

RECEIVED
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BELMONT, MA

CASE NO. 25-01

2024 DEC -3 AM 11:44

**NOTICE OF PUBLIC HEARING BY THE
ZONING BOARD OF APPEALS**

ON APPLICATION FOR TWO SPECIAL PERMITS

Notice is hereby given that the Belmont Zoning Board of Appeals will hold a public hearing on Monday, January 6, 2025 at 7:00 PM by a hybrid public hearing at the Art Gallery on the third floor of the Homer Building, 19 Moore Street, and by remote access through the Zoom app. to consider the application of Laura and Timothy Collins to construct a dormer, a rear addition and a deck at 56 Oliver Road located in a Single Residence C (SRC) Zoning District. §4.2 of the By-Law 1.- allows a maximum lot coverage of 25%, the existing lot coverage is 25.3% and the proposed is 26.2%, and 2.- requires a minimum front setback of 23.2', the existing and proposed front setback is 20.1'.

ZONING BOARD OF APPEALS



OFFICE OF PLANNING & BUILDING
TOWN OF BELMONT
19 Moore Street
Homer Municipal Building
Belmont, Massachusetts 02478-0900

RECEIVED
TOWN CLERK
BELMONT, MA

2024 DEC -3 PM 1:23

Building Division
(617) 993-2664
Planning Division
(617) 993-2666

Telephone: (617) 993-2650

October 15, 2024

Laura and Timothy Collins
56 Oliver Road
Belmont MA 02478

RE: Construct a Dormer, a Rear Addition and a Deck

Dear Mr. and Mrs. Collins:

The Office of Planning and Building is in receipt of your building permit application to construct a dormer, a rear addition and a deck at 56 Oliver Road located in a Single Residence C (SRC) Zoning District.

Your application has been denied because it does not comply with the current Town of Belmont Zoning By-Law. More specifically, §4.2 of the By-Law allows a maximum lot coverage of 25% and requires a minimum front setback of 23.2'.

1. The existing lot coverage is 25.3% and the proposed is 26.2%.
2. The existing and proposed front setback is 20.1'.

You may alter your plans to conform to the Zoning By-Law and resubmit for a building permit or you may request two (2) Special Permits from the Zoning Board of Appeals. If you choose this option, please contact the Office of Planning and Building at (617)-993-2650 to schedule an appointment with Ara Yogurtian, Inspector of Buildings to begin the process.

Sincerely

Ara Yogurtian C.B.O.
Inspector of Buildings



Town of Belmont
Zoning Board of Appeals

APPLICATION FOR A SPECIAL PERMIT

Date: 11/06/2024

Zoning Board of Appeals
Homer Municipal Building
19 Moore Street
Belmont, MA 02478

To Whom It May Concern:

Pursuant to the provisions of Massachusetts General Laws, Chapter 40A, Section 9, as amended, and the Zoning By-Laws of the Town of Belmont, I/we the undersigned, being the owner(s) of a certain parcel of land (with the buildings thereon) situated on 56 OLIVER ROAD Street/Road, hereby apply to your Board for a **SPECIAL PERMIT** for the erection or alteration on said premises or the use thereof under the applicable Section of the Zoning By-Law of said Town for _____

SECOND FLOOR EXPANSION WITH DECK AND
DORMER ADDITION.

on the ground that the same will be in harmony with the general purpose and intent of said Zoning By-Law.

Signature of Petitioner

Laura & Tim Collins

Print Name

LAURA & TIM COLLINS

Address

56 OLIVER ROAD

BELMONT, MA 02478

Daytime Telephone Number

215.209.5579

Request for Special Permit Re: New Dormer

Submitted by
Laura and Tim Collins
Owner of
56 Oliver Road, Belmont MA 02478

We propose to add a new deck, mudroom, expanded second floor and rear dormer to our home at 56 Oliver Road in Belmont. The new space will include two new bedrooms, two new bathrooms, eave closets and mechanical space. We would like to note that we have spoken with the neighbors and received verbal support for the project. We have endeavored to create a design which is harmonious with the existing house, neighborhood and adjacent houses.

We have lived in our single-family home for four years with our growing family. We also have family that visit often, and we would like to accommodate them when they stay with us. In addition, we have found that we need more quiet spaces for ongoing work changes that require space at home. We felt that dormering and expanding the second floor of our home would allow us the space needed without changing the character of the property.

We have worked with Keith Miller of Miller Design, a local Belmont architect to review options for creating the space we needed. We explored other schemes but felt that the addition of a full second floor with a rear facing dormer was the best way to retain the look and massing of our home and the vernacular of homes on Oliver Road. It also allowed us to retain the original brick façade of the house. We would also like to note that we included images of the existing front and back of the house in our submission along with neighbors who have completed recent similar projects.

The original building permit application was declined because our proposed addition in the Single Residence C zoning district is 20.1' from the front property line and our existing lot coverage has increased from 25.3% to 26.2%. It is important to note that the existing front yard setback at this location is skewed due to the neighboring property at 35 Lodge Road. That house is on a corner lot and is further setback on Oliver Road than any other house. This makes our existing house non-conforming in relation to the front yard setback. It is also important to note that we are only going up with a second floor at this location and not otherwise increasing the nonconformity. Our proposed addition also adds a small mudroom so that shoes and coats are not piled up in our kitchen and blasts of cold air don't regularly fill the house. In all, the mudroom and new deck only cover 59sqft of additional land. We are asking the Zoning Board of Appeals to grant us a special permit allowing us to build this addition to our home. It is our belief that the proposed addition is in keeping with the character of the neighborhood and not detrimental to the community.

Zoning Compliance Check List (Registered Land Surveyor)

Property Address: 56 Oliver Road Zone: SRC
 Surveyor Signature and Stamp: _____ Date: _____

	REQUIRED	EXISTING	PROPOSED
Lot Area	9,000 S.F.	6,223 S.F.	6,223 S.F.
Lot Frontage	75'	60.0'	60.0'
Floor Area Ratio	N/A	N/A	N/A
Lot Coverage	25%	25.3%	26.2%
Open Space	50%	55.9%	54.4%
Front Setback	23.2'	20.1'	20.1'
Side Setback	10'	8.0'	8.0'
Side Setback	10'	11.4'	11.4'
Rear Setback	30'	45.5'	35.7'
Building Height	30'	30.85'	30.85'
Stories	2-1/2	2-1/2	2-1/2
½ Story Calculation			

NOTES:



Douglas L. Johnston
10/7/24

June 4, 2013

DLJ Geomatics
276 North Street
Weymouth, MA 02191
landsurv23@gmail.com
781-812-0457

56 Oliver Road
Belmont, MA 02478

There are six segments of foundation wall. They are 7.1' tall.

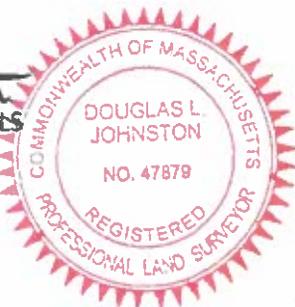
SEGMENT	LENGTH	TOTAL FACE	BELOW GRADE
A	37.0'	262.70 S.F.	180.56 S.F.
B	28.6'	203.06 S.F.	137.28 S.F.
C	20.6'	146.26 S.F.	97.44 S.F.
D	12.4'	88.04 S.F.	71.30 S.F.
E	28.6'	203.06 S.F.	140.71 S.F.
TOTALS		903.12 S.F.	627.29 S.F.

$627.29/903.12 = .6946$

The foundation walls are 69.46% below grade.


Douglas Johnston, PLS

10/7/24



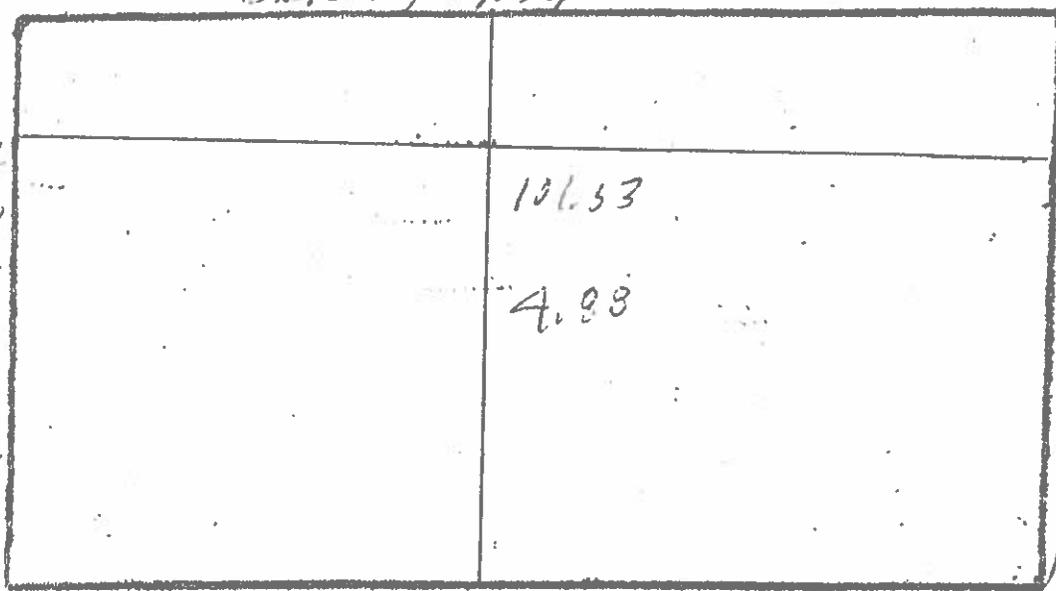
BELOWNT

SEG "A"

37.0 TOTAL
 + 7.1 FACE
 OF WALL

 262.70

CEILING = 103.75



37.0 BELOW
 + 9.89 GRADE

 130.56

130.56

 262.70 = 68.73

FLOOR = 96.65

68.73%
 BELOW GRADE

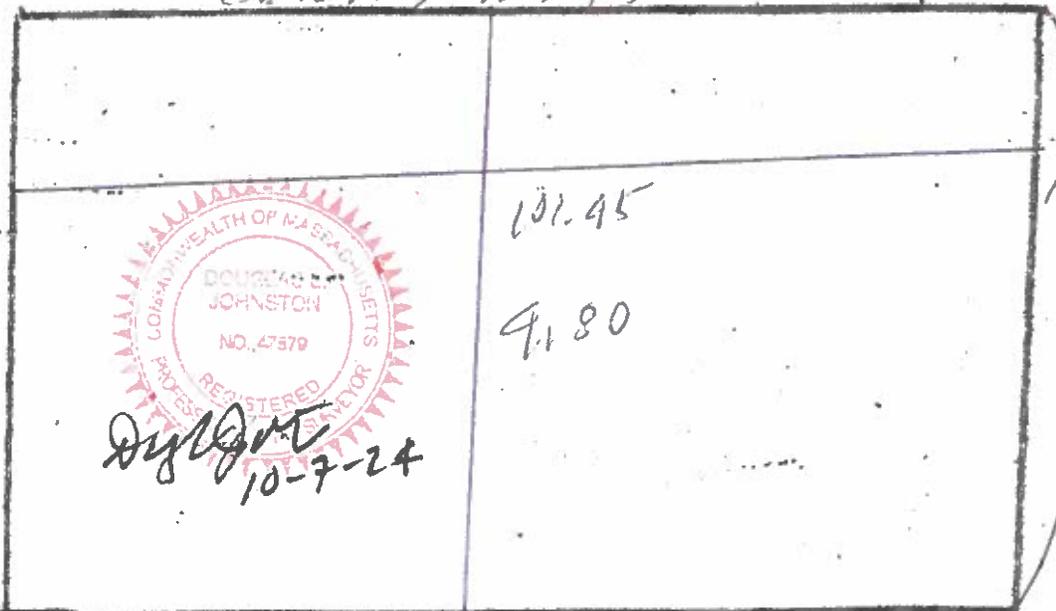
37.0'

SEG "B"

28.6 TOTAL
 + 7.1 FACE
 OF WALL

 203.06

CEILING = 103.75



8.6 BELOW
 + 9.80 GRADE

 37.28

37.28

 203.06 = 17.61

FLOOR = 96.65

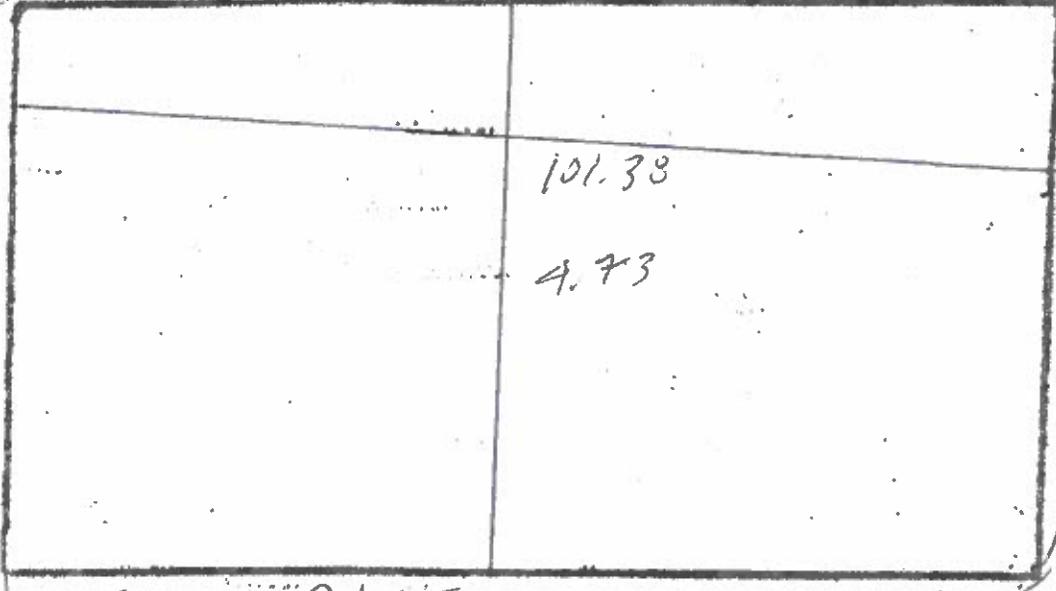
17.61%
 BELOW GRADE

28.6'

BELMONT

SEG 'C'

CEILING = 103.75



FLOOR = 96.65

20.6'

