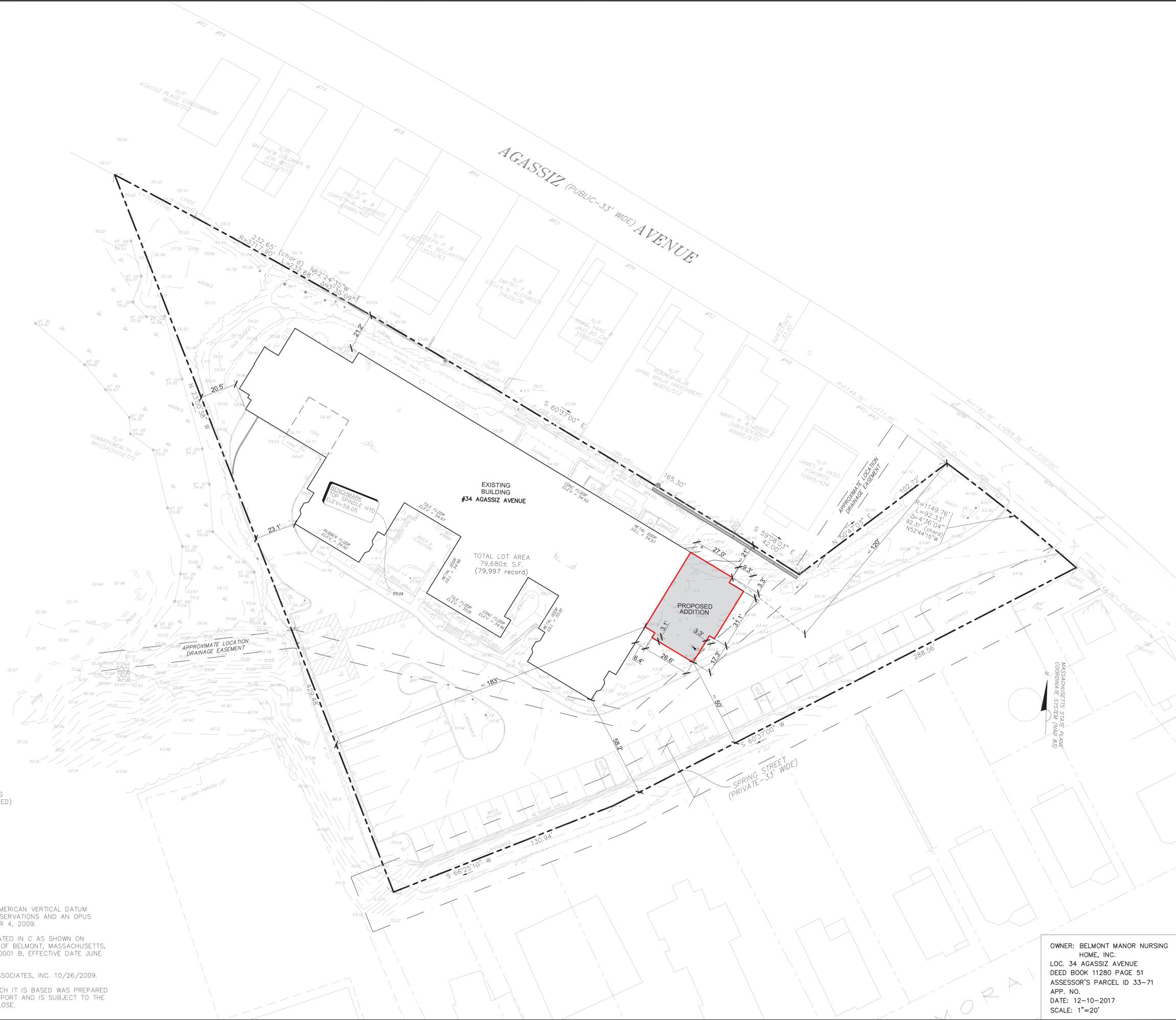
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PLOT PLAN

Sheet #:

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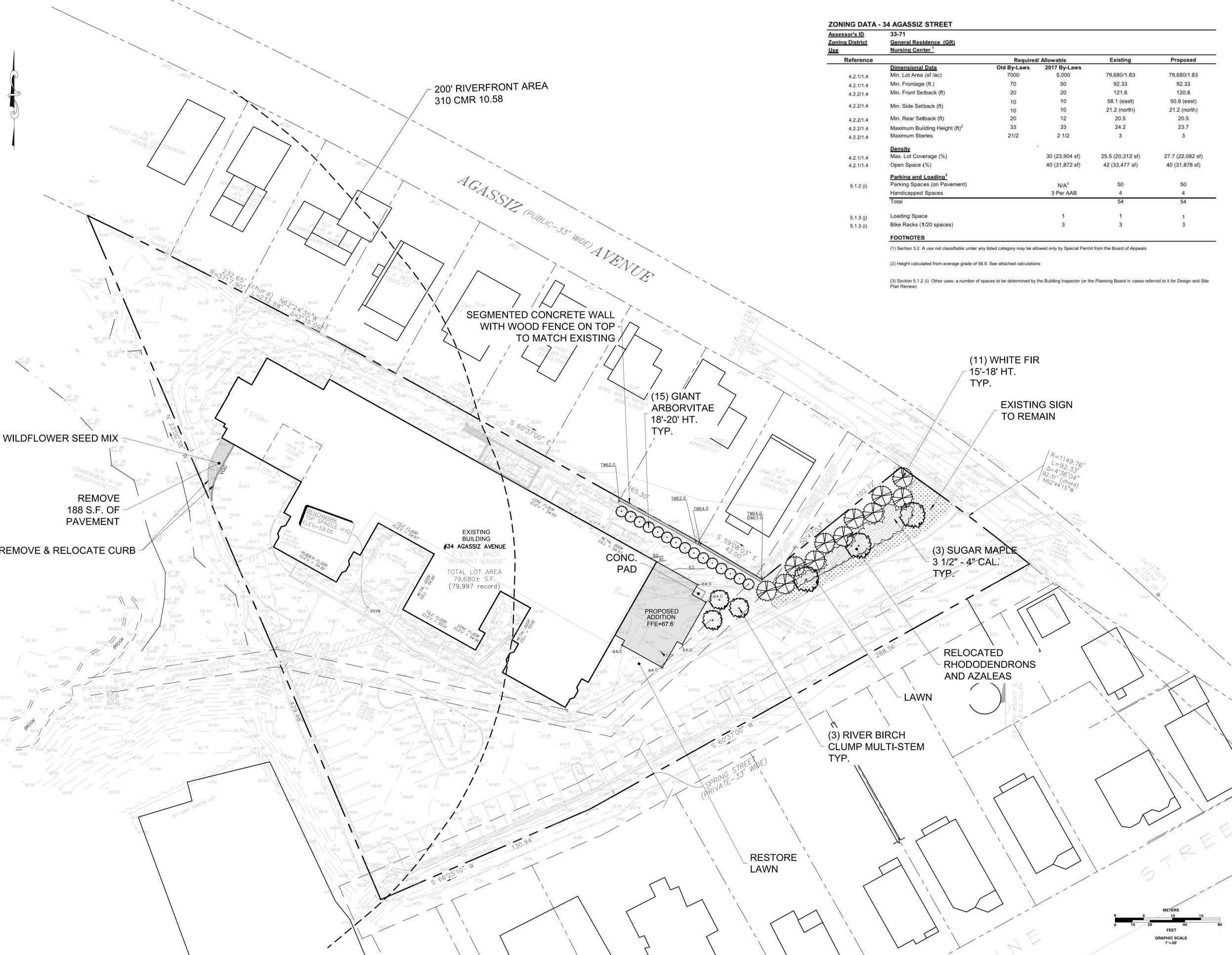
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File No: 106-1001.03 505A.dwg



REFERENCES
MIDDLESEX COUNTY REGISTRY OF DEEDS
DEED BOOK 11280 PAGE 51 (LOCUS DEED)
PLAN No. 53 OF 2007
" " 816 " 2002
" " 884 " 1997
" " 972 " 1969
" " 512 " 1968
" " 530 " 1967
" " 902 " 1966
" " 339 " 1950
PLAN BOOK 289 PLAN 1
" " 62 " 45

NOTES
1) ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 AS DETERMINED BY GPS OBSERVATIONS AND AN OPUS REDUCTION PERFORMED ON NOVEMBER 4, 2009.
2) THE PARCEL SHOWN HEREON IS LOCATED IN C AS SHOWN ON FLOOD INSURANCE RATE MAP, TOWN OF BELMONT, MASSACHUSETTS, COMMUNITY PANEL NUMBER 250182 0001 B, EFFECTIVE DATE JUNE 15, 1982.
3) WETLANDS FLAGGED BY MASON & ASSOCIATES, INC. 10/26/2009.
4) THIS PLAN AND THE SURVEY ON WHICH IT IS BASED WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO THE FINDINGS SUCH A REPORT MAY DISCLOSE.

106-1001.03 500B.dwg Plotted on: Dec 06, 2017 @ 5:43pm © PAUL FINGER ASSOCIATES H:\FD\PAFA Project Data\106-1001.04 Belmont Manor Second Addition.dwg



ZONING DATA - 34 AGASSIZ STREET

Reference	Dimensional Data	Required/ Allowable	Existing	Proposed
4.2.1/1.4	Min. Lot Area (sf /ac)	7000	5,000	79,680/1.83
4.2.1/1.4	Min. Frontage (ft.)	70	50	92.33
4.2.2/1.4	Min. Front Setback (ft)	20	20	121.6
4.2.2/1.4	Min. Side Setback (ft)	10	10	58.1 (east)
4.2.2/1.4	Min. Rear Setback (ft)	20	12	20.5
4.2.2/1.4	Maximum Building Height (ft) ²	33	33	24.2
4.2.2/1.4	Maximum Stories	2 1/2	2 1/2	3
Density				
4.2.1/1.4	Max. Lot Coverage (%)	30 (23,904 sf)	25.5 (20,312 sf)	27.7 (22,082 sf)
4.2.1/1.4	Open Space (%)	40 (31,872 sf)	42 (33,477 sf)	40 (31,878 sf)
Parking and Loading¹				
5.1.2 (i)	Parking Spaces (on Pavement)	N/A ³	50	50
	Handicapped Spaces	3 Per AAB	4	4
	Total		54	54
5.1.3 (i)	Loading Space	1	1	1
5.1.3 (i)	Bike Racks (1/20 spaces)	3	3	3

FOOTNOTES

(1) Section 3.2. A use not classifiable under any listed category may be allowed only by Special Permit from the Board of Appeals

(2) Height calculated from average grade of 56.8. See attached calculations.

(3) Section 5.1.2 (i) Other uses: a number of spaces to be determined by the Building Inspector (or the Planning Board in cases referred to it for Design and Site Plan Review)

BELMONT MANOR NURSING CENTER

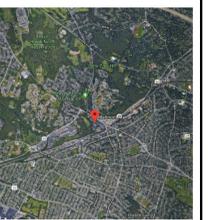
Belmont Massachusetts
02478-5023

ADDITION AND RENOVATION

Landscape Architect:
pfa
PAUL FINGER ASSOCIATES
Landscape Architects • Planners
Civil Engineers • Wetland Scientists
14 Spring Street
Waltham, Massachusetts 02451-4029
(781) 647-4001
(781) 647-4004
info@pfa.net

Architect:
David H. Dunlap Associates, Inc.
105 Webster Street
Hanover, MA 02339
Tel: 781-878-0866

Owner:
Belmont Manor Nursing Center, Inc.
34 Agassiz Avenue
Belmont, MA 02478



LOCUS PLAN
NO SCALE

Stamp:

Project No: 106-1001.03
Date: 12.07.2017

Revisions:

No.	Description	Date
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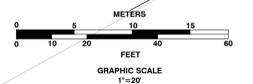
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SITE PLAN

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 © PAUL FINGER ASSOCIATES
 C:\11089 PFA\Correspondence\Incoming\Belmont Manor\106-1001.03 503A.dwg



UTILITY NOTES:

1. ALL UTILITY CONNECTIONS ARE SUBJECT TO THE APPROVAL OF, AND GRANTING OF PERMITS BY, THE LOCAL MUNICIPALITY IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL PERMITS AND APPROVALS RELATED TO UTILITY WORK PRIOR TO COMMENCEMENT OF CONSTRUCTION.
2. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR OBTAINING ALL PERMISSIONS FOR, AND FOR CONDUCTING ALL PREPARATIONS RELATED TO, WORK AFFECTING ANY UTILITIES WITHIN THE JURISDICTION OF ANY NON-MUNICIPAL UTILITY COMPANY, INCLUDING BUT NOT LIMITED TO ELECTRIC, TELEPHONE, AND/OR GAS. THE CONTRACTOR SHALL NOTIFY ALL APPROPRIATE AGENCIES, DEPARTMENTS, AND UTILITY COMPANIES, IN WRITING, AT LEAST 7 DAYS (OR PER UTILITY COMPANY REQUIREMENT) AND NOT MORE THAN 30 DAYS PRIOR TO ANY CONSTRUCTION.
3. THE CONTRACTOR SHALL MAINTAIN UTILITIES SERVING BUILDINGS AND FACILITIES WITHIN OR OUTSIDE THE PROJECT LIMIT UNLESS THE INTERRUPTION OF SERVICE IS COORDINATED WITH THE OWNER.
4. ALL WATER, SEWER, AND DRAIN WORK SHALL BE PERFORMED ACCORDING TO THE REQUIREMENTS AND STANDARD SPECIFICATIONS OF THE LOCAL MUNICIPALITY.
5. GAS, TELECOMMUNICATIONS AND ELECTRIC SERVICES ARE TO BE DESIGNED BY EACH UTILITY COMPANY IN COORDINATION WITH THE MECHANICAL, ELECTRIC, AND PLUMBING CONSULTANTS.
6. THE CONTRACTOR SHALL COORDINATE CONSTRUCTION ACTIVITIES OF NEW UTILITIES WITH GAS, TELECOMMUNICATION AND ELECTRICAL SERVICES.
7. INSTALL WATER LINES WITH A MINIMUM OF FIVE FEET OF COVER AND A MAXIMUM OF SEVEN FEET COVER FROM THE FINAL DESIGN GRADES.
8. MAINTAIN 10 FEET HORIZONTAL SEPARATION AND 18 INCHES VERTICAL SEPARATION (WATER OVER SEWER) BETWEEN SEWER AND WATER LINES. WHEREVER THERE IS LESS THAN 10 FEET OF HORIZONTAL SEPARATION AND 18 INCHES OF VERTICAL SEPARATION BETWEEN A PROPOSED OR EXISTING SEWER LINE TO REMAIN AND A PROPOSED OR EXISTING WATER LINE TO REMAIN BOTH WATER MAIN AND SEWER MAIN SHALL BE CONSTRUCTED OF MECHANICAL JOINT CEMENT LINED DUCTILE IRON PIPE FOR A DISTANCE OF 10- FEET ON EITHER SIDE OF THE CROSSING. ONE (1) FULL LENGTH OF WATER PIPE SHALL BE CENTERED OVER THE SEWER AT THE CROSSING.
9. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITIES EXCEPT THOSE NOTED TO BE ABANDONED AND/OR REMOVED & DISPOSED.
10. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR TRENCHING, BACKFILLING, AND SURFACE RESTORATION FOR GAS UTILITY SYSTEMS.
11. ALL ON SITE UTILITIES SHALL BE INSTALLED UNDERGROUND UNLESS OTHERWISE NOTED.
12. ALL EXISTING AND PROPOSED MANHOLE FRAMES, COVERS, VALVES, CLEANOUTS, ETC. SHALL BE RAISED TO FINISHED GRADE PRIOR TO FINAL PAVING CONSTRUCTION.
13. ALL GRATES IN WALKWAYS SHALL BE ADA COMPLIANT.

GENERAL NOTES:

1. TOPOGRAPHIC DATA, PROPERTY LINE INFORMATION, AND EXISTING SITE FEATURES WERE OBTAINED FROM A SURVEY COMPLETED BY PRECISION LAND SURVEYING, INC., DATED JULY 21, 2014.
2. THE CONTRACTOR SHALL COMPLY WITH MASSACHUSETTS GENERAL LAWS CHAPTER 82, SECTION 40, AS AMENDED, WHICH STATES THAT NO ONE MAY EXCAVATE IN THE COMMONWEALTH OF MASSACHUSETTS EXCEPT IN AN EMERGENCY WITHOUT 72 HOURS NOTICE, EXCLUSIVE OF SATURDAYS, SUNDAYS, AND LEGAL HOLIDAYS, TO NATURAL GAS PIPELINE COMPANIES, AND MUNICIPAL UTILITY DEPARTMENTS THAT SUPPLY GAS, ELECTRICITY, TELEPHONE, OR CABLE TELEVISION SERVICE IN OR TO THE CITY OR TOWN WHERE THE EXCAVATION IS TO BE MADE. THE CONTRACTOR SHALL CALL "DIG SAFE" AT 1-888-DIG-SAFE.
3. THE CONTRACTOR SHALL COMPLY WITH MASSACHUSETTS GENERAL LAWS CHAPTER 82A, ALSO REFERRED TO AS JACKIE'S LAW, AS DETAILED IN SECTION 520 CMR 14.00 OF THE CODE OF MASSACHUSETTS REGULATIONS.
4. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, RULES, REGULATIONS AND SAFETY CODES IN THE CONSTRUCTION OF ALL IMPROVEMENTS.
5. THE LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES ARE APPROXIMATE AND ALL UTILITIES MAY NOT BE SHOWN. PRESENCE AND LOCATIONS OF ALL UTILITIES WITHIN THE LIMIT OF WORK MUST BE DETERMINED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING AND CONTACTING THE CONTROLLING AUTHORITIES AND/OR UTILITY COMPANIES RELATIVE TO THE LOCATIONS AND ELEVATIONS OF THEIR LINES. THE CONTRACTOR SHALL KEEP A RECORD OF ANY DISCREPANCIES OR CHANGES IN THE LOCATIONS OF ANY UTILITIES SHOWN OR ENCOUNTERED DURING CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE OWNER AND NITSOH ENGINEERING. ANY DAMAGE RESULTING FROM THE FAILURE OF THE CONTRACTOR TO MAKE THESE DETERMINATIONS AND CONTACTS SHALL BE BORNE BY THE CONTRACTOR.
6. THE CONTRACTOR SHALL, THROUGHOUT CONSTRUCTION, TAKE ADEQUATE PRECAUTIONS TO PROTECT ALL WALKS, GRADING, SIDEWALKS AND SITE DETAILS OUTSIDE OF THE LIMIT OF WORK AS DEFINED ON THE DRAWINGS AND SHALL REPAIR AND REPLACE OR OTHERWISE MAKE GOOD AS DIRECTED BY THE ENGINEER OR OWNER'S DESIGNATED REPRESENTATIVE. ANY SUCH OR OTHER DAMAGE SO CAUSED.
7. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOB SITE SAFETY AND ALL CONSTRUCTION MEANS AND METHODS.
8. PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL BECOME FAMILIAR WITH THE SITE AND CONSTRUCTION DOCUMENTS TO DEVELOP A THOROUGH UNDERSTANDING OF THE PROJECT, INCLUDING ANY SPECIAL CONDITIONS AND CONSTRAINTS.
9. IT IS THE CONTRACTOR'S RESPONSIBILITY TO BECOME FAMILIAR WITH THE PROJECT SITE AND TO VERIFY ALL CONDITIONS IN THE FIELD AND REPORT DISCREPANCIES BETWEEN PLANS AND ACTUAL CONDITIONS TO THE OWNER OR OWNER'S REPRESENTATION IMMEDIATELY.
10. THE CONTRACTOR SHALL CONDUCT ALL NECESSARY CONSTRUCTION NOTIFICATIONS AND APPLY FOR AND OBTAIN ALL NECESSARY CONSTRUCTION PERMITS.
11. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE ESTABLISHMENT AND USE OF ALL VERTICAL AND HORIZONTAL CONSTRUCTION CONTROLS.

BELMONT MANOR NURSING CENTER

Belmont Massachusetts
02478-5023

ADDITION AND RENOVATION

Civil Engineer:

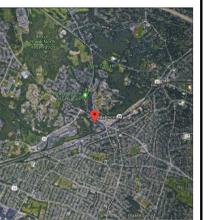
 2 Center Plaza, Suite 430
 Boston, MA 02108
 T: (617) 338-0363
 F: (617) 338-6472

Landscape Architect:

 Landscape Architects • Planners
 Civil Engineers • Wetland Scientists
 14 Spring Street
 Waltham, Massachusetts 02453-4429
 (781) 647-4001
 (781) 647-6924
 info@pfa.net

Architect:
 David H. Dunlap Associates, Inc.
 105 Webster Street
 Hanover, MA 02339
 Tel: 781-878-0066

Owner:
 Belmont Manor Nursing Center, Inc.
 34 Agassiz Avenue
 Belmont, MA 02478



LOCUS PLAN
NO SCALE

Stamp: NITSOH PROJECT #11089

 Matthew T. Brassard
 CIVIL
 No. 40058
 State of Massachusetts

Project No: 106-1001.03
 Date: 12.07.2017

Revisions:

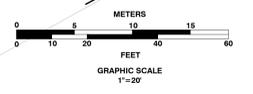
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Drawing Title:

DRAINAGE AND UTILITIES

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 File No: 106-1001.03 503A.dwg



GENERAL NOTES

NOTE # 1:

EXAMINATION OF THE SITE AND EXISTING FACILITY:

EACH CONTRACTOR SHALL BE REQUIRED TO EXAMINE THE EXISTING BUILDING AND BECOME FAMILIARIZED WITH ALL CONDITIONS WHICH HE WILL BE OBLIGATED TO OPERATE OR THAT IN ANY WAY AFFECT WORK WHICH HE IS TO PERFORM AND THIS SHALL BE INCLUDED IN HIS BID. EXISTING CONDITIONS WHICH VARY FROM THE CONTRACT DOCUMENT SHALL BE NOTED IN WRITING TO THE ARCHITECT PRIOR TO THE BIDDING SO THAT AN ADDENDUM CAN BE ISSUED WHICH WILL CLARIFY THE ITEM IN QUESTION.

NOTE # 2:

MEANS OF EGRESS DURING CONSTRUCTION:

IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO PROVIDE AND MAINTAIN A MEANS OF EGRESS WHICH SHALL ALLOW WORKERS, STAFF AND PATIENTS TO EXIT THE BUILDING SAFELY. ANY WORK WHICH IS BEING PERFORMED SHALL BE DONE IN SUCH A MANNER SO AS NOT TO JEOPARDIZE A SAFE EGRESS FROM THE FACILITY OR ANY PATHWAYS TO THE EXITS.

NOTE # 3:

INTERFACING ALL ADDITION & RENOVATION WORK IN THE EXISTING BUILDING:

ADDITION, RENOVATION AND TYING INTO EXISTING WORK: IT SHALL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY TO COORDINATE, SCHEDULE, AND SUPERVISE ALL WORK REQUIRED TO COMPLETE PHYSICAL TYING IN OF THE EXISTING BUILDING WITH THE NEW WORK. THIS PORTION OF THE WORK IS VERY CRITICAL DUE TO THE FACT THAT THE EXISTING NURSING HOME IS IN FULL OPERATION. ANY WORK SHALL BE PERFORMED SO AS NOT TO INTERFERE WITH THE NORMAL OPERATION OF THE FACILITY AND/OR THE SAFETY AND WELFARE OF THE PATIENTS. THE FOLLOWING SHALL BE COMPLIED WITH:

A. AT THE END OF EACH WORKING DAY, EACH TRADE SHALL CLEAN UP AND SECURE ALL TOOLS AND MATERIALS IN A SAFE MANNER.

B. ALL WORK SHALL BE DONE IN AN EXPEDITIOUS MANNER SO AS NOT TO CAUSE UNDUE HARDSHIP TO THE PATIENTS AROUND WHERE THE WORK IS BEING DONE. FIELD CONDITIONS SHALL BE CHECKED BEFORE COMMENCING WORK. WHERE POSSIBLE, PREFABRICATE WORK. SCHEDULING OF WORK SHALL BE APPROVED BY THE ADMINISTRATOR OF THE FACILITY TO INSURE PATIENTS SAFETY.