20.6
+ 7.1

146.26

TOTAL
PRICE OF
WORK

101.66

20.6
+ 9.73

97.44

BELOW
GRADE

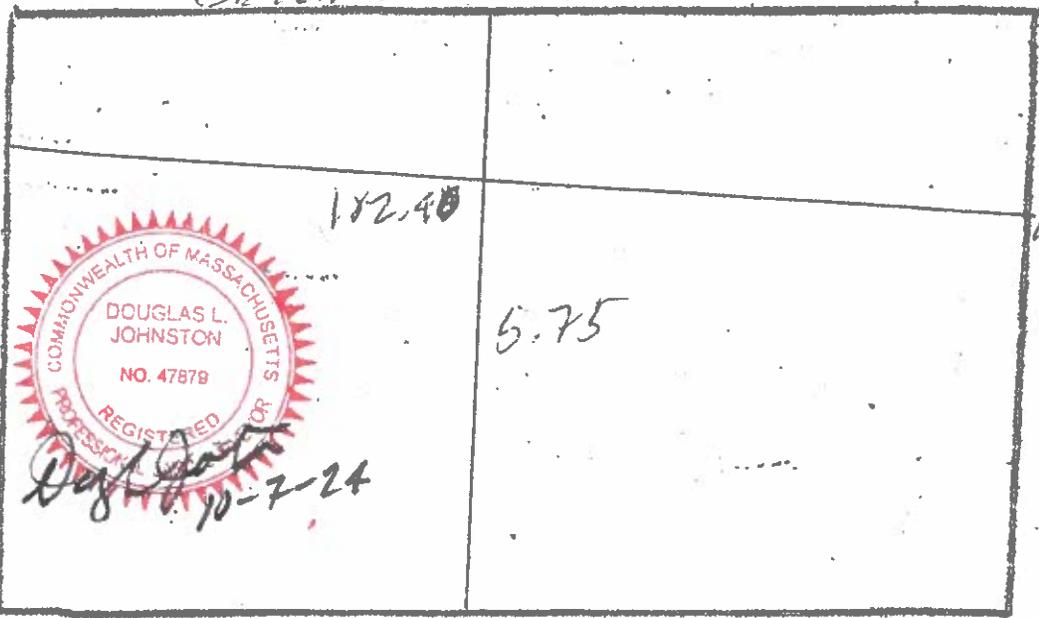
97.44

146.26 = 66.6%

66.6%
BELOW GRADE

SEG 'D'

CEILING = 103.75



FLOOR = 96.65

17.4'

2.4
+ 7.1

38.09

TOTAL
PRICE OF
WORK

102.92

2.4
+ 5.75

76.30

BELOW
GRADE

1.30

80.99

80.99%
BELOW GRADE

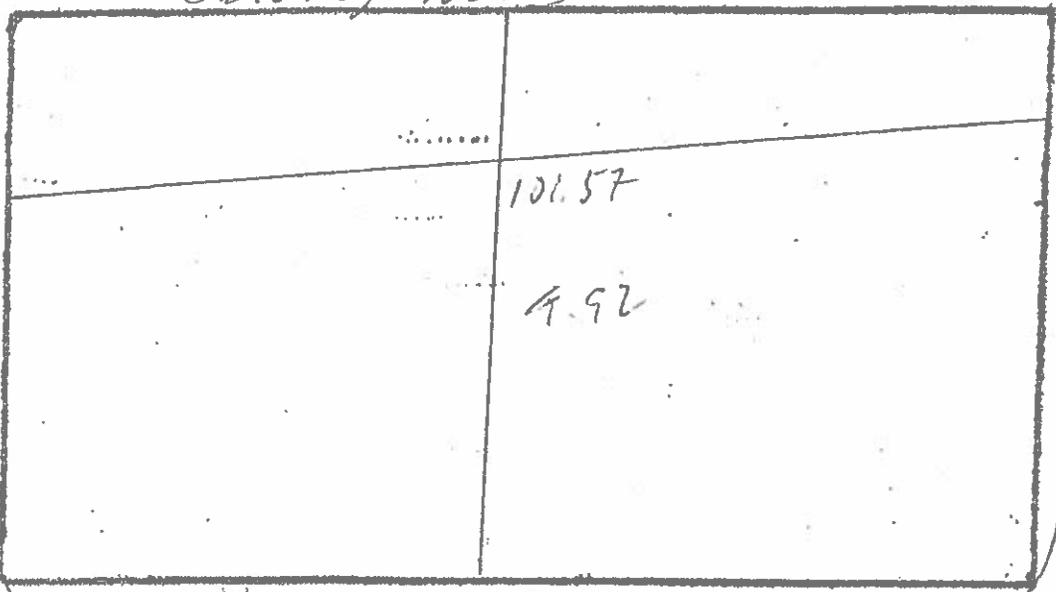
3000000000

B.F. LLOYD

566 E

CEILING @ 103.75

$$\begin{array}{r} 286 \\ \times 7.1 \\ \hline 203.06 \end{array}$$
 TOTAL
FACE
OF
CALL



106.32

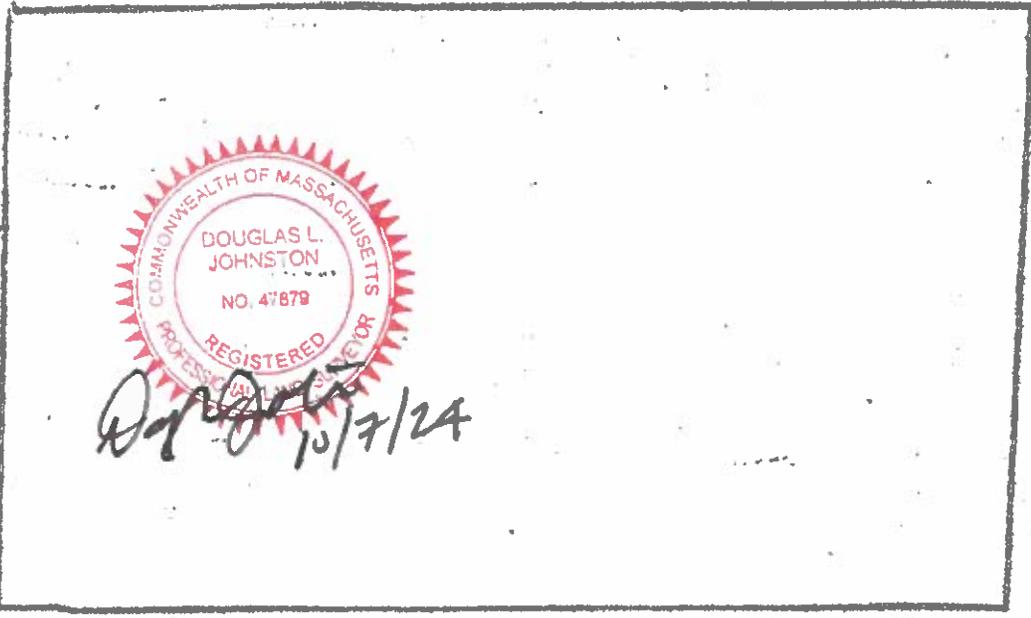
$$\begin{array}{r} 286 \\ \times 9.92 \\ \hline 2837.112 \end{array}$$
 BELOW
GRADE

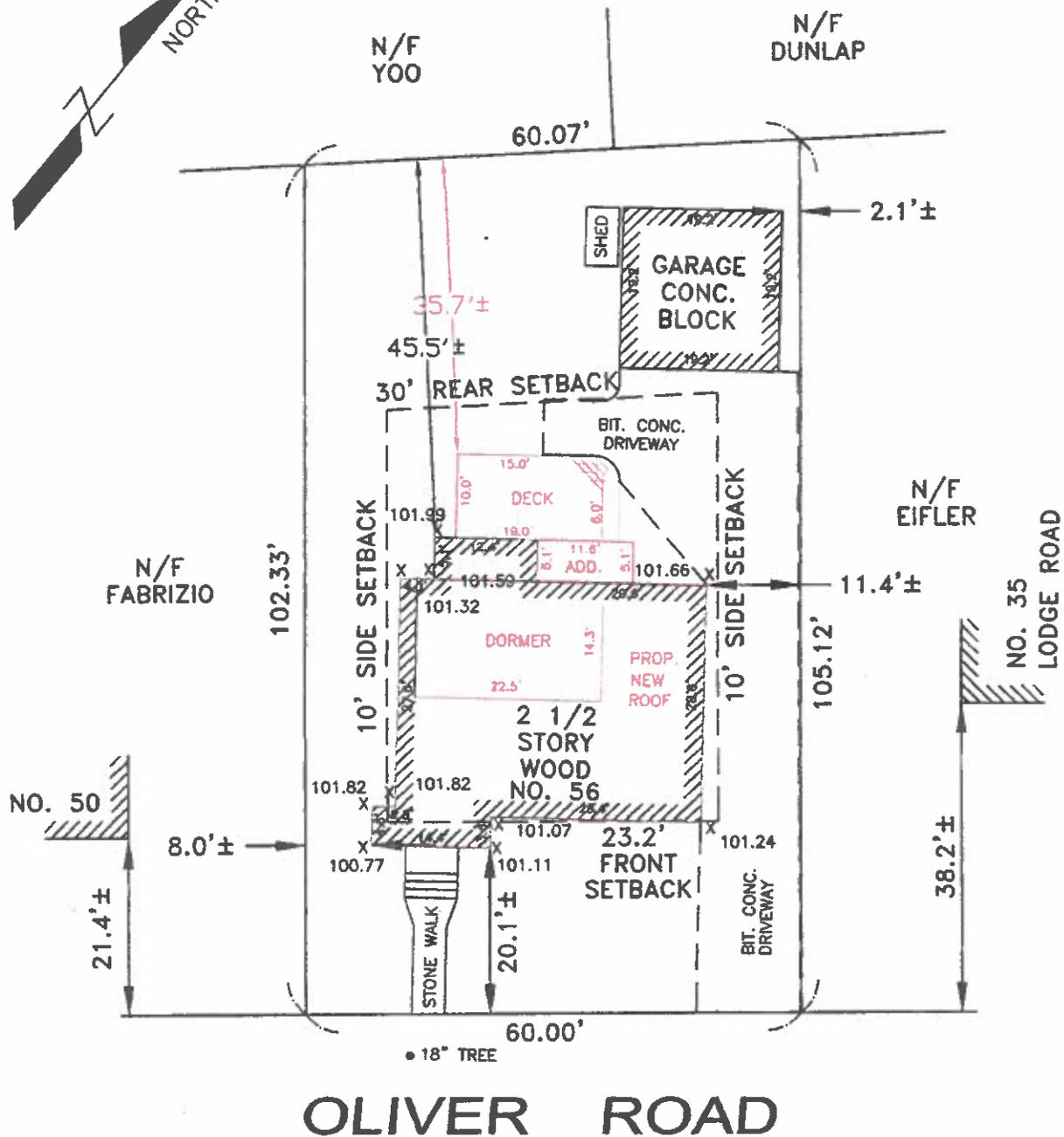
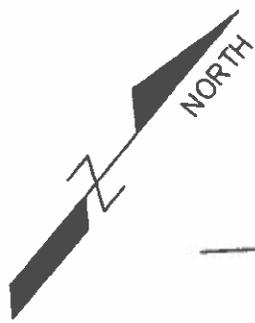
$$\frac{2837.112}{100} = 28.37112$$

FLOOR = 96.65

69.29%
BELOW GRADE

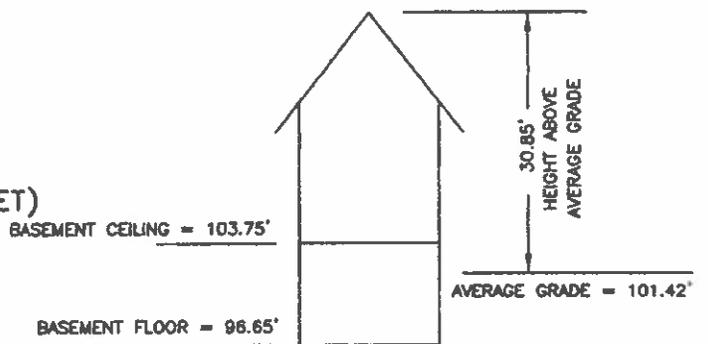
28.6





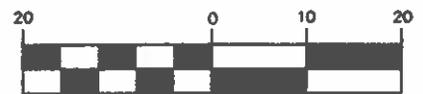
OLIVER ROAD

LOT AREA = 6,223 S.F.±
 EXISTING BUILDING = 1,175 S.F.±
 EXISTING GARAGE = 369 S.F.±
 EXISTING SHED = 28 S.F.±
 EXISTING PAVEMENT = 1,170 S.F.±
 PROPOSED ADDITION = 740 S.F.± (59 S.F.± NET)
 EXISTING LOT COVERAGE = 25.3%
 PROPOSED LOT COVERAGE = 26.2%
 EXISTING OPEN SPACE = 55.9%
 PROPOSED OPEN SPACE = 54.4%



NOTES

- SEE DEED RECORDED IN MIDDLESEX COUNTY REGISTRY OF DEEDS IN DEED BOOK 41292, PAGE 114.
- SEE PLAN RECORDED IN MIDDLESEX COUNTY REGISTRY OF DEEDS IN DEED BOOK 5353, PAGE 111.
- SUBJECT PARCEL IS LOCATED IN ZONE SRC.
- ONE SHADE TREE LOCATED IN THE PUBLIC WAY.
- SUBJECT PARCEL IS LOCATED IN FLOOD ZONE X, PANEL NUMBER 25017C0418E, EFFECTIVE ON 6/4/2010.
- FRONT SETBACK: $21.4 + 25.0 = 46.4$; $46.4 / 2 = 23.2$;
FRONT SETBACK = 23.2'

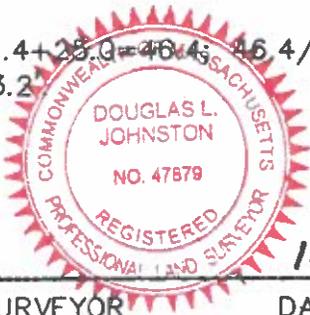


(IN FEET)
1 inch = 20 ft.