C. ANY WORK WHICH INVOLVES LIFE SAFETY SYSTEMS SUCH AS FIRE ALARMS, SPRINKLERS, NURSE'S CALLS, FIRE RATINGS OF WALLS, FLOORS AND CEILINGS, PRECAUTIONARY STEPS SHALL BE TAKEN TO INSURE CONTINUING SAFETY TO THE OCCUPANTS WHILE THIS WORK IS UNDERWAY. TYPES OF SAFETY PRECAUTIONS SHALL BE REVIEWED WITH THE AUTHORITIES HAVING JURISDICTION OVER SAME.

D. ANY WORK WHICH REQUIRES TYING INTO EXISTING BUILDING SERVICES SUCH AS ELECTRICAL, PLUMBING, MECHANICAL, EMERGENCY POWER, ETC. SHALL BE COORDINATED BY THE GENERAL CONTRACTOR AND REVIEWED WITH DESIGN PROFESSIONALS TO INSURE SATISFACTORY OPERATION OF THE SYSTEMS AFTER THE REHABILITATION IS COMPLETED.

NOTE # 4:

WORK REQUIRED IN EXISTING CEILINGS, WALLS, AND FLOORS ETC.

ANY WORK WHICH IS REQUIRED BY THE CONTRACT DOCUMENTS TO BE PERFORMED TO THE EXISTING FACILITY SHALL BE DONE AS FOLLOWS:

A. REMOVE ALL FURNISHINGS AND OTHER CONTENTS IN THE IMMEDIATE AREA

B. IN ACCORDANCE WITH THE SCHEDULE SEQUENCE OF REHABILITATION FOR THE BUILDING, AREAS WHERE THE WORK IS TO BE PERFORMED SHALL BE CLOSED OFF NOT ONLY FOR THE SAFETY OF THE PATIENTS BUT THE OPERATION OF THE FACILITY SHALL NOT BE HINDERED

C. ALL MATERIALS AND EQUIPMENT SHALL BE ON HAND READY TO PERFORM THE WORK INVOLVED SO THAT IT CAN BE COMPLETED IN THE SHORTEST TIME POSSIBLE

D. CUTTING PENETRATIONS IN THE CEILING, FLOORS, WALLS, ETC. SHALL BE PERFORMED IN A MANNER WHICH OPENS THE PENETRATION AND CLOSES IT AS SOON AS POSSIBLE SO AS NOT TO ALLOW THE SUPERSTRUCTURE WIRES OR OTHER ELEMENTS OF THE BUILDING TO BE EXPOSED FOR THE SHORTEST TIME POSSIBLE. WHEN PENETRATIONS ARE MADE THROUGH FIRE RATED ELEMENTS SUCH AS THE FLOOR ASSEMBLY, FIRE WALLS, ETC. WHEN WORK IS COMPLETED THEY SHALL BE PROTECTED OVERNIGHT IN A MANNER WHICH WILL NOT JEOPARDIZE THE INTEGRITY OF THE FIRE RATED ELEMENT.

ABBREVIATIONS

A.A.B.	ARCHITECTURAL ACCESS BOARD	JAN	JANITOR
A.D.A.	AMERICANS W/ DISABILITIES ACT	JT	JOINT
A.C.	AIR CONDITIONING	LAM	LAMINATED
AC.T.	ACOUSTICAL TILE	LAV	LAVATORY
A.D.	AREA DRAIN	L.P.	LOW POINT
AGGR	AGGREGATE	L.T. UT.	LIGHT WEIGHT
AL	ALUMINUM	M	MEN
APPROX	APPROXIMATE	MACH	MACHINE
		MAX	MAXIMUM
BD	BOARD	MECH	MECHANICAL
BLK	BLOCK	MET	METAL
BLKG	BLOCKING	MIN	MINIMUM
BM	BEAM	M.O.	MASONRY OPENING
BOT	BOTTOM	M.P.	MIDDLE POINT
B.O.F.	BOTTOM OF FOOTING		
		N	NORTH
CAB	CABINET	N.I.C.	NOT IN CONTRACT
CAULK	CAULKING	NO. #	NUMBER
C.B.	CATCH BASIN	NOUR. ST.	NOURISHMENT STATION
CEM	CEMENT	N.T.S.	NOT TO SCALE
C.G.	CORNER GUARD		
CL	CENTER LINE	O.C.	ON CENTER
CEIL	CEILING	O.D.	OUTSIDE DIAMETER
CLO	CLOSET	OFF.	OFFICE
COL	COLUMN	OP'NG	OPENING
CONC	CONCRETE	OPP	OPPOSITE
CONST	CONSTRUCTION	PAT. BDR.	PATIENT BEDROOM
CORR	CORRIDOR	PART	PARTITION
CRS	COURSES	P	PROPERTY LINE
C.T.	CERAMIC TILE	PL	PLATE
C.U.	CLEAN UTILITY	PLAS	PLASTIC
		POL	POLISHED
DET	DETAIL	PT	POINT
D.F.	DRINKING FOUNTAIN	PTD	PAINTED
DIA. Ø	DIAMETER	Q.T.	QUARRY TILE
DIM	DIMENSION	QTY	QUANTITY
DN	DOWN		
DWG	DRAWING	R	RADIUS
		R	RISER
E.I.F.S.	EXTERIOR INSULATION FINISH SYSTEM	R.C.P.	REFLECTED CEILING PLAN
EL	ELEVATION	R.D.	ROOF DRAIN
ELEC	ELECTRICAL	REF	REFERENCE
ELEV	ELEVATOR	REINP	REINFORCED (ING)
ENTR	ENTRANCE	REQ'D	REQUIRED
EQ	EQUAL	RM	ROOM
EQUIP	EQUIPMENT	SAN	SANITARY
E.W.C.	ELECTRIC WATER COOLER	SECT.	SECTION
EXIST (E)	EXISTING	SF. #	SQUARE FEET
EXP	EXPANSION	SIM	SIMILAR
EXT	EXTERIOR	SPEC	SPECIFICATION
		SQ	SQUARE
F.C.	FIRE CODE	S.S.	STAINLESS STEEL
F.D.	FLOOR DRAIN	ST	STAIR
FDN	FOUNDATION	ST'L	STEEL
F.E.C.	FIRE EXTINGUISHER CABINET	STOR	STORAGE
F.H.C.	FIRE HOSE CABINET	STRUC	STRUCTURAL
F.H.R.	FIRE HOSE RACK	SUSP.	SUSPENDED
FIN	FINISH	T	TREAD
FIX	FIXTURE	TEL	TELEPHONE
FL	FLOOR	T.O.B.J.	TOP OF BAR JOIST
FLASH	FLASHING	T.O.S.	TOP OF SLAB
F.R.	FIRE RATING	T.O.STL.	TOP OF STEEL
FT	FEET	T.O.W.	TOP OF WALL
FTG	FOOTING	TYP.	TYPICAL/TYPICAL
		U.L.	UNDERWRITERS LAB
GA	GAUGE	UNEXC.	UNEXCAVATED
G.F.I.	GROUND FAULT RECEPTACLE		
GL	GLASS	V.C.T	VINYL COMPOSITION TILE
GR	GRADE	VENT.	VENTILATION
G.S.	GENERAL STORAGE	VERT.	VERTICAL
GYP	GYPSPUM	VEST.	VESTIBULE
GYP.BD.	GYPSPUM BOARD	V.I.F.	VERIFY IN FIELD
		V.P.	VENT PIPE
		V.W.C.	VINYL WALL COVERING
HDW	HARDWARE	W	WOMEN
H.M.	HOLLOW METAL	W/	WITH
HOR	HORIZONTAL	WD	WOOD
HOSP	HOSPITAL	W/O	WITHOUT
H.P.	HIGH POINT	WP	WATERPROOFING
HR	HOUR		
HT	HEIGHT		
I.D.	INSIDE DIAMETER		
INCN	INCINERATOR		
INFO	INFORMATION		
INSUL	INSULATION		
INT	INTERIOR		

SYMBOLS

	1 HOUR CONSTRUCTION METAL STUDS W/ 1 LAYER 5/8" F.C. G.D.B. BOTH SIDES W 3 1/2" BATT. INSUL.
	2 HOUR CONSTRUCTION METAL STUDS W/ 2 LAYER 5/8" F.C. GYP. BD. BOTH SIDES W 3 1/2" BATT. INSUL.
	1 HOUR SMOKE PARTITION METAL STUDS W/ 1 LAYER 5/8" F.C. GYP. BD. BOTH SIDES W 3 1/2" BATT. INSUL.
	2 HOUR SMOKE PARTITION METAL STUDS W/ 2 LAYERS 5/8" F.C. GYP. BD. BOTH SIDES OR 8 MASONRY CLASSIFICATION D-2 W/ 1/2" GYP. BD. OVER METAL FURRING W/ ALL PENETRATIONS SEALED SMOKE TIGHT (CONT. FF. TO UNDERSIDE OF DECK ABOVE)
	MATCH LINE
	BRICK (ELEVATION / PLAN)
	CONCRETE
	CONCRETE BLOCK
	GLASS (SMALL/LARGE)
	GRAVEL - COMPACTED
	INSULATION - BLANKET
	INSULATION - RIGID
	METAL (LARGE/SMALL)
	METAL DECK / CONC. SLAB
	SOIL
	WOOD BLOCKING
	WOOD - FINISHED

DRAWING REFERENCE

DETAIL KEY		DETAIL NUMBER	COLUMN NO.
PLAN DETAIL		DETAIL NUMBER	DOOR NO.
BUILDING SECTION		SECTION NUMBER	WINDOW NO.
WALL SECTION		SECTION NUMBER	ROOM NO.
EXTERIOR ELEVATION		ELEVATION NUMBER	ALIGN
INTERIOR ELEVATION		ELEVATION NUMBER	

ACCESSIBILITY:

A.D.A. COMPLIANCE A.D.A. I MA A.A.B. COMPLIANCE

ELEVATION ABOVE SEA LEVEL OF DESIGNATED ITEM:

GRADE/SPOT ELEVATIONS I OR START LAYOUT

BUILDING ELEVATIONS

DRAWING INDEX

DRAWING NUMBER	DRAWING TITLE	DATE ISSUED
CS-1	COVER SHEET	
L-1-0	EXISTING CONDITION PLAN	
L-2-0	PLOT PLAN	
L-3-0	SITE PLAN	
T-1	DRAINAGE AND UTILITIES	
T-2	TITLE SHEET	
T-2	BLDG SYSTEMS & DETAILS, CODE DATA	
EX-1	EXISTING FIRST FLOOR PLAN	
EX-2	EXISTING SECOND FLOOR PLAN	
EX-3	EXISTING THIRD FLOOR PLAN	
A-1	PROPOSED FIRST FLOOR PLAN	
A-2	PROPOSED SECOND FLOOR PLAN	
A-3	PROPOSED THIRD FLOOR PLAN	
A-4	PROPOSED ROOF PLAN	
A-5	PARTIAL ENLARGED FIRST FLOOR PLAN	
A-6	PARTIAL ENLARGED SECOND FLOOR PLAN	
A-7	PARTIAL ENLARGED THIRD FLOOR PLAN	
A-8	PARTIAL ENLARGED ROOF PLAN	
A-9	PARTIAL EXTERIOR ELEVATION	
A-13	WALL SECTIONS	