CERTIFIED PLOT PLAN
IN
BELMONT, MA

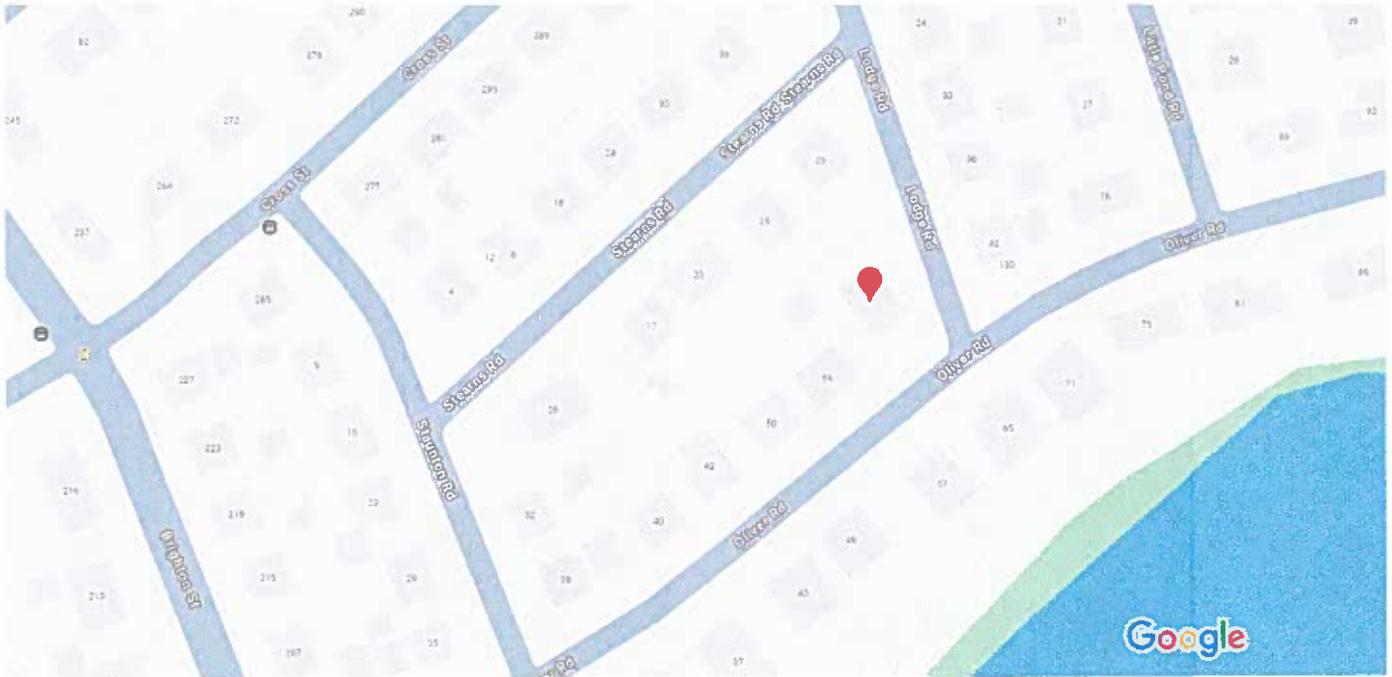
SCALE: 1" = 20' OCTOBER 1, 2024

DLJ GEOMATICS
 PROFESSIONAL LAND SURVEYING
 276 NORTH STREET
 WEYMOUTH, MA 02191
 (781) 812-0457
 56 OLIVER RD BELMONT.dwg



Douglas L. Johnston
PROFESSIONAL LAND SURVEYOR

10/3/24
DATE



Map data ©2024 Google 50 ft



35 Lodge Rd Building



Directions



Save



Nearby



Send to phone



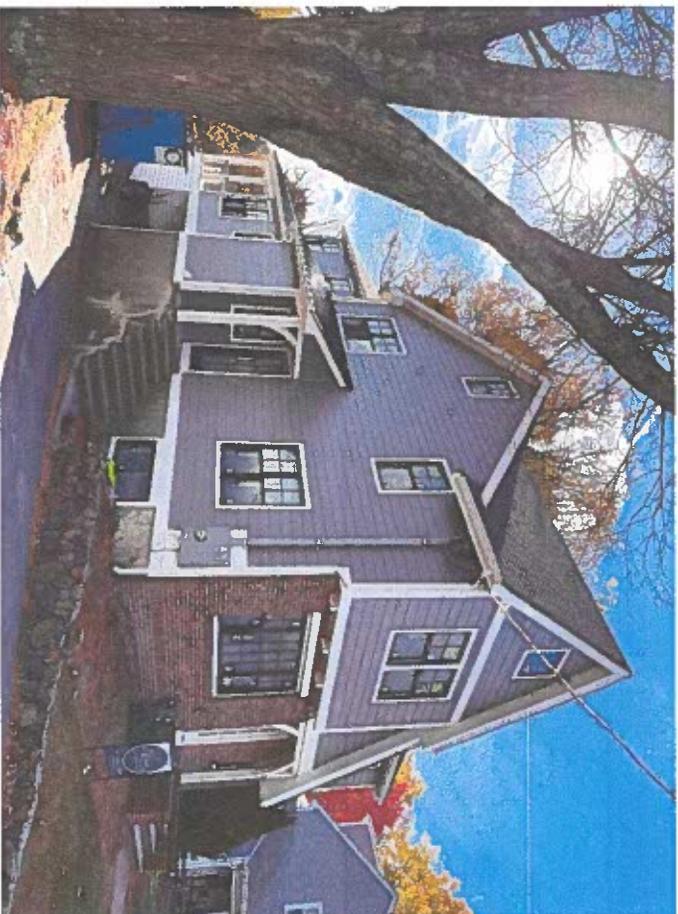
Share



35 Lodge Rd, Belmont, MA 02478

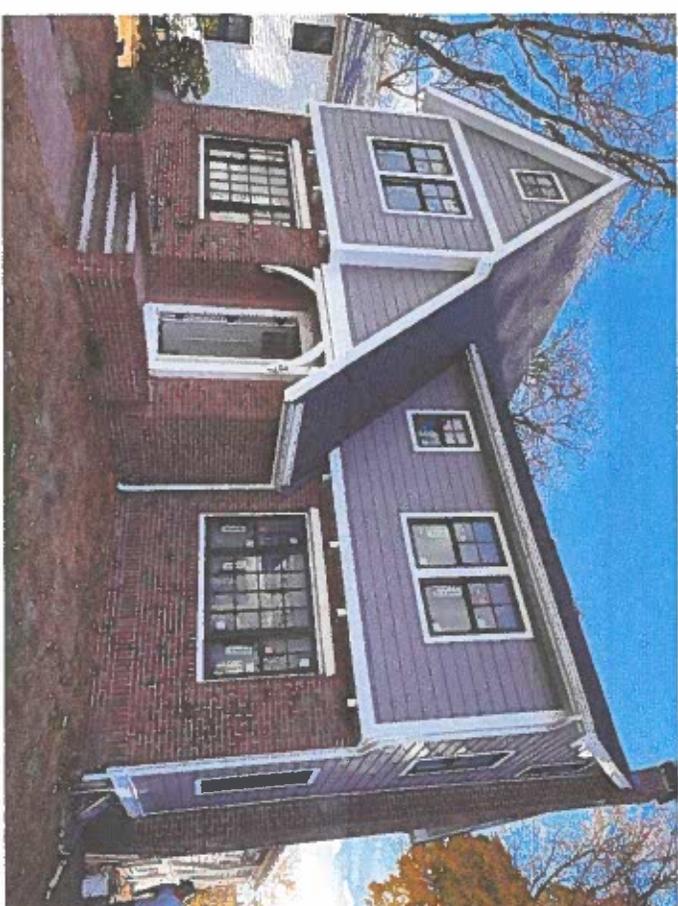
Photos

37 OLIVER ROAD



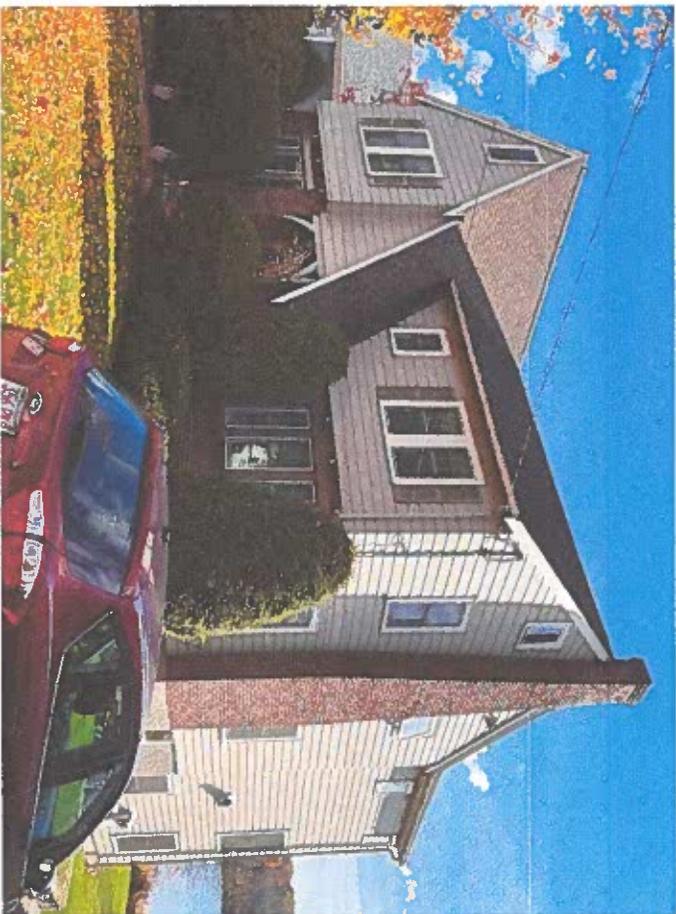
NEW CONSTRUCTION ACROSS STREET

37 OLIVER ROAD



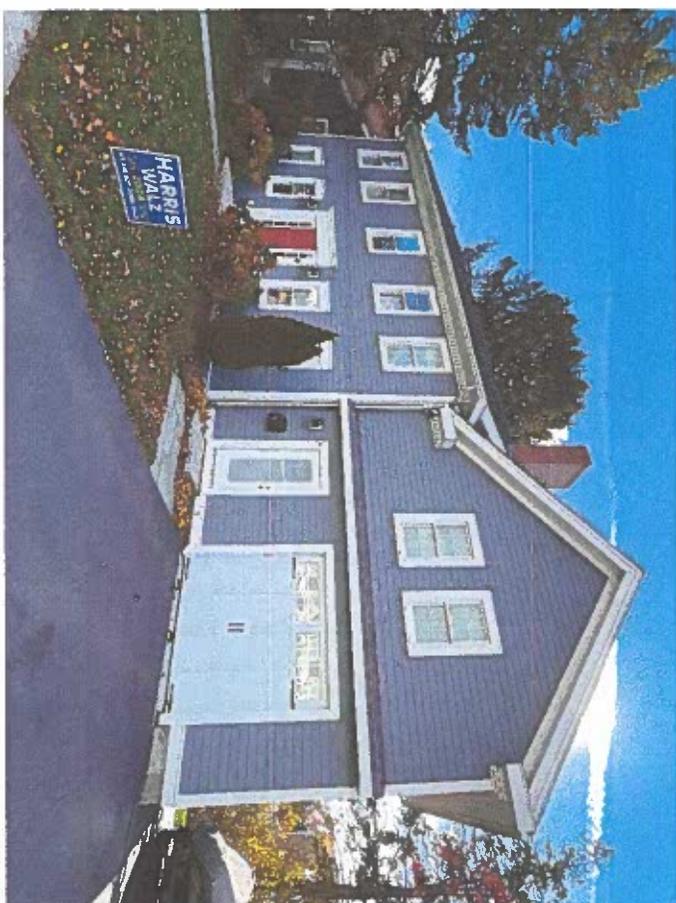
NEW CONSTRUCTION ACROSS STREET

71 OLIVER ROAD



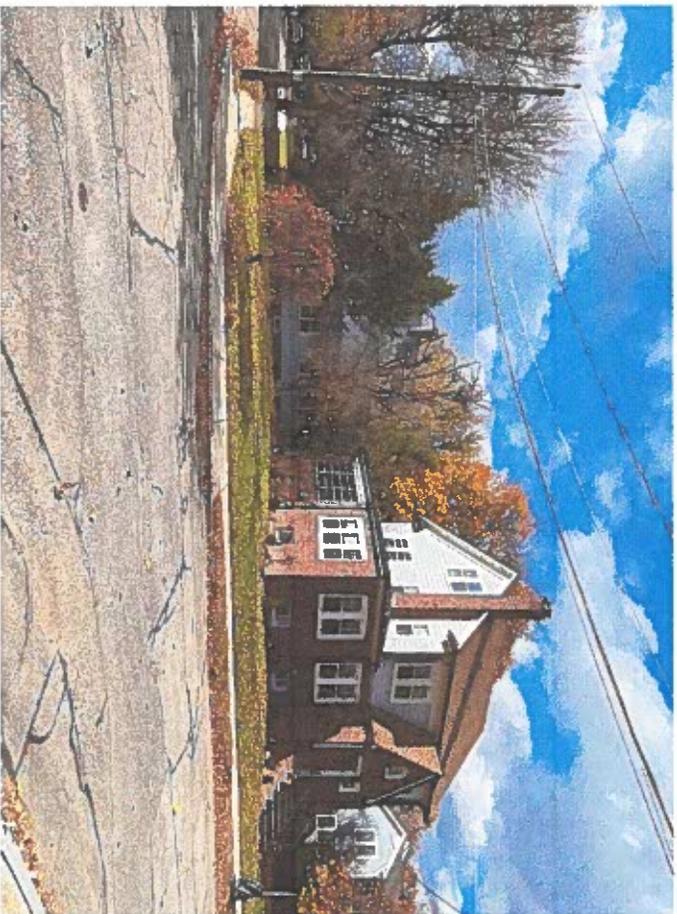
SIMILAR HOUSE ACROSS STREET

75 OLIVER ROAD



NEW CONSTRUCTION ACROSS STREET

35 LODGE ROAD



**CORNER LOT NEIGHBOR -- LARGE
SETBACK**

78 OLIVER ROAD



NEW CONSTRUCTION NEIGHBOR

We, the neighbors of Tim and Laura Collins of 56 Oliver Road, Belmont MA have reviewed their plans to add a second floor and half story dormer at the above mentioned address. Furthermore, we support their petition for a special permit allowing them to proceed with this addition.

1a Ryan Fabrizio
(signature)

Ryan Fabrizio 50 Oliver Rd
(name)

(address)

1b Maura Hobson
(signature)

Maura Hobson 50 Oliver Rd
(name)

2 ANTON PESOK
(address)

ANTON PESOK 57 OLIVER RD

3 STEPHANIE LU
(signature)

STEPHANIE LU 49 OLIVER RD
(name)

(address)

4 Will Eifer
(signature)

Will Eifer
(name)

35 Lodge Rd.
(address)

5 David DeMarco
(signature)

David DeMarco
Dad of DeMarco
(name)

(address)

6 JEAN LU
(signature)

JEAN LU, 32 Stanton Rd, Belmont
(name)

(address)

7.

(signature)

42 Oliver Rd.

(address)

(name)

YI JING

8.

(signature)

43 Oliver Rd.

(address)

(name)

Nicole Bondin

9.

(signature)

25 Lodge Rd.

(address)

(name)

Kirsten Hardy

10.

(signature)

(address)

(name)

Tania T. Surlap 29 Stearns Rd.

11.

(signature)

(address)

(name)

Jouyoung Park

12.

(signature)

(address)

(name)

Mark Miller

13.

(signature)

75 Oliver Rd.

(name)

Laura Caputo

(address)

14. Erin Burke
(signature)

Erin Burke
(name) 24 Stearns Rd

15. Corinne Ford
(address)

Corinne Ford
26 Wrentham Rd.

15. _____
(signature)

(name)

(address)

16. Francine Flynn
(signature)

(name) FRANCINE FLYNN
40 OLIVERA RD.