KEY: REVISED DRAWING - ● INCLUDED, UNREVISED DRAWING - ○

PARTITION LEGEND

	EXISTING WALL
	DEMO EXIST. WALL
	NEW WALL/PARTITION IN EXISTING BUILDING
	INFILL EXISTING DOOR OPENING
	TEMP WALL FOR CONSTRUCTION

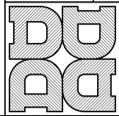
F.R. LEGEND

	1 HOUR FIRE RATED WALL CONSTRUCTION
	1 HOUR SMOKE WALL CONSTRUCTION
	2 HOUR FIRE RATED WALL CONSTRUCTION
	2 HOUR SMOKE WALL CONSTRUCTION



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Belmont, Massachusetts

Belmont Manor Addition & Renovation

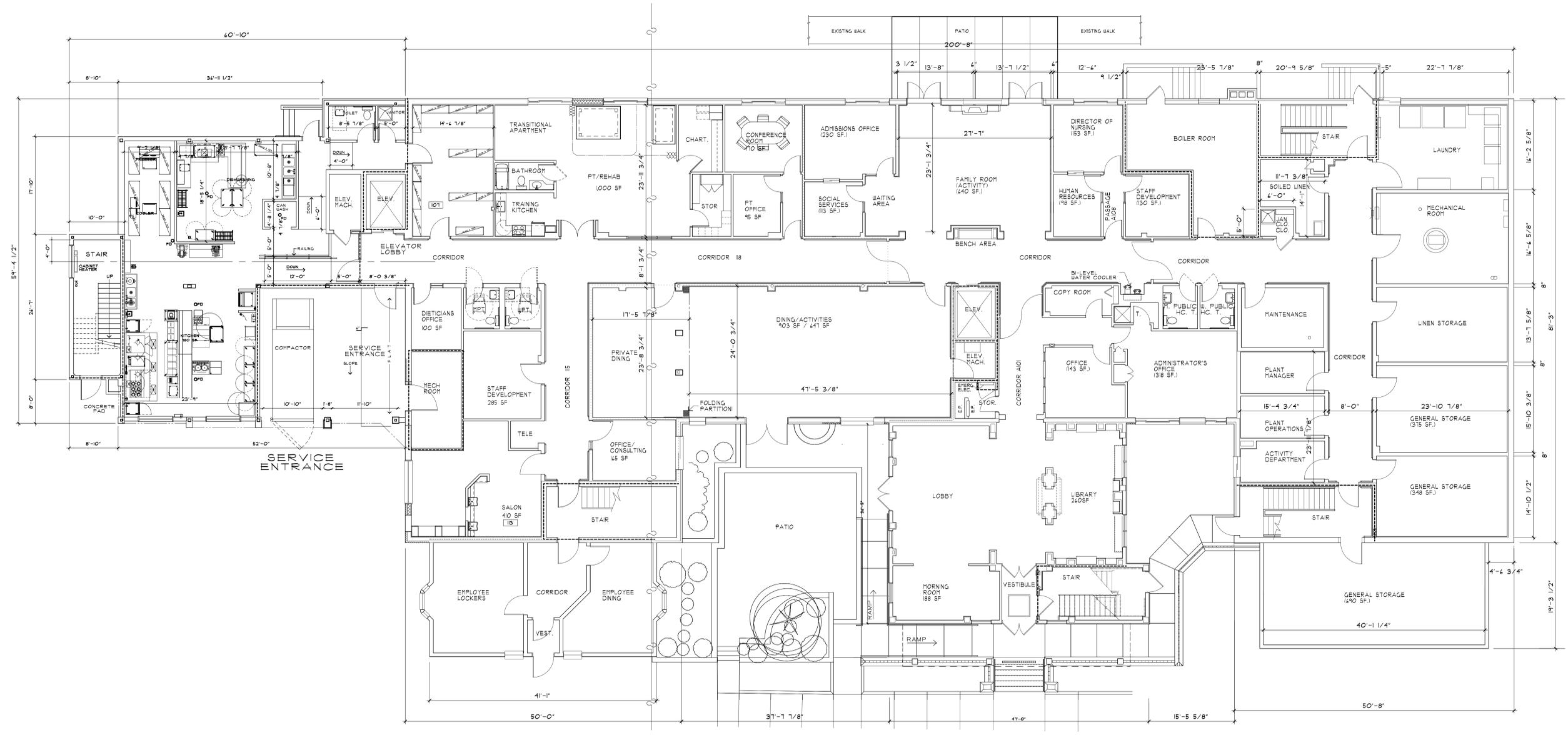
SCALE: DATE: 10/31/2017 DR. BY: Lp

BUILDING PERMIT SUBMISSION 11-21-2017

T-1
 DON #

PARTITION LEGEND	
	1 HR. SMOKE WALL
	2 HOUR WALL
	2 HR. SMOKE WALL

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EXISTING FIRST FLOOR PLAN
 SCALE: 1/8" = 1'-0"
 (BUILDING IS FULLY SPRINKLED IN ACCORDANCE WITH NFPA 13)

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EXISTING FIRST FLOOR PLAN
 Belmont Manor Addition & Renovation

SCALE: 1/8" = 1'-0"
 DATE: 06.28.2017 DR. BY: LdP

BUILDING PERMIT SUBMISSION 11-21-2017

EX-1

DON #

PARTITION LEGEND

- 1 HR. SMOKE WALL
- 2 HOUR WALL
- 2 HR. SMOKE WALL



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EXISTING SECOND FLOOR PLAN
 Belmont Manor Addition & Renovation
 Belmont, Massachusetts

SCALE: 1/8"=1'-0"
 DATE: 06.28.2017 DR. BY: LdP

BUILDING PERMIT SUBMISSION
 11-21-2017
 EX-2
 DON #



PARTITION LEGEND

- 1 HR. SMOKE WALL
- 2 HOUR WALL
- 2 HR. SMOKE WALL



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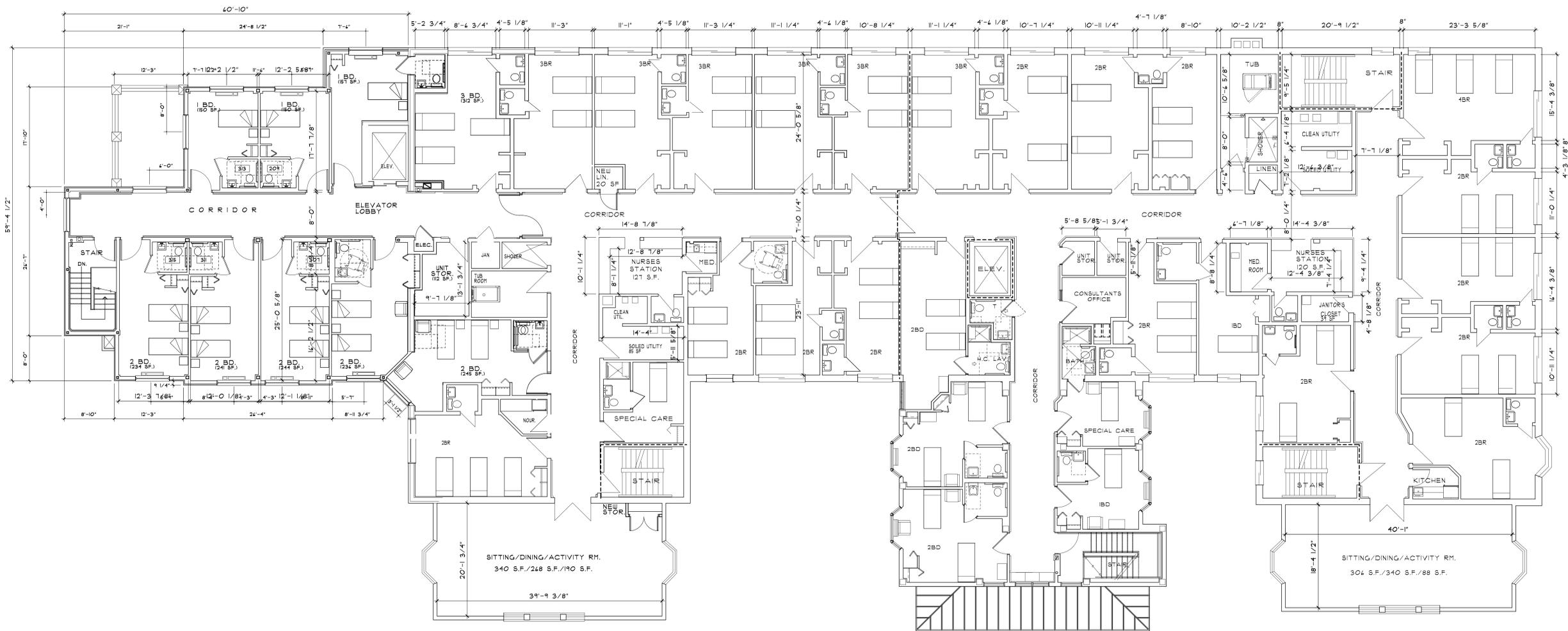
EXISTING THIRD FLOOR PLAN
 Belmont Manor Addition & Renovation

SCALE: 1/8"=1'-0"
 DATE: 06.28.2017 DR. BY: LdP

BUILDING PERMIT SUBMISSION 11-21-2017

EX-3

DON #





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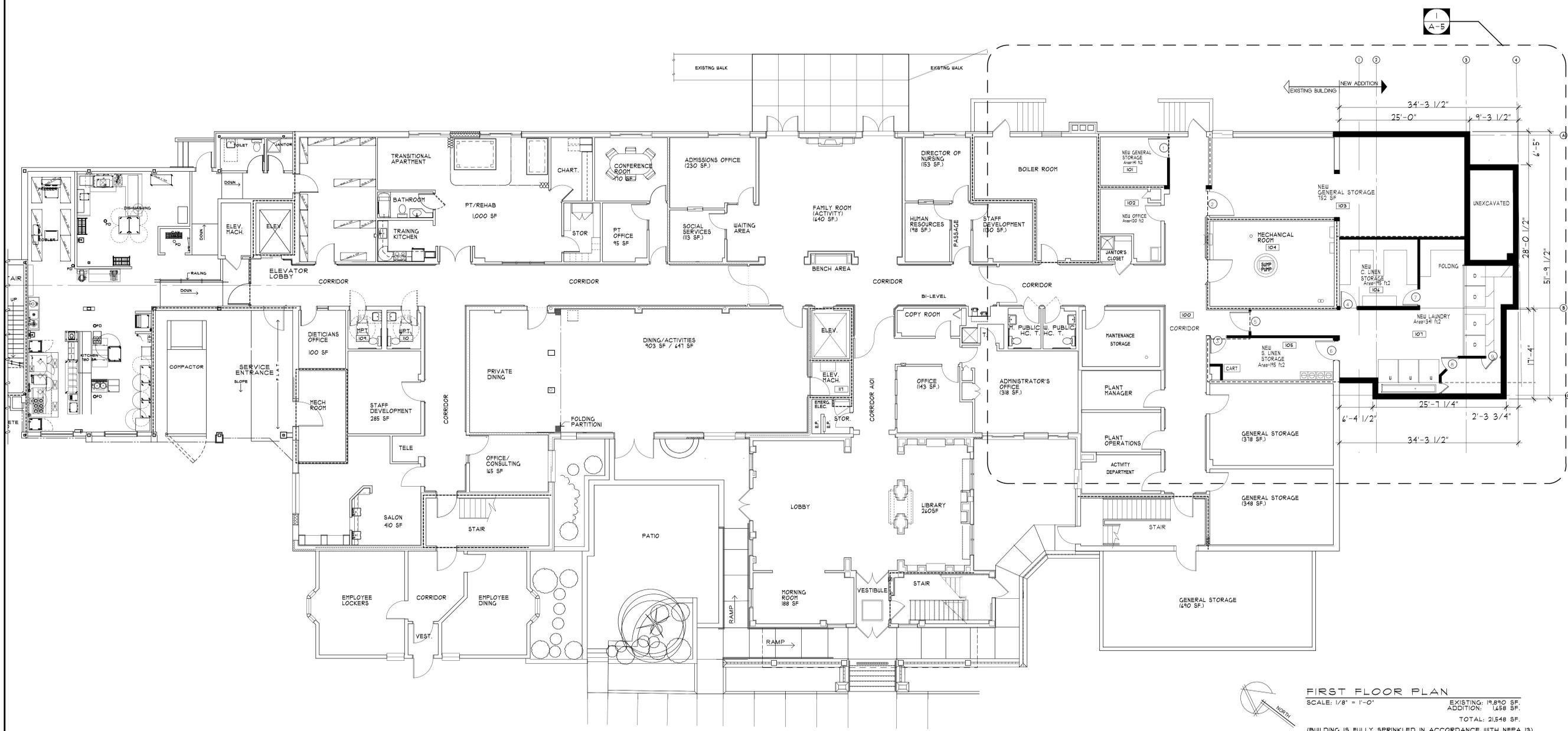
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Belmont, Massachusetts

PROPOSED FIRST FLOOR PLAN
 Belmont Manor Addition & Renovation

SCALE: 1/8" = 1'-0"
 DATE: 08.28.2017 DR. BY: LpP

BUILDING PERMIT SUBMISSION 11-21-2017
 DON #



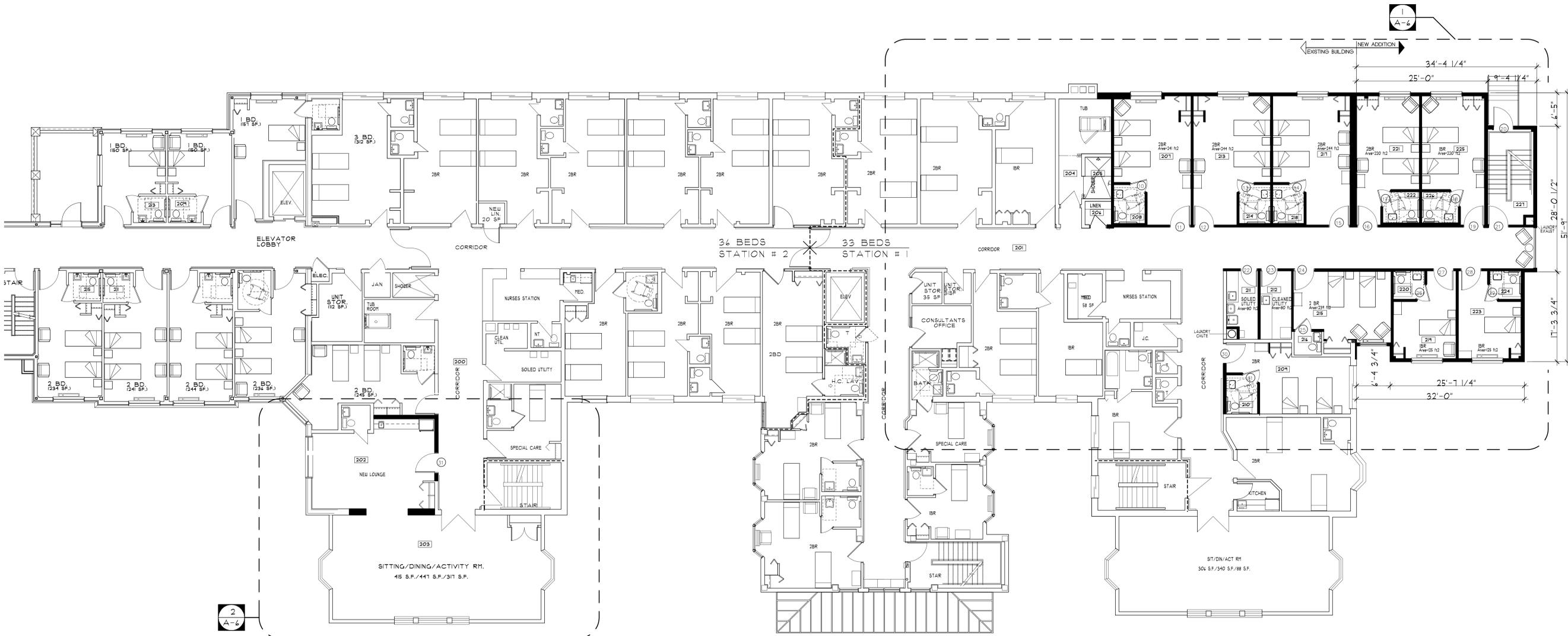
FIRST FLOOR PLAN
 SCALE: 1/8" = 1'-0"
 EXISTING: 19,890 SF.
 ADDITION: 1,458 SF.
 TOTAL: 21,348 SF.
 (BUILDING IS FULLY SPRINKLED IN ACCORDANCE WITH NFPA 13)



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PROPOSED SECOND FLOOR PLAN
 Belmont Manor Addition & Renovation
 Belmont, Massachusetts



SECOND FLOOR PLAN
 SCALE: 1/8" = 1'-0"
 EXISTING: 19,890 S.F.
 ADDITION: 1,458 S.F.
 TOTAL: 21,348 S.F.
 (BUILDING IS FULLY SPRINKLED IN ACCORDANCE WITH NFPA 13)

2
A-6

1
A-6

SCALE: 1/8" = 1'-0"
 DATE: 06.28.2017 DR. BY: LdP

BUILDING PERMIT
 SUBMISSION
 11-21-2017

A-2

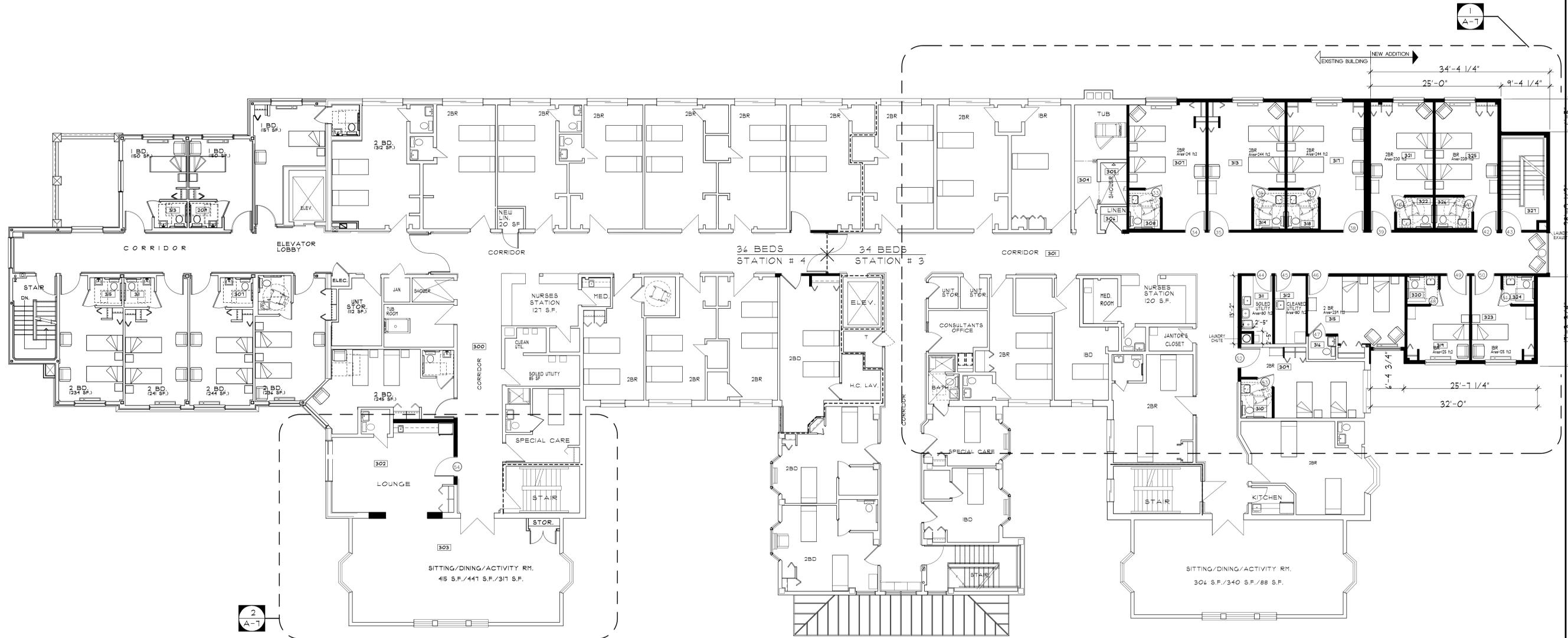
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PROPOSED THIRD FLOOR PLAN
 Belmont Manor Addition & Renovation
 Belmont, Massachusetts



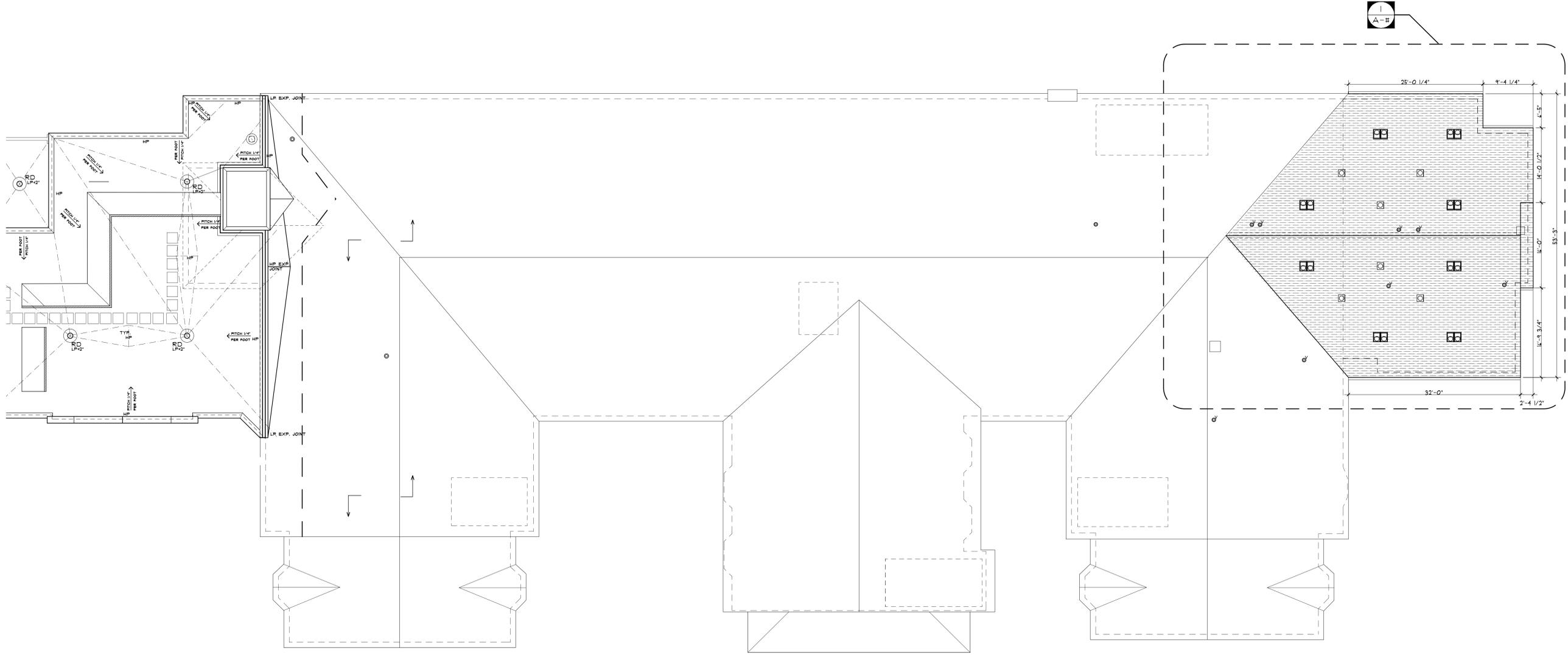
THIRD FLOOR PLAN
 SCALE: 1/8" = 1'-0"
 EXISTING: 19,890 SF.
 ADDITION: 1,458 SF.
 TOTAL: 21,348 SF.
 (BUILDING IS FULLY SPRINKLED IN ACCORDANCE WITH NFPA 13)