(address)

17. _____
(signature)

(name)

(address)

18. _____
(signature)

(name)

(address)



HALF STORY/DORMER CALCULATION	
SECOND FLOOR	1085 SQFT
HALF STORY OVER 5'-0"	646 SQFT
1031 SQFT X 60% = 651 SQFT > 646 SQFT THEREFOR COMPLIES.	
PERIMETER DORMER CALCULATION	
SECOND FLOOR	138'-6"
AREA WITH RAFTERS AT 3' OF GREATER	68'-5" FT
ALLOWABLE LENGTH OF WALLS WITH RAFTER BOTTOMS AT 3'-0" OR GREATER = 138'-6" X 50% = 69'-3"	
DORMER LENGTH CALCULATION	
EXISTING ROOF LINE	39'-5"
NEW DORMER	22'-6"
ALLOWABLE LENGTH OF DORMER = 39'-5" X 75% = 29'-6" MAXIMUM	



PLANNING BOARD REVIEW DRAWINGS NOVEMBER 6, 2024

DESCRIPTION OF WORK: NEW REAR ADDITION (SECOND FLOOR EXPANSION WITH MINOR FIRST FLOOR ADDITION)

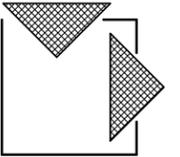
DRAWING LIST

- A1 COVER SHEET
- A2 EXISTING CELLAR PLAN
- A3 EXISTING FIRST FLOOR PLAN
- A4 EXISTING SECOND FLOOR PLAN
- A5 EXISTING ATTIC FLOOR PLAN
- A6 EXISTING ROOF PLAN
- A7 EXISTING ELEVATIONS
- A8 EXISTING ELEVATIONS
- A9 PROPOSED CELLAR PLAN
- A10 PROPOSED FIRST FLOOR PLAN
- A11 PROPOSED SECOND FLOOR PLAN
- A12 PROPOSED ATTIC FLOOR PLAN
- A13 PROPOSED ELEVATIONS
- A14 PROPOSED ELEVATIONS
- A15 SECTION DETAIL AND SCHEDULE

SYMBOL LEGEND

- WALL TO BE DEMOLISHED
- EXISTING WALL TO REMAIN
- NEW WALL
- SECTION
- DOOR TAG
- WINDOW TAG
- RECESSED CAN LIGHT AS SELECTED BY OWNER
- WALL MOUNTED SCONCES AS SELECTED BY OWNER
- CEILING MOUNTED LIGHT AS SELECTED BY OWNER

**MILLER
DESIGN LLC**



80 CLARK STREET
BELMONT, MA 02478
TEL: 617.993.3157

Architect:
Miller Design LLC
80 Clark Street
Belmont MA 02478
617-993-3157

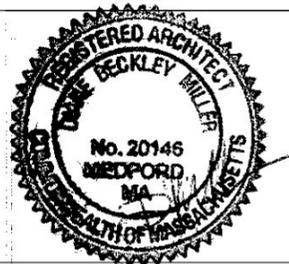
Date: Issued for:

08/01/24 SCHEMATIC DRAWINGS

09/06/24 PLANNING BOARD SUB.

09/30/24 PB REVISION 1

11/06/24 ZBA SUBMISSION



COLLINS RESIDENCE
56 OLIVER ROAD
BELMONT, MA 02478

COVER SHEET

Sheet
Number:

A1

PROJECT INFORMATION: PER ZONING AMENDMENTS DATED 1/7/2021
BELMONT ZONING DISTRICT SR-C:

GROSS AREA INCREASE: (SEE A2) 35% PLANNING BOARD REQUIRED
FRONT YARD SETBACK: 20.1' EXISTING (UNCHANGED) NON CONFORMING
REAR YARD SETBACK: 30' REQUIRED (UNCHANGED) CONFORMING
SIDE YARD SETBACK: 10'-0" EXISTING CONFORMING UNCHANGED
FRONTAGE: 75'-0" (EXISTING 60'-0" NON COMPLIANT) - UNCHANGED
LOT AREA: 9000 (6223SQFT NON CONFORMING (UNCHANGED))
MAX HEIGHT: 35/2.5 STORIES (30.8/2.5 UNCHANGED STORIES CONFORMING)
SEE SITE PLAN FOR CELLAR CALC'S
LOT COVERAGE (MAX): 25% - SEE SURVEY - NON COMPLIANT INCREASED
OPEN AREA (MIN): 50% - SEE SURVEY - CONFORMING

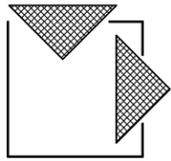
ENERGY AUDIT:

COMPLIANCE DETERMINED BY MASSACHUSETTS STRETCH ENERGY CODE (IRC 2021 W/ MASSACHUSETTS AMENDMENTS SECTION N1101). PROPERTY FALLS UNDER CLIMATE ZONE 5A.

PRESCRIPTIVE OPTION FOR RESIDENTIAL ADDITION (401.3):

1. RENOVATION TO COMPLY WITH ENERGY STAR QUALIFIED HOMES THERMAL BYPASS INSPECTION CHECKLIST. INSULATION VALUES AS FOLLOWS: R60 ROOF R-VALUE, R20+5 WALL R-VALUE, R30 FLOOR R-VALUE, R10 CRAWL SPACE WALL R-VALUE.
2. RENOVATION TO COMPLY WITH ENERGY STAR PROGRAM REQUIREMENTS FOR RESIDENTIAL WINDOWS, DOORS, AND SKYLIGHTS - VERSION 5.0. ALL NEW WINDOW GLAZING W/ .30 U FACTOR. SKYLIGHTS .55
3. HEATING / COOLING DUCTS TO BE SEALED AND TESTED TO MEET REQUIREMENTS OF 401.3.

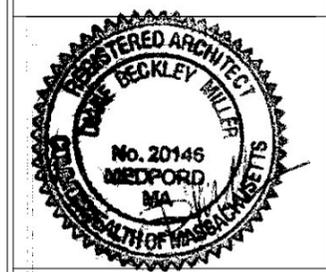
**MILLER
DESIGN LLC**



80 CLARK STREET
BELMONT, MA 02478
TEL: 617.993.3157

Architect:
Miller Design LLC
80 Clark Street
Belmont MA 02478
617-993-3157

Date:	Issued for:
08/01/24	SCHEMATIC DRAWINGS
09/06/24	PLANNING BOARD SUB.
09/30/24	PB REVISION 1
11/06/24	ZBA SUBMISSION

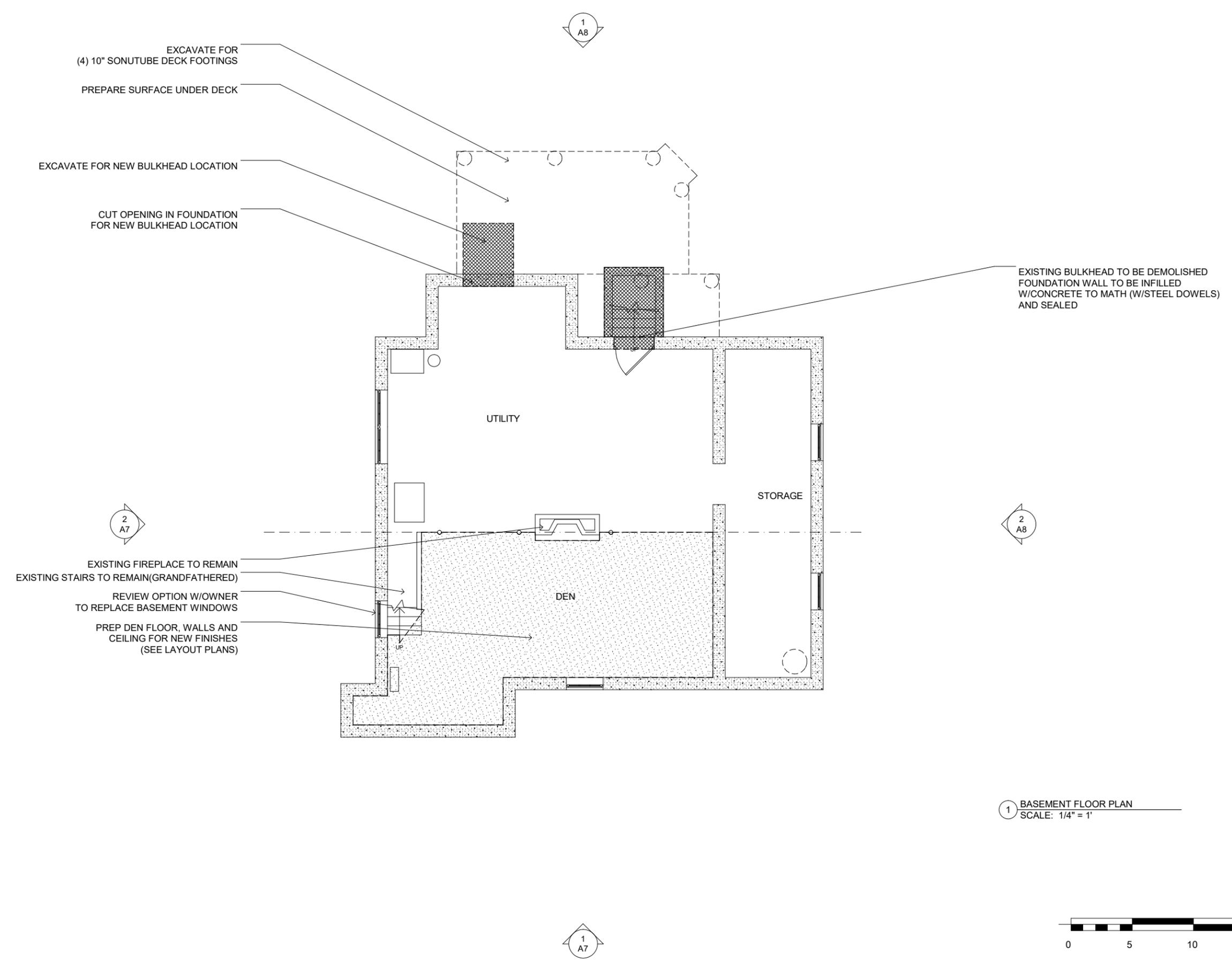


COLLINS RESIDENCE
56 OLIVER ROAD
BELMONT, MA 02478

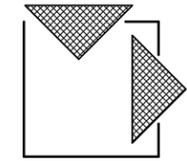
EXISTING PLANS

Sheet
Number:

A2



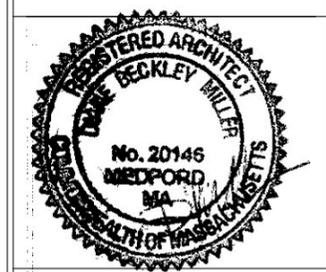
**MILLER
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80 CLARK STREET
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08/01/24	SCHEMATIC DRAWINGS
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09/30/24	PB REVISION 1

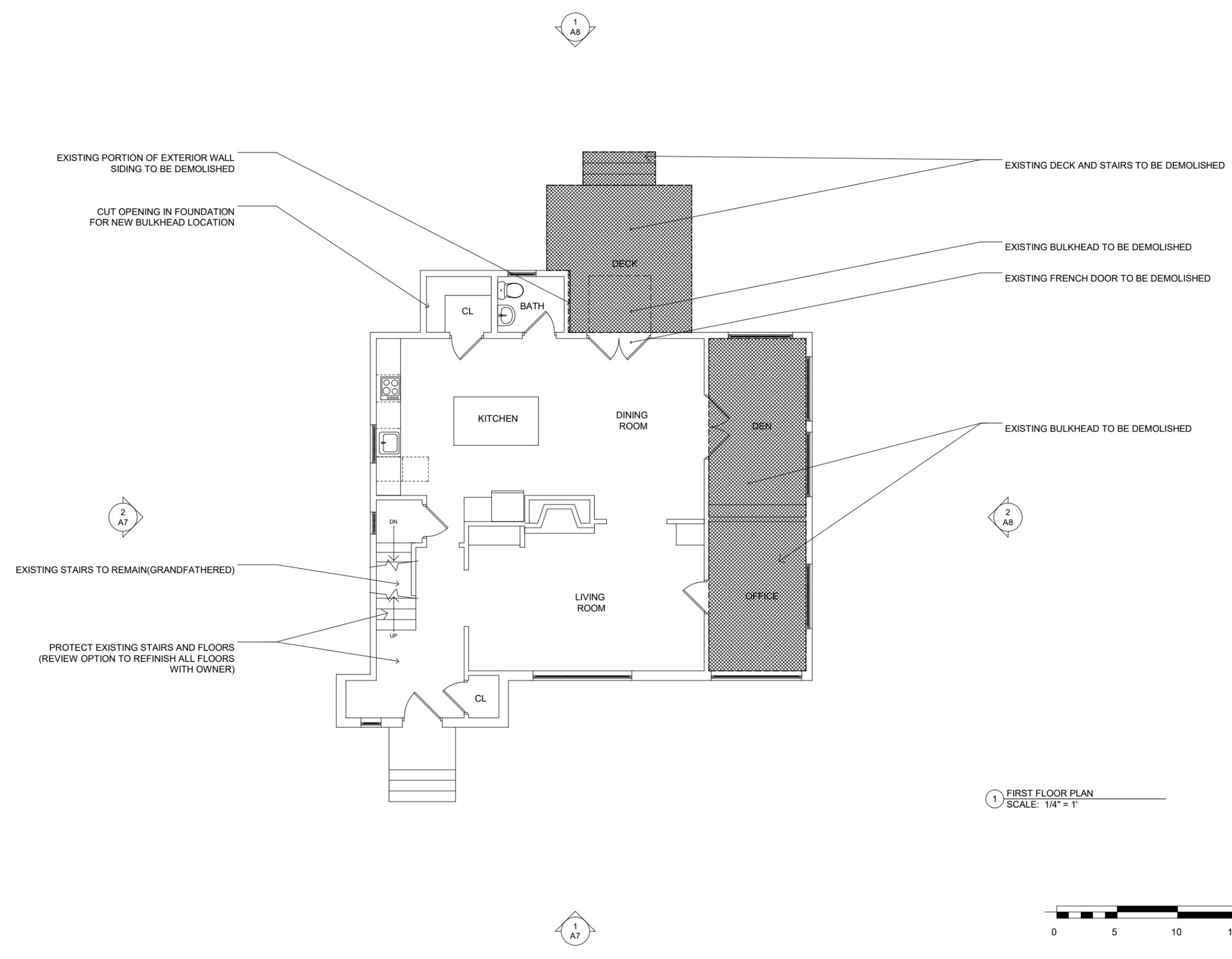


COLLINS RESIDENCE
56 OLIVER ROAD
BELMONT, MA 02478

EXISTING PLANS

Sheet
Number:

A3

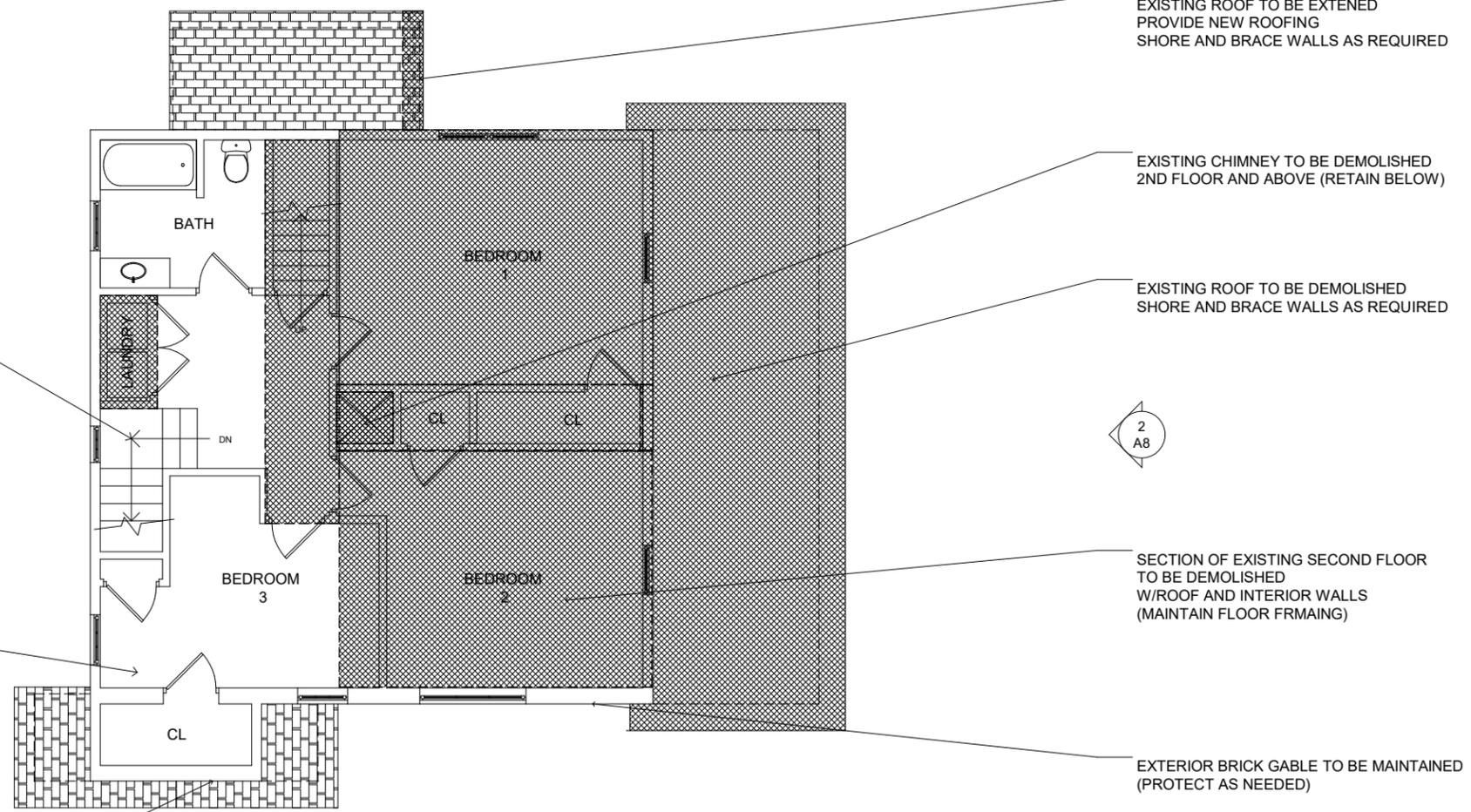


1
A8

2
A7

2
A8

1
A7



PROTECT EXISTING STAIRS AND FLOORS
(REVIEW OPTION TO REFINISH ALL FLOORS
WITH OWNER)

PROTECT EXISTING STAIRS AND FLOORS
(REVIEW OPTION TO REFINISH ALL FLOORS
WITH OWNER)

EXTERIOR BRICK GABLE TO BE MAINTAINED
(PROTECT AS NEEDED)

EXISTING ROOF TO BE EXTENDED
PROVIDE NEW ROOFING
SHORE AND BRACE WALLS AS REQUIRED

EXISTING CHIMNEY TO BE DEMOLISHED
2ND FLOOR AND ABOVE (RETAIN BELOW)

EXISTING ROOF TO BE DEMOLISHED
SHORE AND BRACE WALLS AS REQUIRED

SECTION OF EXISTING SECOND FLOOR
TO BE DEMOLISHED
W/ROOF AND INTERIOR WALLS
(MAINTAIN FLOOR FRMAING)

EXTERIOR BRICK GABLE TO BE MAINTAINED
(PROTECT AS NEEDED)

1 SECOND FLOOR PLAN
SCALE: 1/4" = 1'

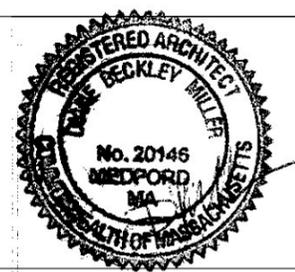


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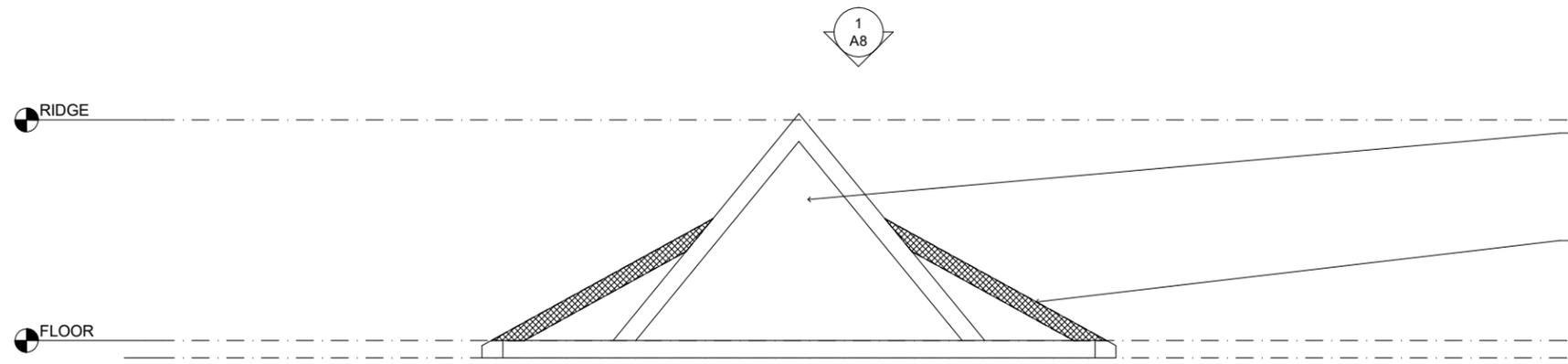


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EXISTING PLANS

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Number:

A4



EXTERIOR BRICK GABLE TO BE MAINTAINED
(PROTECT AS NEEDED)

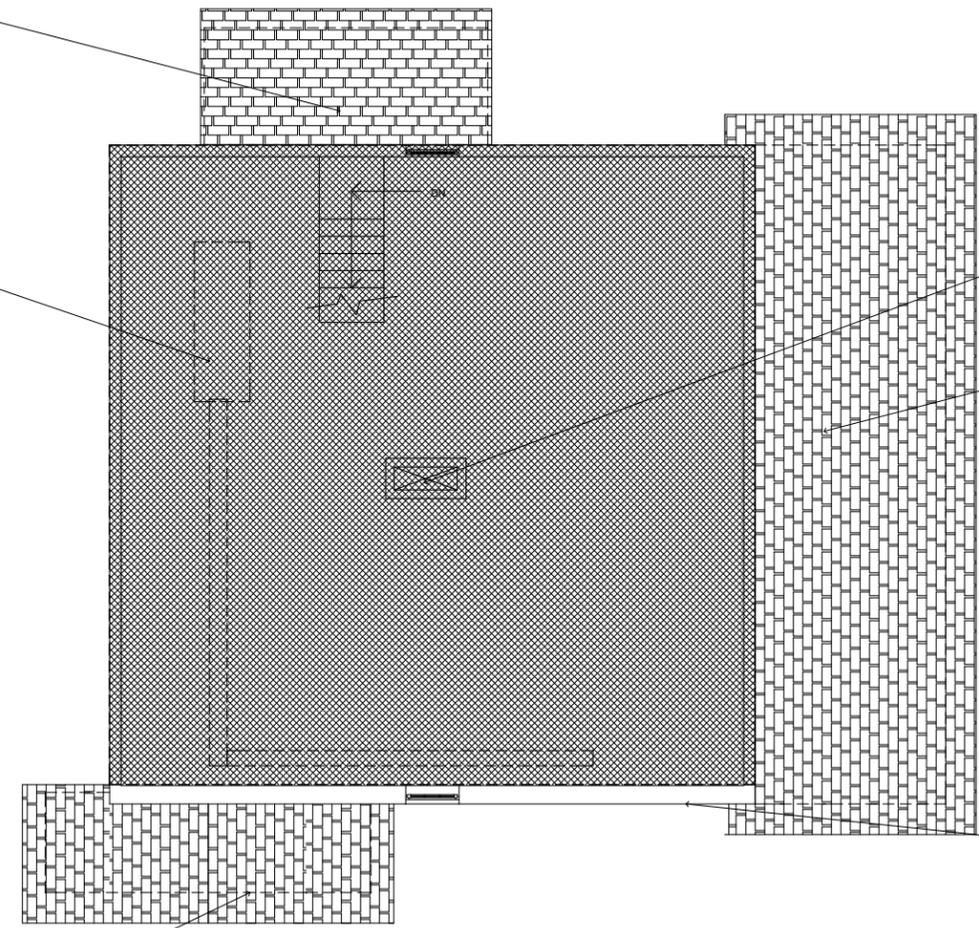
EXISTING ROOF TO BE DEMOLISHED
SHORE AND BRACE WALLS AS REQUIRED

EXISTING ROOF TO BE DEMOLISHED
SHORE AND BRACE WALLS AS REQUIRED

HVAC EQUIPMENT TO BE REPLACED

EXISTING CHIMNEY TO BE DEMOLISHED
2ND FLOOR AND ABOVE (RETAIN BELOW)

EXISTING ROOF TO BE DEMOLISHED
SHORE AND BRACE WALLS AS REQUIRED



EXTERIOR BRICK GABLE TO BE MAINTAINED
(PROTECT AS NEEDED)

EXTERIOR BRICK GABLE TO BE MAINTAINED
(PROTECT AS NEEDED)

① ATTIC FLOOR PLAN
SCALE: 1/4" = 1"



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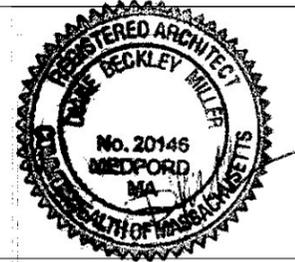
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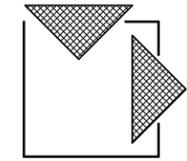
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EXISTING PLANS

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A5

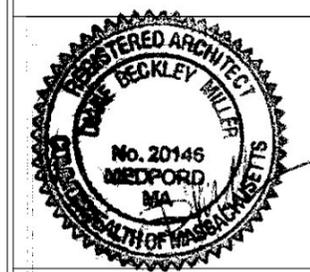
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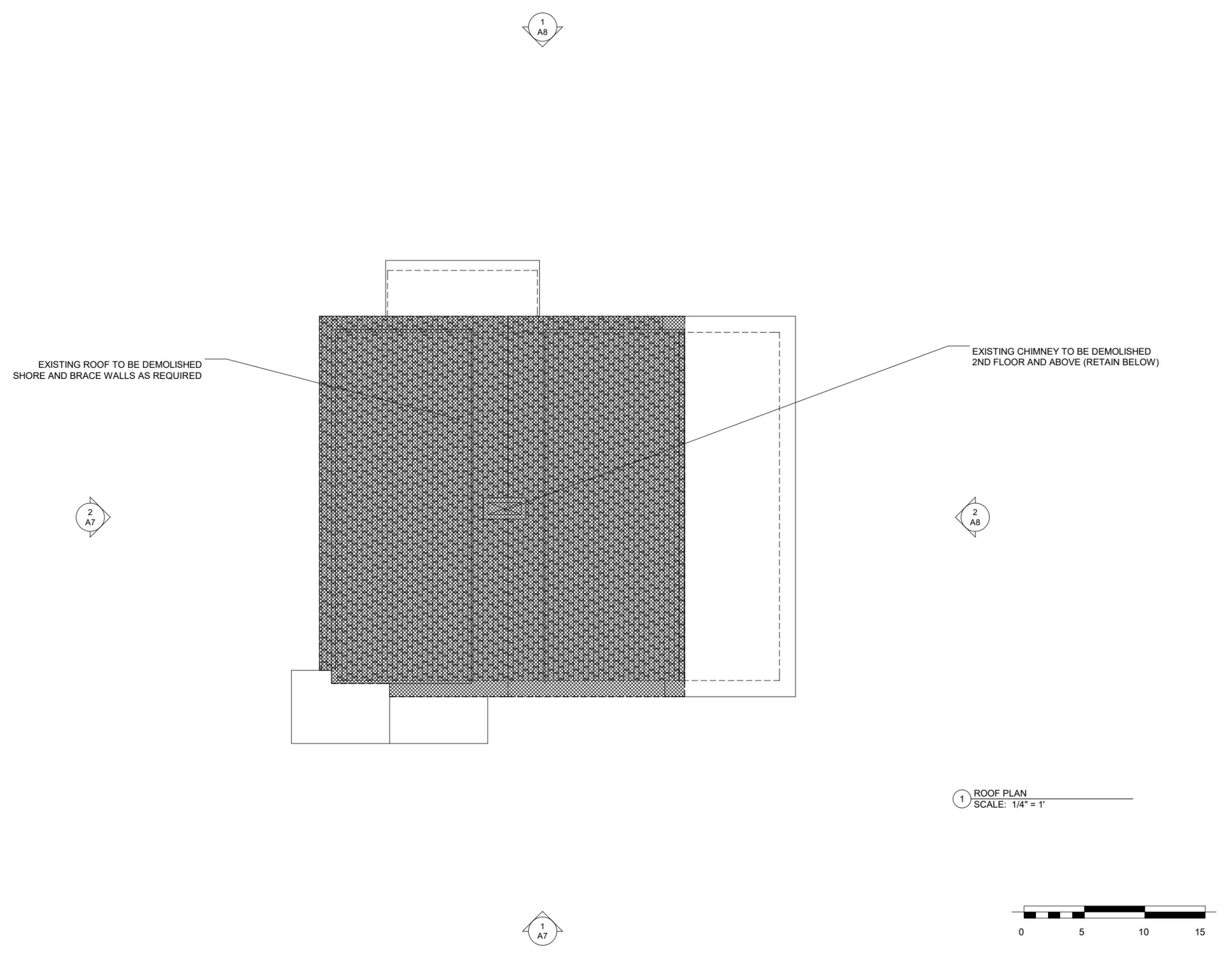