SCALE: 1/8"=1'-0" DR. BY: Ldp
 DATE: 06.28.2017

BUILDING PERMIT SUBMISSION 11-21-2017

A-3

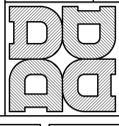
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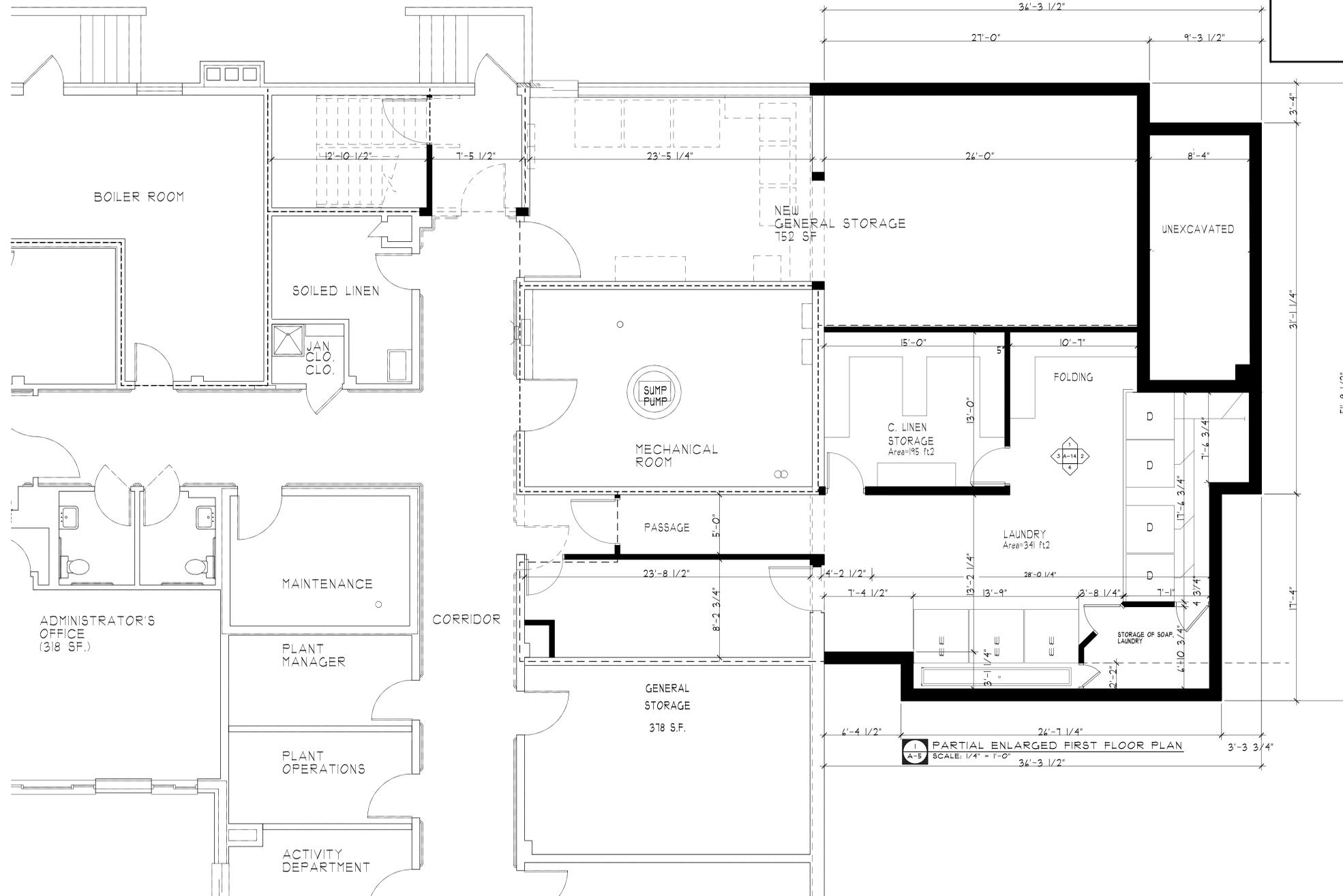
PROPOSED ROOF PLAN
 Belmont Manor Addition & Renovation
 Belmont, Massachusetts

SCALE: 1/4"=1'-0"
 DATE: 08/28/2017 DR. BY: LpP

BUILDING PERMIT SUBMISSION 11-21-2017

A-4

DON #



FIRE RATINGS LEGEND

[Symbol]	1 HOUR FIRE RATED WALL CONSTRUCTION	[Symbol]	2 HOUR FIRE RATED WALL CONSTRUCTION
[Symbol]	1 HOUR SMOKE WALL CONSTRUCTION	[Symbol]	2 HOUR SMOKE WALL CONSTRUCTION

GENERAL NOTES

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PARTIAL ENLARGED FIRST FLOOR PLAN
 Belmont Manor Addition & Renovation
 Belmont, Massachusetts

SCALE: 1/4" = 1'-0"
 DATE: 04.28.2011
 DR. BY: LdP

A-5
 BUILDING PERMIT SUBMISSION
 11-21-2011
 DON #



FIRE RATINGS LEGEND

	1 HOUR FIRE RATED WALL CONSTRUCTION		2 HOUR FIRE RATED WALL CONSTRUCTION
	1 HOUR SMOKE WALL CONSTRUCTION		2 HOUR SMOKE WALL CONSTRUCTION

GENERAL NOTES

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PARTIAL ENLARGED SECOND FLOOR PLAN
 Belmont, Massachusetts

1 PARTIAL ENLARGED SECOND FLOOR PLAN
 SCALE: 1/4" = 1'-0"

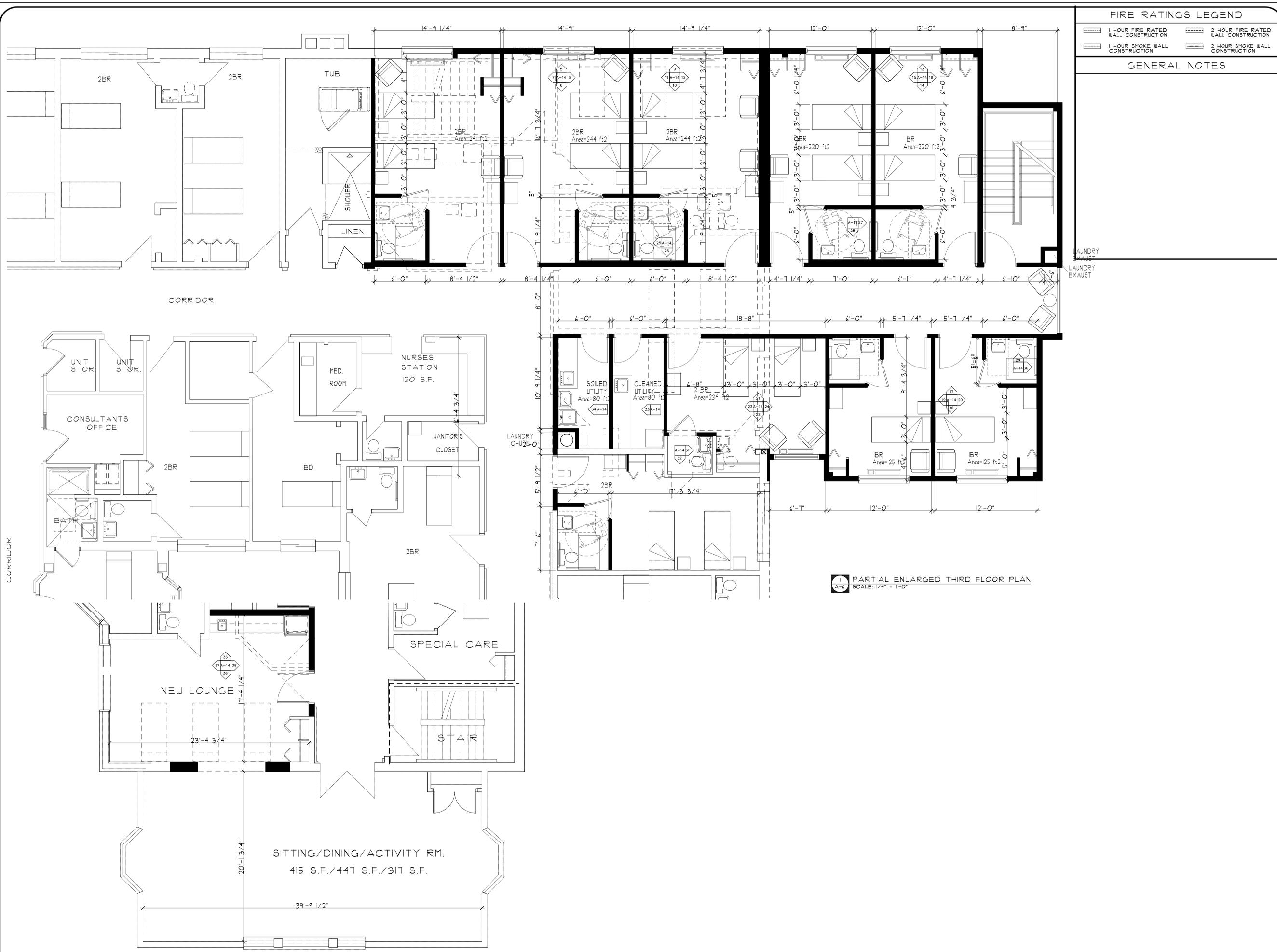
2 PARTIAL ENLARGED SECOND FLOOR PLAN
 SCALE: 1/4" = 1'-0"

SCALE: 1/4" = 1'-0"
 DATE: 04.28.2017 DR. BY: LdP

BUILDING PERMIT SUBMISSION 11-21-2017

A-6

DON #



FIRE RATINGS LEGEND

	1 HOUR FIRE RATED WALL CONSTRUCTION		2 HOUR FIRE RATED WALL CONSTRUCTION
	1 HOUR SMOKE WALL CONSTRUCTION		2 HOUR SMOKE WALL CONSTRUCTION

GENERAL NOTES

1. ALL ROOMS SHALL BE FINISHED TO THE FINISHES SHOWN ON THIS PLAN UNLESS OTHERWISE NOTED.

2. ALL WALLS SHALL BE FINISHED TO THE FINISHES SHOWN ON THIS PLAN UNLESS OTHERWISE NOTED.

3. ALL FLOORS SHALL BE FINISHED TO THE FINISHES SHOWN ON THIS PLAN UNLESS OTHERWISE NOTED.

4. ALL CEILING SHALL BE FINISHED TO THE FINISHES SHOWN ON THIS PLAN UNLESS OTHERWISE NOTED.

5. ALL DOORS SHALL BE FINISHED TO THE FINISHES SHOWN ON THIS PLAN UNLESS OTHERWISE NOTED.

6. ALL WINDOWS SHALL BE FINISHED TO THE FINISHES SHOWN ON THIS PLAN UNLESS OTHERWISE NOTED.

7. ALL LIGHT FIXTURES SHALL BE FINISHED TO THE FINISHES SHOWN ON THIS PLAN UNLESS OTHERWISE NOTED.

8. ALL ELECTRICAL SHALL BE FINISHED TO THE FINISHES SHOWN ON THIS PLAN UNLESS OTHERWISE NOTED.

9. ALL MECHANICAL SHALL BE FINISHED TO THE FINISHES SHOWN ON THIS PLAN UNLESS OTHERWISE NOTED.

10. ALL PLUMBING SHALL BE FINISHED TO THE FINISHES SHOWN ON THIS PLAN UNLESS OTHERWISE NOTED.

11. ALL TUBS SHALL BE FINISHED TO THE FINISHES SHOWN ON THIS PLAN UNLESS OTHERWISE NOTED.

12. ALL SHOWERS SHALL BE FINISHED TO THE FINISHES SHOWN ON THIS PLAN UNLESS OTHERWISE NOTED.

13. ALL LINEN SHALL BE FINISHED TO THE FINISHES SHOWN ON THIS PLAN UNLESS OTHERWISE NOTED.

14. ALL BATHS SHALL BE FINISHED TO THE FINISHES SHOWN ON THIS PLAN UNLESS OTHERWISE NOTED.

15. ALL SOILED UTILITY SHALL BE FINISHED TO THE FINISHES SHOWN ON THIS PLAN UNLESS OTHERWISE NOTED.

16. ALL CLEANED UTILITY SHALL BE FINISHED TO THE FINISHES SHOWN ON THIS PLAN UNLESS OTHERWISE NOTED.

17. ALL NURSES STATION SHALL BE FINISHED TO THE FINISHES SHOWN ON THIS PLAN UNLESS OTHERWISE NOTED.

18. ALL JANITORS CLOSET SHALL BE FINISHED TO THE FINISHES SHOWN ON THIS PLAN UNLESS OTHERWISE NOTED.

19. ALL 2BR SHALL BE FINISHED TO THE FINISHES SHOWN ON THIS PLAN UNLESS OTHERWISE NOTED.

20. ALL 1BR SHALL BE FINISHED TO THE FINISHES SHOWN ON THIS PLAN UNLESS OTHERWISE NOTED.

21. ALL 2BR Area=244 ft² SHALL BE FINISHED TO THE FINISHES SHOWN ON THIS PLAN UNLESS OTHERWISE NOTED.

22. ALL 2BR Area=244 ft² SHALL BE FINISHED TO THE FINISHES SHOWN ON THIS PLAN UNLESS OTHERWISE NOTED.

23. ALL 2BR Area=220 ft² SHALL BE FINISHED TO THE FINISHES SHOWN ON THIS PLAN UNLESS OTHERWISE NOTED.

24. ALL 1BR Area=220 ft² SHALL BE FINISHED TO THE FINISHES SHOWN ON THIS PLAN UNLESS OTHERWISE NOTED.

25. ALL 2BR Area=239 ft² SHALL BE FINISHED TO THE FINISHES SHOWN ON THIS PLAN UNLESS OTHERWISE NOTED.

26. ALL 1BR Area=125 ft² SHALL BE FINISHED TO THE FINISHES SHOWN ON THIS PLAN UNLESS OTHERWISE NOTED.

27. ALL 1BR Area=125 ft² SHALL BE FINISHED TO THE FINISHES SHOWN ON THIS PLAN UNLESS OTHERWISE NOTED.

28. ALL SOILED UTILITY Area=80 ft² SHALL BE FINISHED TO THE FINISHES SHOWN ON THIS PLAN UNLESS OTHERWISE NOTED.

29. ALL CLEANED UTILITY Area=80 ft² SHALL BE FINISHED TO THE FINISHES SHOWN ON THIS PLAN UNLESS OTHERWISE NOTED.

30. ALL NURSES STATION 120 S.F. SHALL BE FINISHED TO THE FINISHES SHOWN ON THIS PLAN UNLESS OTHERWISE NOTED.

31. ALL JANITORS CLOSET SHALL BE FINISHED TO THE FINISHES SHOWN ON THIS PLAN UNLESS OTHERWISE NOTED.

32. ALL 2BR SHALL BE FINISHED TO THE FINISHES SHOWN ON THIS PLAN UNLESS OTHERWISE NOTED.

33. ALL 1BR SHALL BE FINISHED TO THE FINISHES SHOWN ON THIS PLAN UNLESS OTHERWISE NOTED.

34. ALL 2BR SHALL BE FINISHED TO THE FINISHES SHOWN ON THIS PLAN UNLESS OTHERWISE NOTED.

35. ALL 1BR SHALL BE FINISHED TO THE FINISHES SHOWN ON THIS PLAN UNLESS OTHERWISE NOTED.

36. ALL 2BR SHALL BE FINISHED TO THE FINISHES SHOWN ON THIS PLAN UNLESS OTHERWISE NOTED.

37. ALL 1BR SHALL BE FINISHED TO THE FINISHES SHOWN ON THIS PLAN UNLESS OTHERWISE NOTED.

38. ALL 2BR SHALL BE FINISHED TO THE FINISHES SHOWN ON THIS PLAN UNLESS OTHERWISE NOTED.

39. ALL 1BR SHALL BE FINISHED TO THE FINISHES SHOWN ON THIS PLAN UNLESS OTHERWISE NOTED.

40. ALL 2BR SHALL BE FINISHED TO THE FINISHES SHOWN ON THIS PLAN UNLESS OTHERWISE NOTED.

41. ALL 1BR SHALL BE FINISHED TO THE FINISHES SHOWN ON THIS PLAN UNLESS OTHERWISE NOTED.

42. ALL 2BR SHALL BE FINISHED TO THE FINISHES SHOWN ON THIS PLAN UNLESS OTHERWISE NOTED.

43. ALL 1BR SHALL BE FINISHED TO THE FINISHES SHOWN ON THIS PLAN UNLESS OTHERWISE NOTED.

44. ALL 2BR SHALL BE FINISHED TO THE FINISHES SHOWN ON THIS PLAN UNLESS OTHERWISE NOTED.

45. ALL 1BR SHALL BE FINISHED TO THE FINISHES SHOWN ON THIS PLAN UNLESS OTHERWISE NOTED.

46. ALL 2BR SHALL BE FINISHED TO THE FINISHES SHOWN ON THIS PLAN UNLESS OTHERWISE NOTED.

47. ALL 1BR SHALL BE FINISHED TO THE FINISHES SHOWN ON THIS PLAN UNLESS OTHERWISE NOTED.

48. ALL 2BR SHALL BE FINISHED TO THE FINISHES SHOWN ON THIS PLAN UNLESS OTHERWISE NOTED.

49. ALL 1BR SHALL BE FINISHED TO THE FINISHES SHOWN ON THIS PLAN UNLESS OTHERWISE NOTED.

50. ALL 2BR SHALL BE FINISHED TO THE FINISHES SHOWN ON THIS PLAN UNLESS OTHERWISE NOTED.

1 PARTIAL ENLARGED THIRD FLOOR PLAN
SCALE: 1/4" = 1'-0"

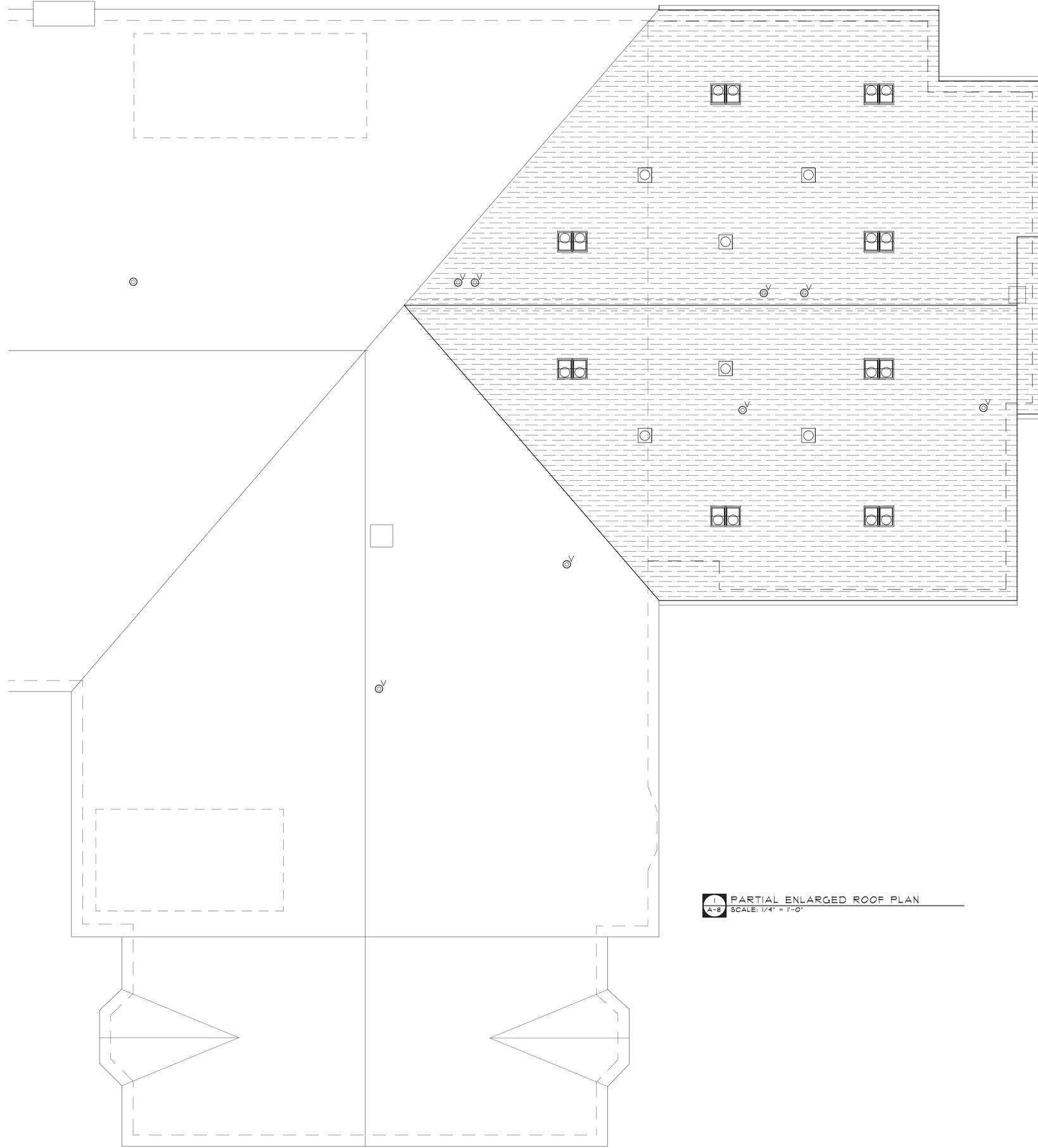
2 PARTIAL ENLARGED THIRD FLOOR PLAN
SCALE: 1/4" = 1'-0"

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PHONE: (781) 878-0066 FAX: (781) 878-7060
email: David@DHDunlap.com

PARTIAL ENLARGED THIRD FLOOR PLAN
Belmont Manor Addition & Renovation
Belmont, Massachusetts

SCALE: 1/4" = 1'-0"
DATE: 04.28.2017
DR. BY: LdP
SUBMISSION: 11.21.2017

A-1



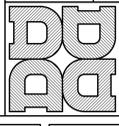
1 PARTIAL ENLARGED ROOF PLAN
 A-8 SCALE: 1/4" = 1'-0"



David H. Dunlap

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PARTIAL ENLARGED ROOF FLOOR PLAN
Belmont Manor Addition & Renovation
 Belmont, Massachusetts

SCALE: 1/4" = 1'-0"
 DATE: 07.28.2017 DR. BY: LdP

BUILDING PERMIT
 SUBMISSION
 11-21-2017

A-8

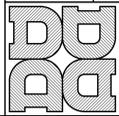
DON #



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PARTIAL EXTERIOR ELEVATIONS
Belmont Manor Addition & Renovation
Belmont, Massachusetts