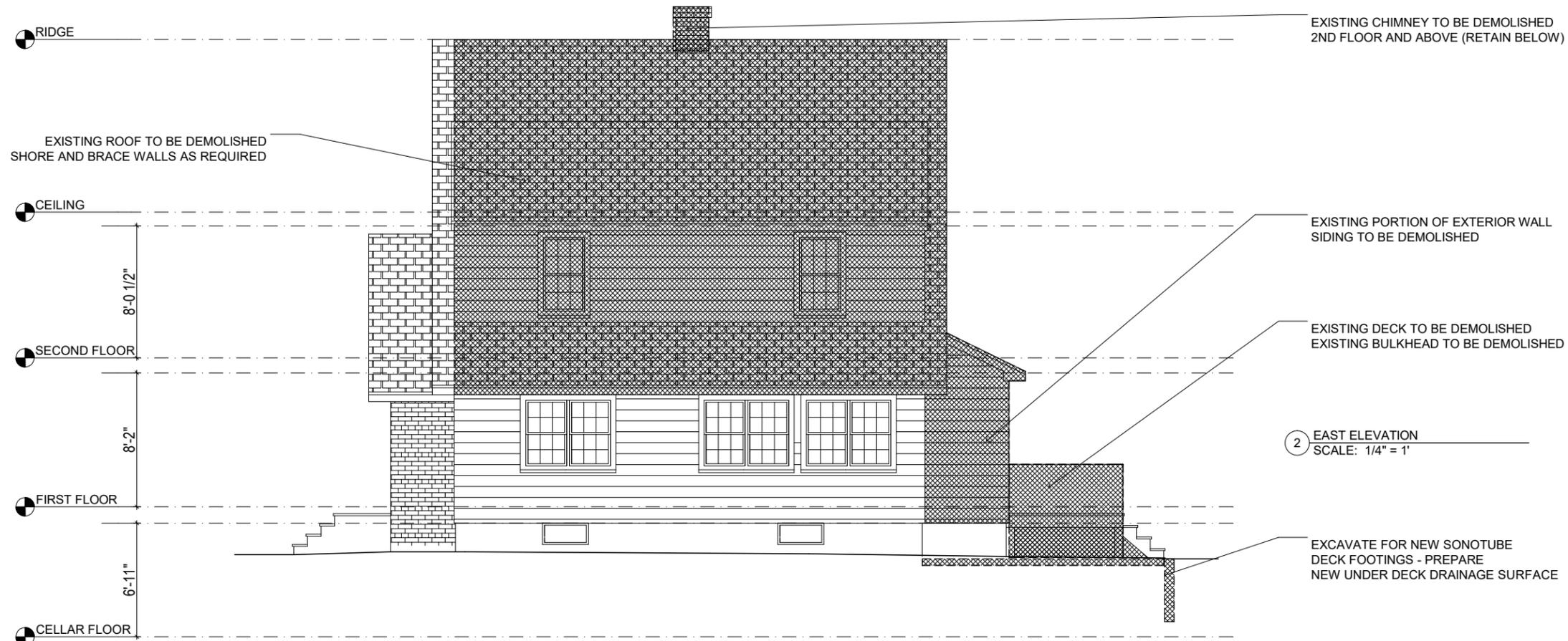
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EXISTING PLANS

Sheet
Number:

A6





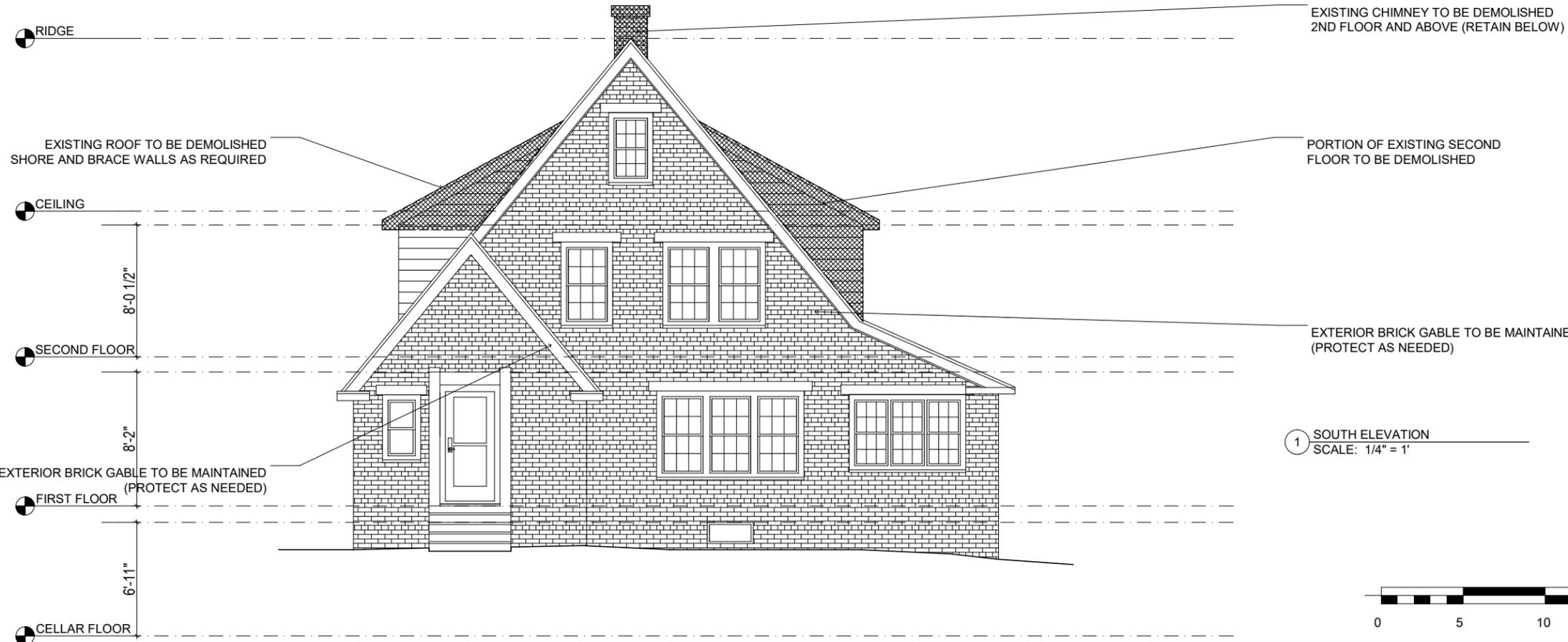
EXISTING CHIMNEY TO BE DEMOLISHED
2ND FLOOR AND ABOVE (RETAIN BELOW)

EXISTING PORTION OF EXTERIOR WALL
SIDING TO BE DEMOLISHED

EXISTING DECK TO BE DEMOLISHED
EXISTING BULKHEAD TO BE DEMOLISHED

2 EAST ELEVATION
SCALE: 1/4" = 1'

EXCAVATE FOR NEW SONOTUBE
DECK FOOTINGS - PREPARE
NEW UNDER DECK DRAINAGE SURFACE



EXISTING CHIMNEY TO BE DEMOLISHED
2ND FLOOR AND ABOVE (RETAIN BELOW)

PORTION OF EXISTING SECOND
FLOOR TO BE DEMOLISHED

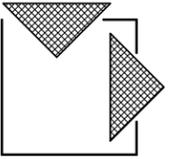
EXTERIOR BRICK GABLE TO BE MAINTAINED
(PROTECT AS NEEDED)

1 SOUTH ELEVATION
SCALE: 1/4" = 1'

EXTERIOR BRICK GABLE TO BE MAINTAINED
(PROTECT AS NEEDED)



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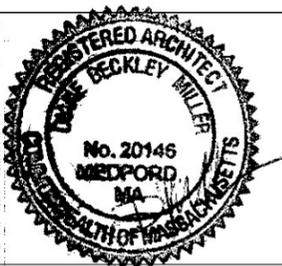
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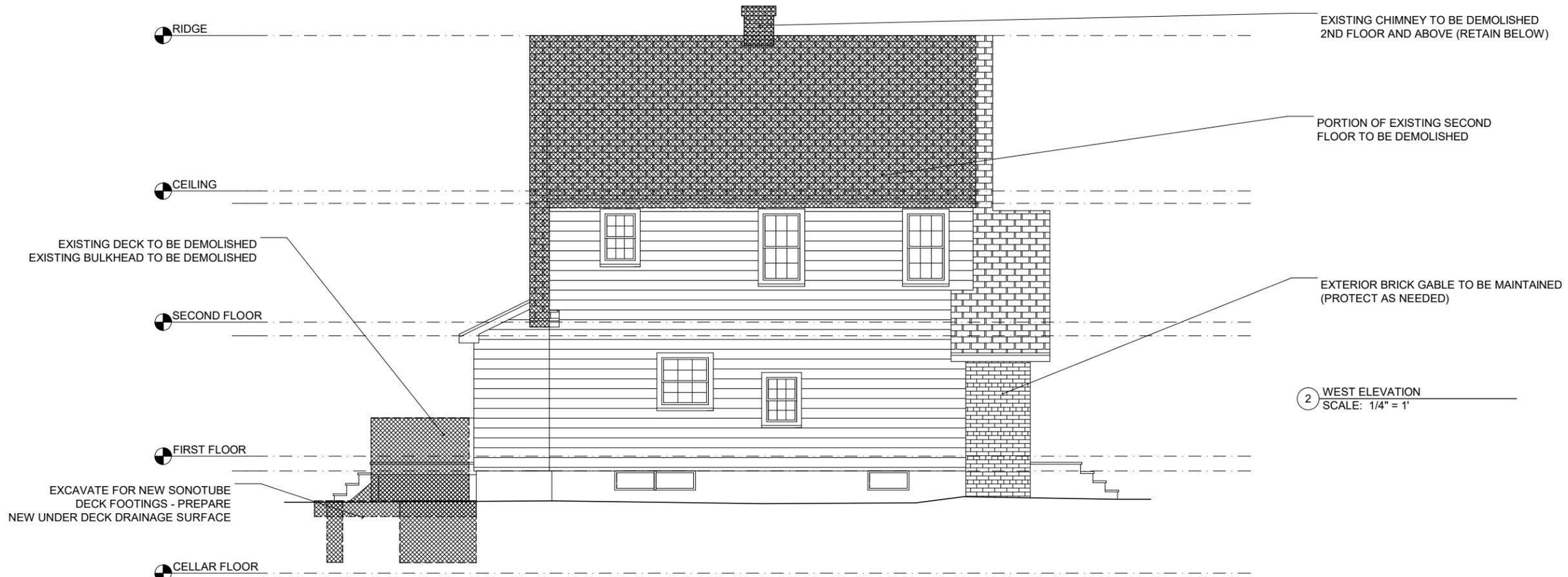


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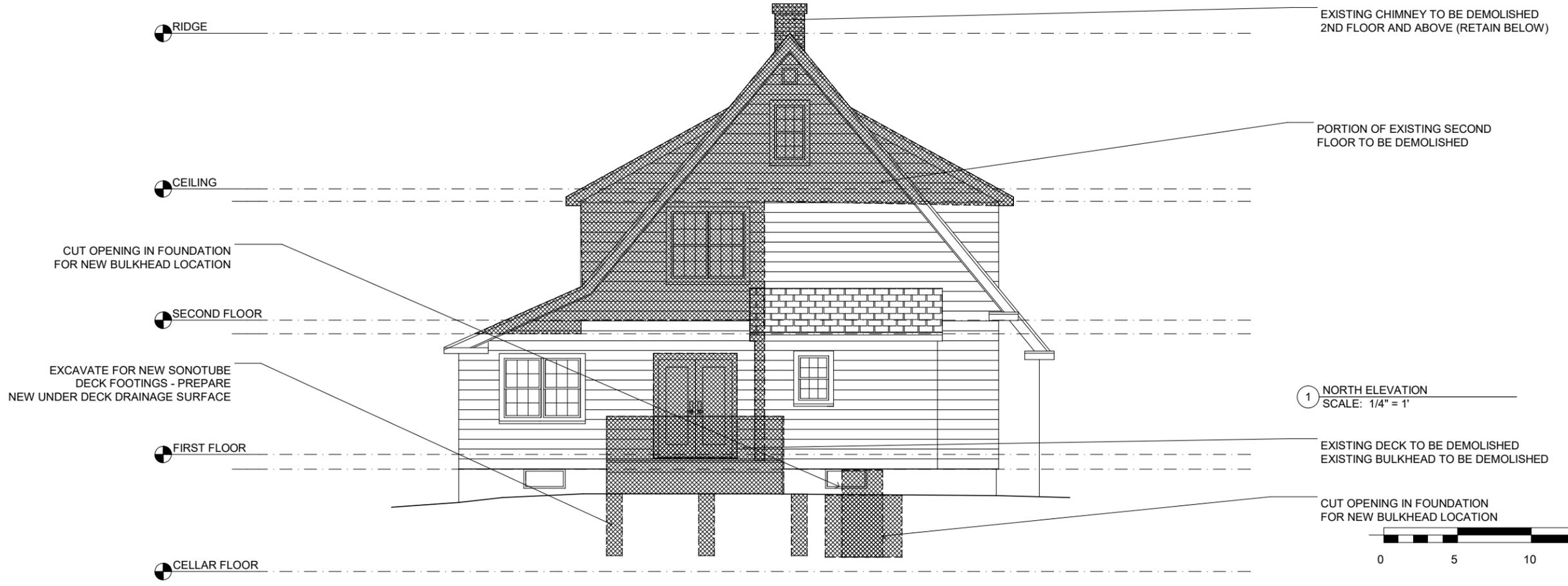
EXISTING
ELEVATIONS

Sheet
Number:

A7



2 WEST ELEVATION
SCALE: 1/4" = 1"



1 NORTH ELEVATION
SCALE: 1/4" = 1"

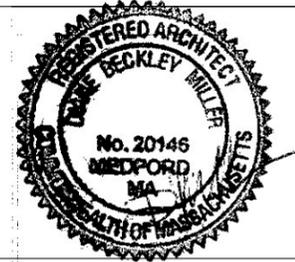


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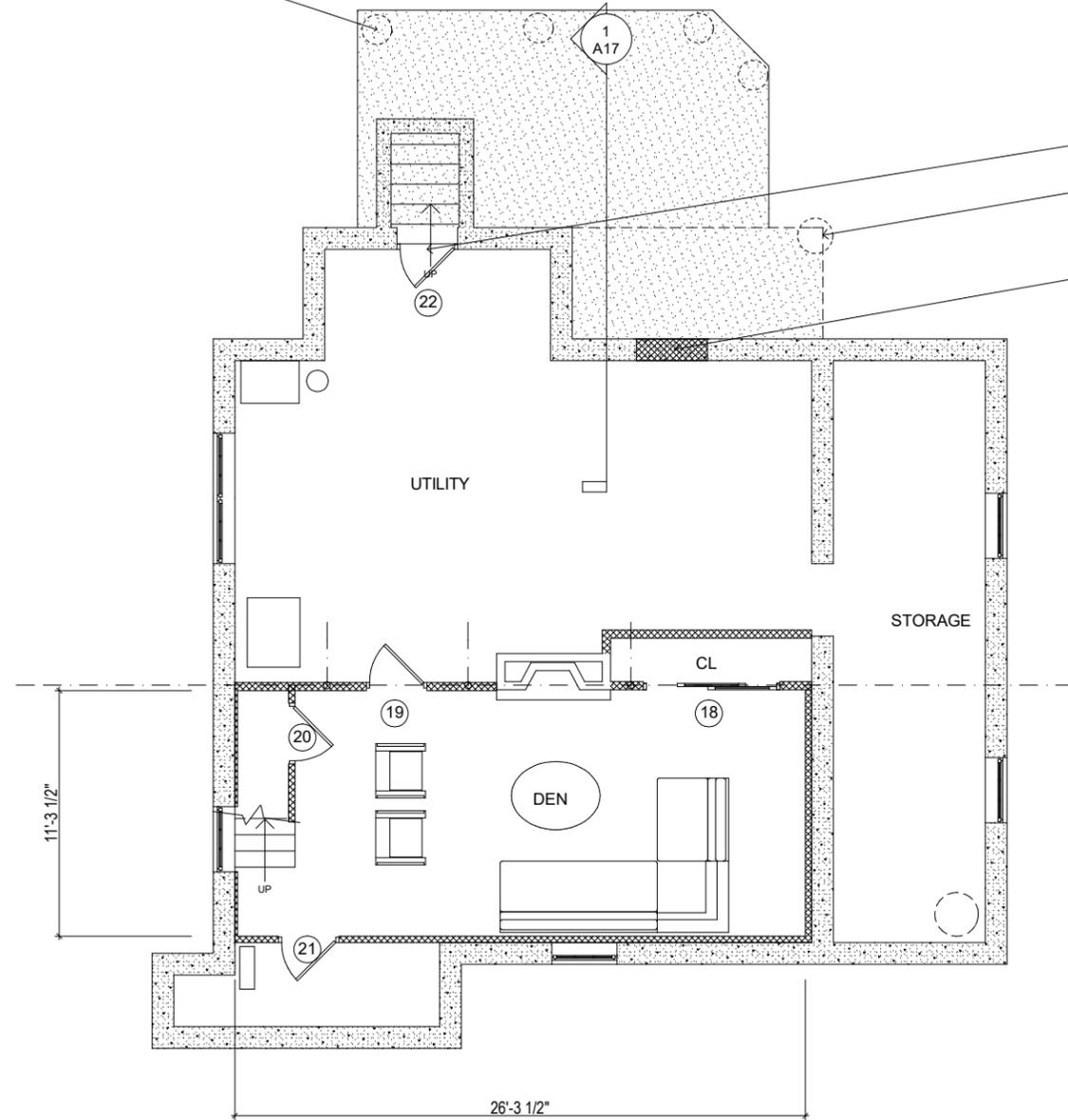
**EXISTING
ELEVATIONS**

Sheet
Number:

A8

EXCAVATE FOR NEW SONOTUBE
DECK FOOTINGS - PREPARE
NEW UNDER DECK DRAINAGE SURFACE

2
A15



CUT OPENING IN FOUNDATION
FOR NEW BULKHEAD LOCATION
NEW "BIGFOOT" FOOTING

CONCRETE INFILL AT EXISTING
FOUNDATION LOCATION

2
A14

1 PROPOSED CELLAR PLAN
SCALE: 1/4" = 1'



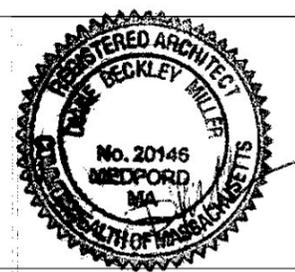
1
A14

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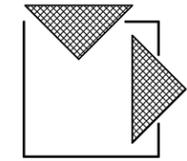
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PLANS**

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A9

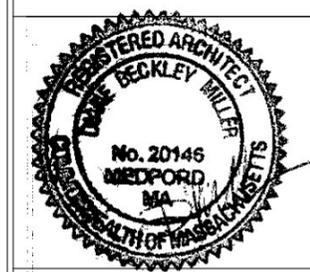
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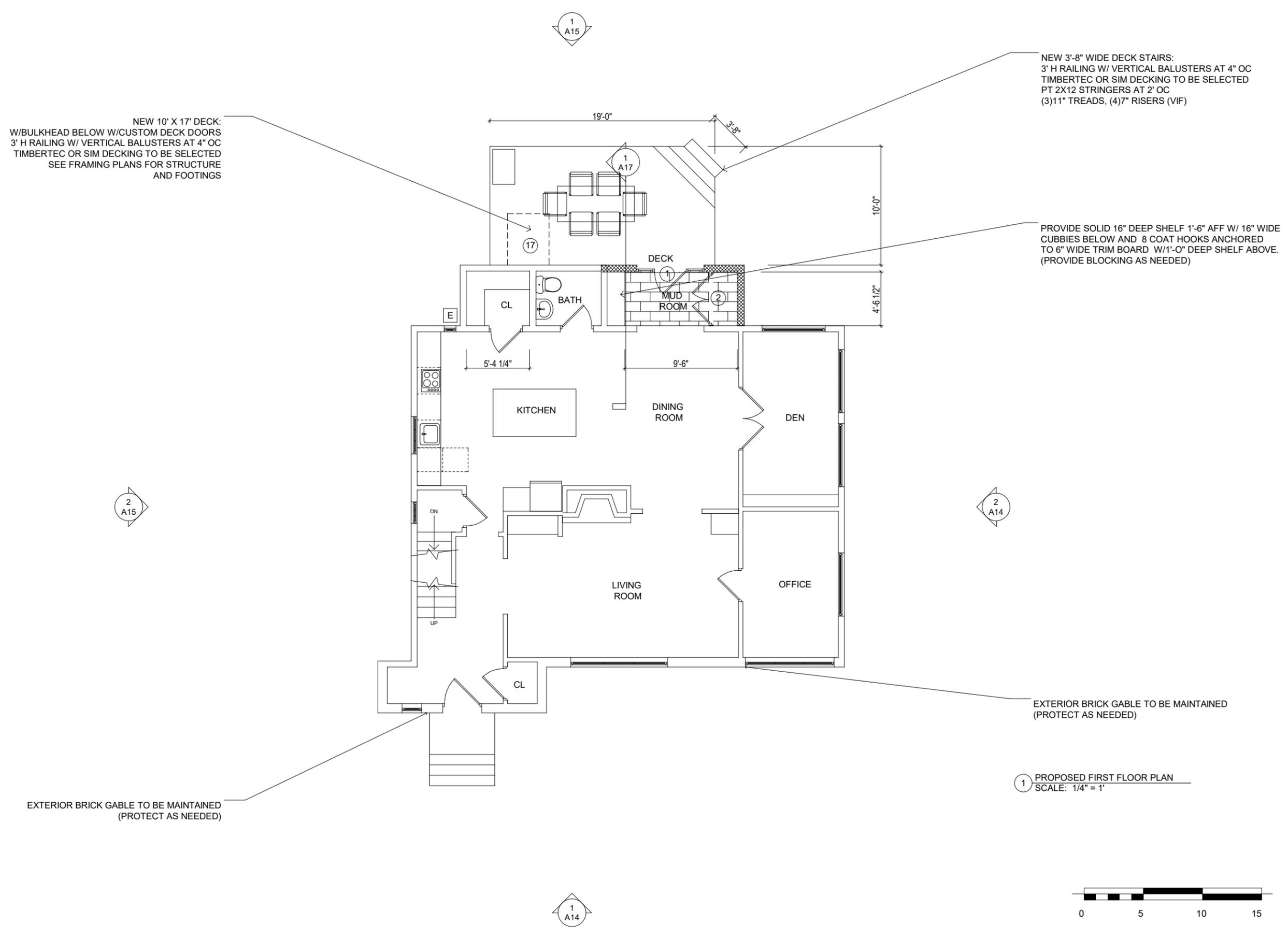


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**PROPOSED
PLANS**

Sheet
Number:

A10



NEW 3'-8" WIDE DECK STAIRS:
3' H RAILING W/ VERTICAL BALUSTERS AT 4" OC
TIMBERTEC OR SIM DECKING TO BE SELECTED
PT 2X12 STRINGERS AT 2' OC
(3)11" TREADS, (4)7" RISERS (VIF)

NEW 10' X 17' DECK:
W/BULKHEAD BELOW W/CUSTOM DECK DOORS
3' H RAILING W/ VERTICAL BALUSTERS AT 4" OC
TIMBERTEC OR SIM DECKING TO BE SELECTED
SEE FRAMING PLANS FOR STRUCTURE
AND FOOTINGS

PROVIDE SOLID 16" DEEP SHELF 1'-6" AFF W/ 16" WIDE
CUBBIES BELOW AND 8 COAT HOOKS ANCHORED
TO 6" WIDE TRIM BOARD W/1'-0" DEEP SHELF ABOVE.
(PROVIDE BLOCKING AS NEEDED)

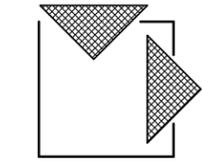
EXTERIOR BRICK GABLE TO BE MAINTAINED
(PROTECT AS NEEDED)

EXTERIOR BRICK GABLE TO BE MAINTAINED
(PROTECT AS NEEDED)

1 PROPOSED FIRST FLOOR PLAN
SCALE: 1/4" = 1'



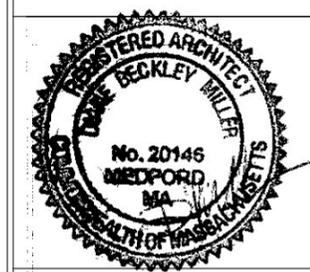
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**PROPOSED
PLANS**

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A11

1
A15

1
A17

2
A15

2
A14

1
A14

NEW 3'-0" WIDE FINISH HARDWOOD STAIRS:
FROM 2nd FLOOR TO 3RD
W/ MATCHING HARDWOOD RAILINGS PER CODE
STYLE AND FINISH TO BE SELECTED BY OWNER
PT 2X12 STRINGERS AT 2' OC
(12)10" TREADS + (1" NOSING) INCLUDING 3 WINDERS
(MIN 4" INSIDE CORNER), (13)8" RISERS (VIF)

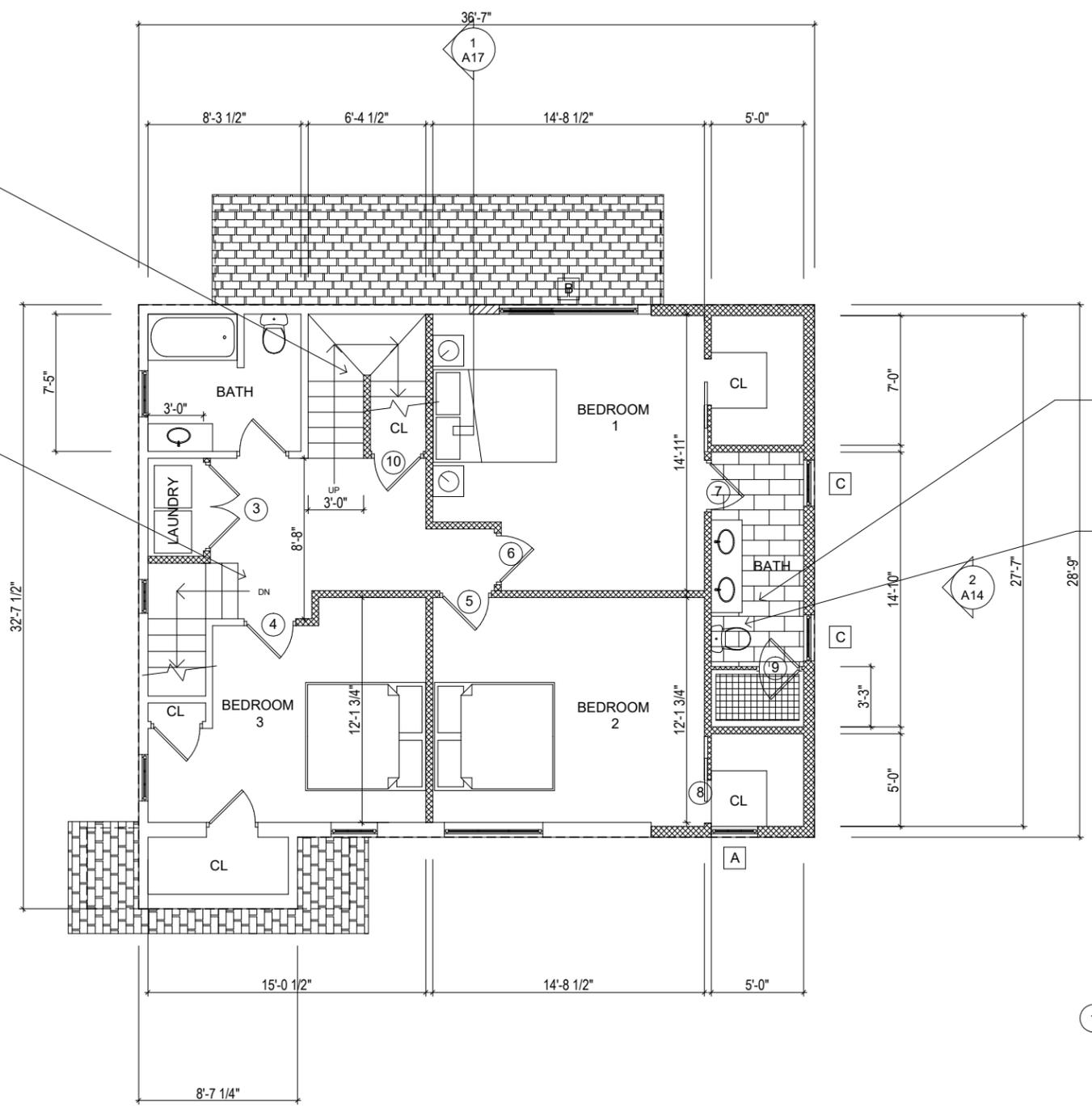
NEW 3'-2" WIDE FINISH HARDWOOD STAIRS:
FROM 1ST FLOOR TO CELLAR
W/ MATCHING HARDWOOD RAILINGS PER CODE
STYLE AND FINISH TO BE SELECTED BY OWNER
PT 2X12 STRINGERS AT 2' OC
(12)10" TREADS + (1" NOSING), (13)8" RISERS (VIF)

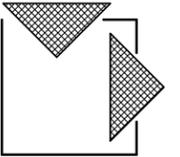
BATHROOM 1:
SHOWER, VANITY, TOILET, LIGHTING AS SHOWN,
PANASONIC (OAE) WHISPER QUIET MECHANICAL VENT
PER CODE WITH INTEGRAL HEAT OPTION,
EXTEND NEW MACHANICAL SYSTEMS AS REREQUIRED
BLOCKING FOR TOWEL BARS AND
TOILET PAPER HOLDERS (COORDINATE W/ OWNER)

BATHROOM 1: CONT.
TILE FLOOR (TO BE SELECTED BY OWNER)
5'-0" WIDE WALL MOUNTED
VANITY WITH MIRROR/RECESSED CAB.
2 SINKS W/FAUCITS (TO BE SELECTED BY OWNER)
4'-4"X 3'-4" FULL TILE SHOWER
PLATE GLASS DOOR AND WALL
W/DRAIN AND COPPER PAN
TOILET TO BE SELECTED BY OWNER
FULL TILE IN SHOWER W/1 RECESS
VERIFY SIZE AND MASS CODE # PRIOR TO PURCHASE
MRGWB OR PLASTER CEILING;
DITRA ELECTRIC FLOOR WARMING SYSTEM (OPTIONAL)
HARD WIRED ELECTRIC TOWEL WARMER
LIGHTING AS SHOWN.