SCALE: 1/8" = 1'-0"
DATE: 08.28.2017 DR. BY: L-9

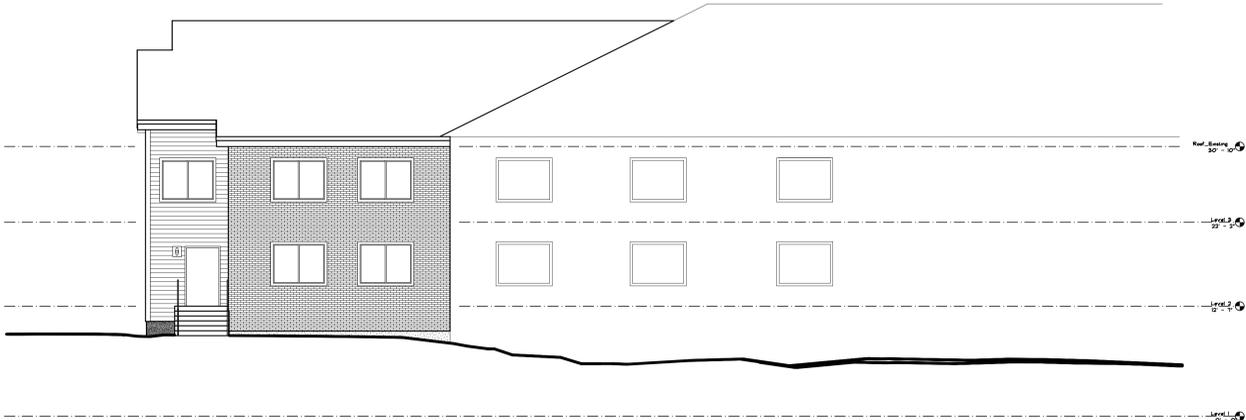
BUILDING PERMIT SUBMISSION 11.21.2017

A-9

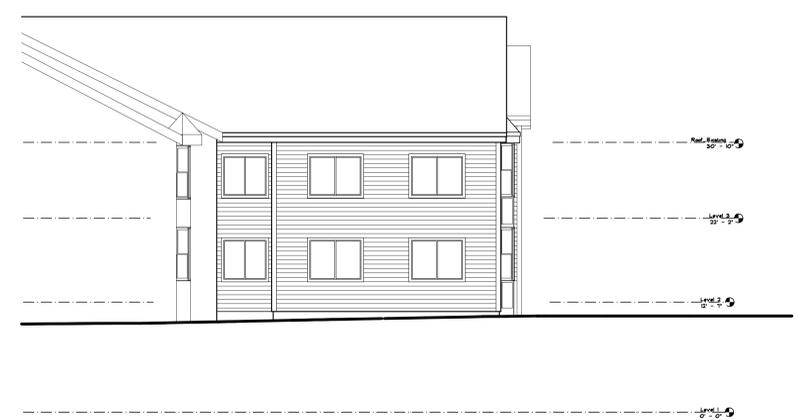
DON #



1 PARTIAL ELEVATION
A-9 SCALE: 1/8" = 1'-0"



2 PARTIAL ELEVATION
A-9 SCALE: 1/8" = 1'-0"



3 PARTIAL ELEVATION
A-9 SCALE: 1/8" = 1'-0"



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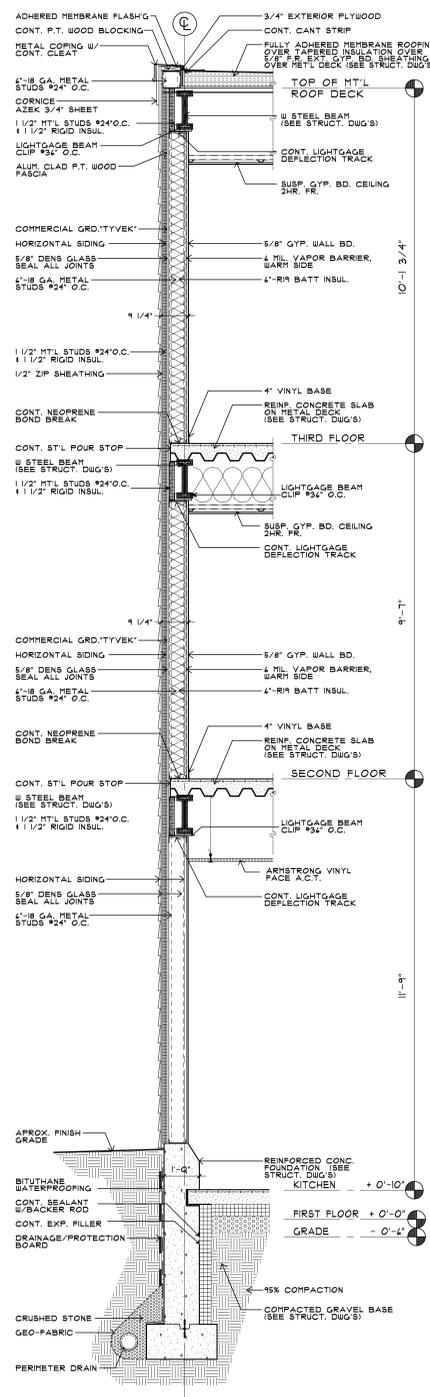


WALL SECTIONS
 Belmont Manor Addition & Renovation
 Belmont, Massachusetts

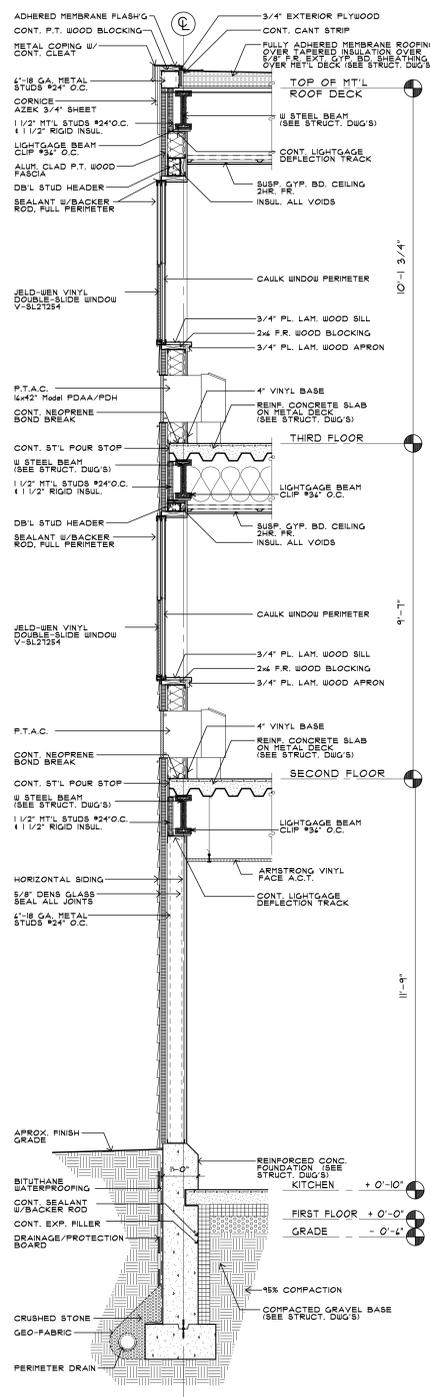
SCALE: DATE: 06.28.2017 DR. BY: LdP

BUILDING PERMIT SUBMISSION 11-21-2017

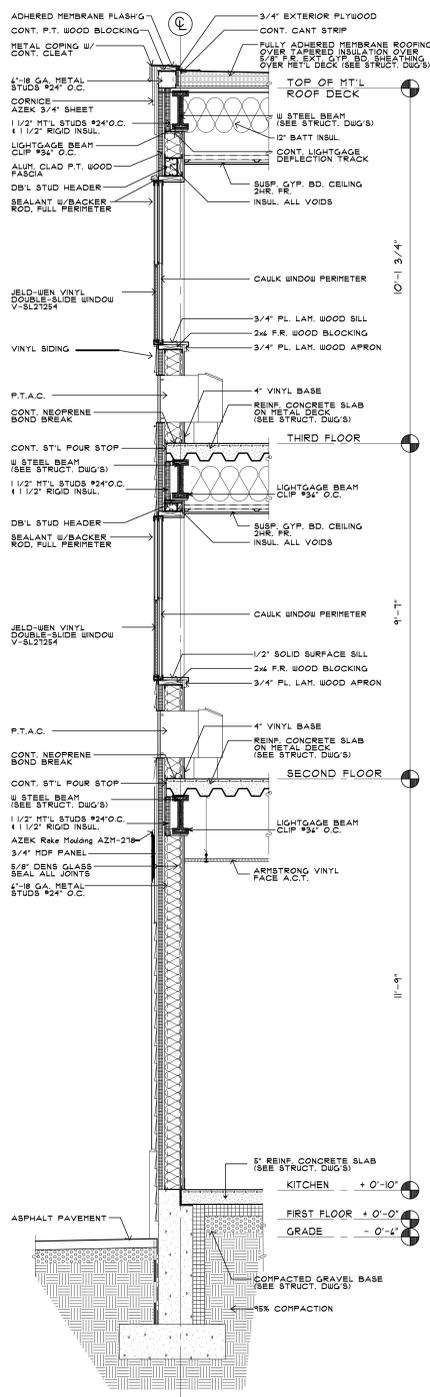
A-13
 DON #



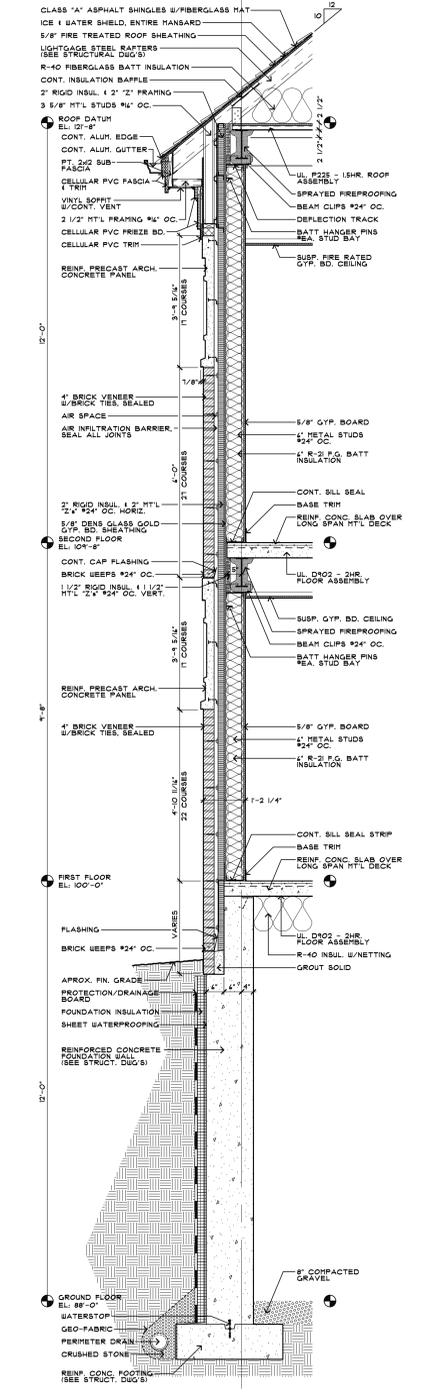
1 EXTERIOR WALL SECTION
 SCALE: 1/2" = 1'-0"



2 EXTERIOR WALL SECTION
 SCALE: 1/2" = 1'-0"



3 EXTERIOR WALL SECTION
 SCALE: 1/2" = 1'-0"



4 EXTERIOR WALL SECTION
 SCALE: 3/4" = 1'-0"
 NOTE: COORDINATE ALL WALL SECTIONS