1 PROPOSED SECOND FLOOR LAYOUT PLAN
SCALE: 1/4" = 1'

SECOND FLOOR GROSS
1,085 sq ft





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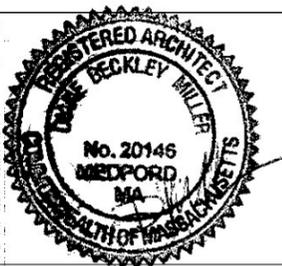
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A12

NEW 3'-0" WIDE FINISH HARDWOOD STAIRS:
FROM 2ND FLOOR TO 3RD
W/ MATCHING HARDWOOD RAILINGS PER CODE
STYLE AND FINISH TO BE SELECTED BY OWNER
PT 2X12 STRINGERS AT 2' OC
(12)10" TREADS + (1" NOSING) INCLUDING 3 WINDERS
(MIN 4" INSIDE CORNER), (13)8" RISERS (VIF)

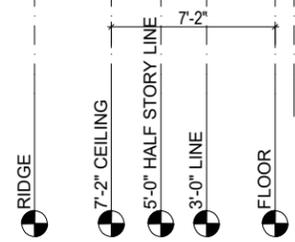
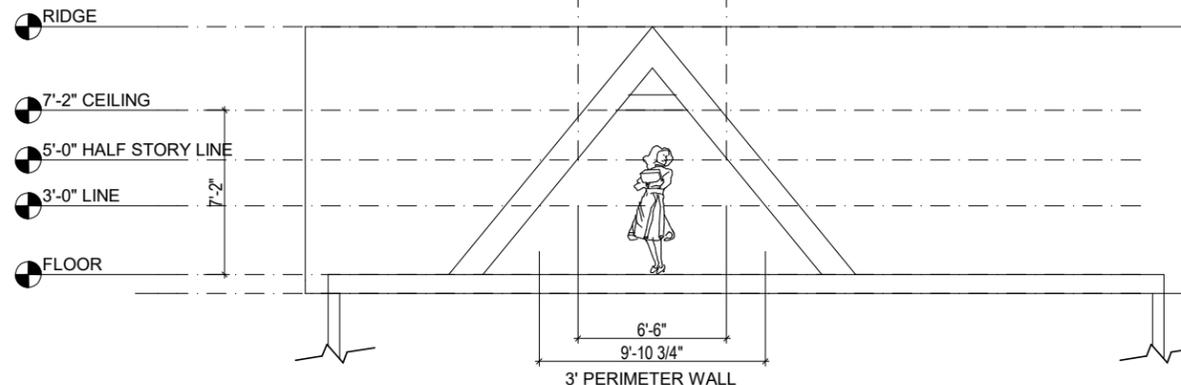
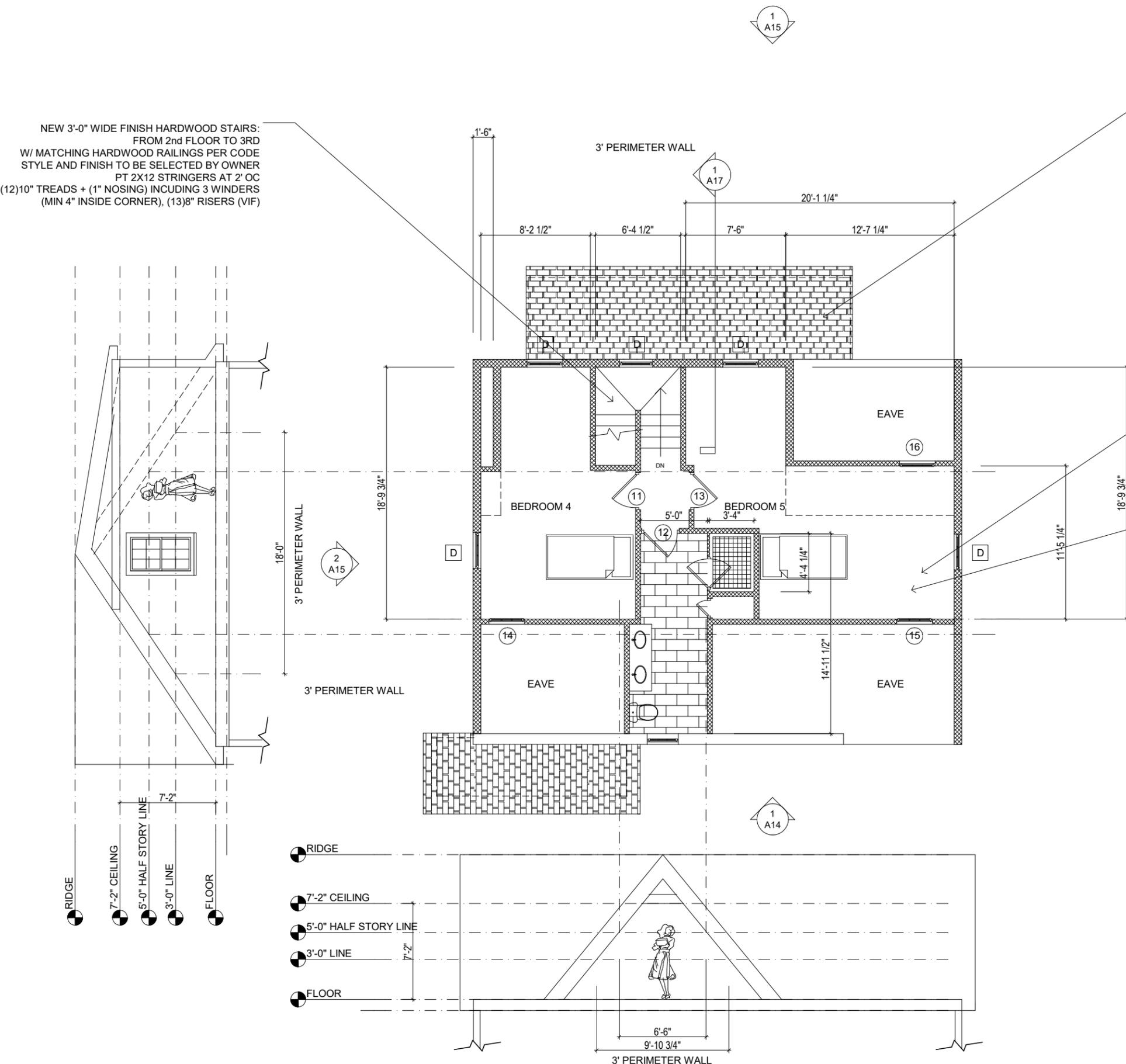
ROOF ASSEMBLY:
30 YEAR ASPHALT ROOF SHINGLES
CERTAINTED LANDMARK OR
APPROVED EQUAL
NO. 15 BUILDING PAPER
BITUTHENE ICE AND WATER BARRIER
ZIP SYSTEM ORANGE BOARDSHEATHING
TAPED AS REQUIRED
SEE FRAMING PLAN FOR STRUCTURE
R60 CLOSED CELL ICYNENE INSULATION
FURRING CHANNELS
3/8" DRYWALL PLASTER CEILING
MIN 1 COAT PRIMER 2 COATS BM PAINT

BATHROOM 2:
SHOWER, VANITY, TOILET, LIGHTING AS SHOWN,
PANASONIC (OAE) WHISPER QUIET MECHANICAL VENT
PER CODE WITH INTEGRAL HEAT OPTION,
EXTEND NEW MACHANCAL SYSTEMS AS REREQUIRED
BLOCKING FOR TOWEL BARS AND
TOILET PAPER HOLDERS (COORDINATE W/ OWNER)

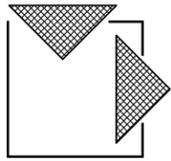
BATHROOM 2: CONT.
TILE FLOOR (TO BE SELECTED BY OWNER)
5'-0" WIDE WALL MOUNTED
VANITY WITH MIRROR/RECESSED CAB.
2 SINKS W/FAUCITS (TO BE SELECTED BY OWNER)
4'-4"X 3'-4" FULL TILE SHOWER
PLATE GLASS DOOR AND WALL
W/DRAIN AND COPPER PAN
TOILET TO BE SELECTED BY OWNER
FULL TILE IN SHOWER W/1 RECESS
VERIFY SIZE AND MASS CODE # PRIOR TO PURCHASE
MRGWB OR PLASTER CEILING;
DITRA ELECTRIC FLOOR WARMING SYSTEM (OPTIONAL)
HARD WIRED ELECTRIC TOWEL WARMER
LIGHTING AS SHOWN.

5' CEILING AREA
646 sq ft

1 PROPOSED HALF STORY LAYOUT
SCALE: 1/4" = 1'



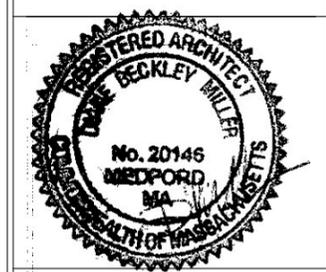
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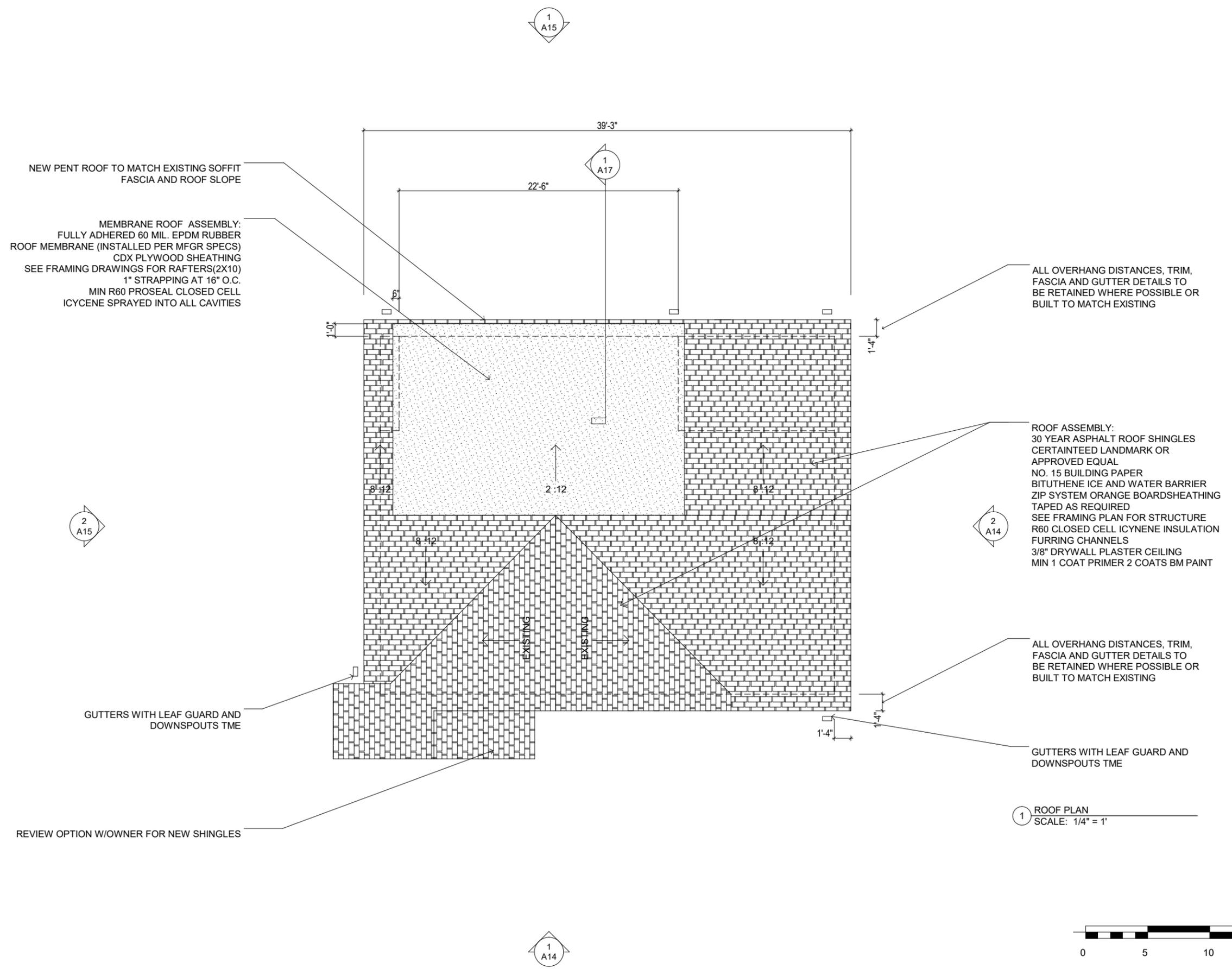


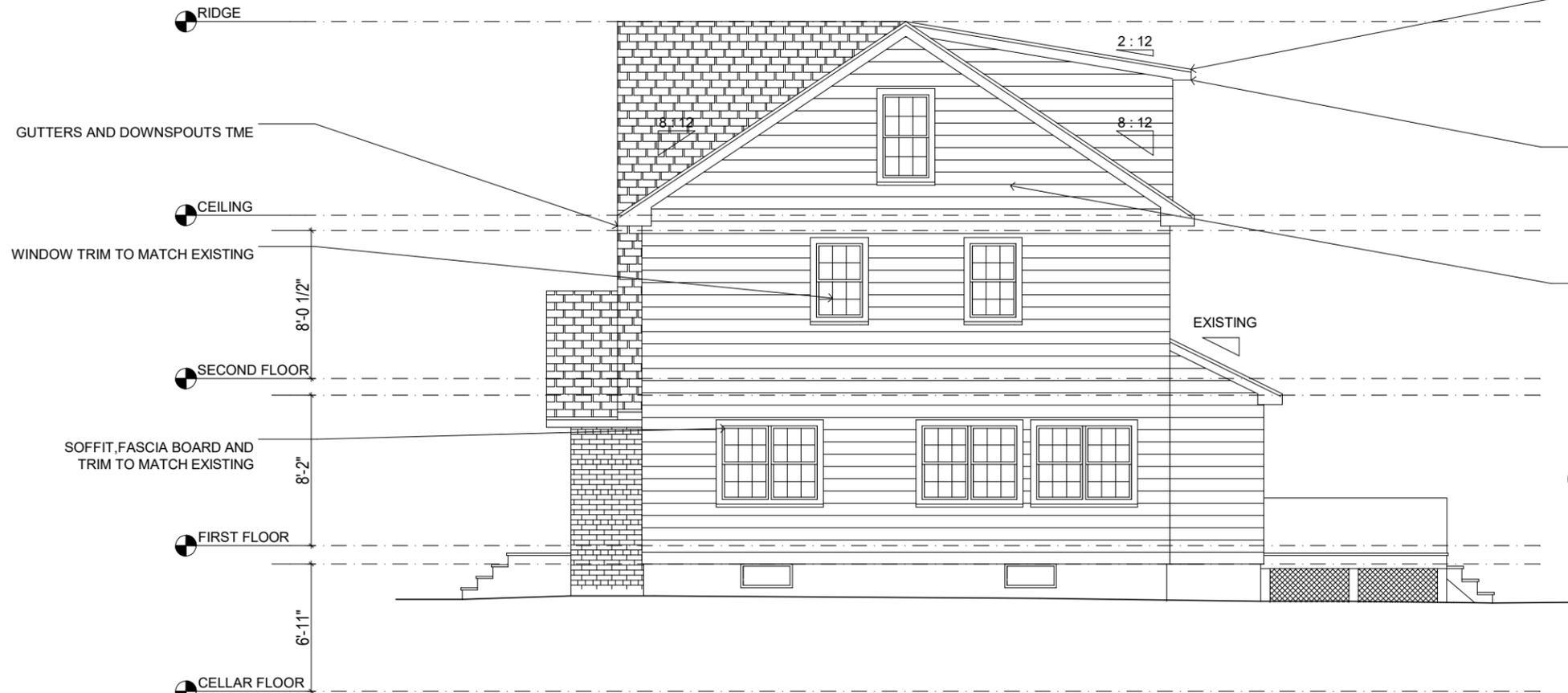
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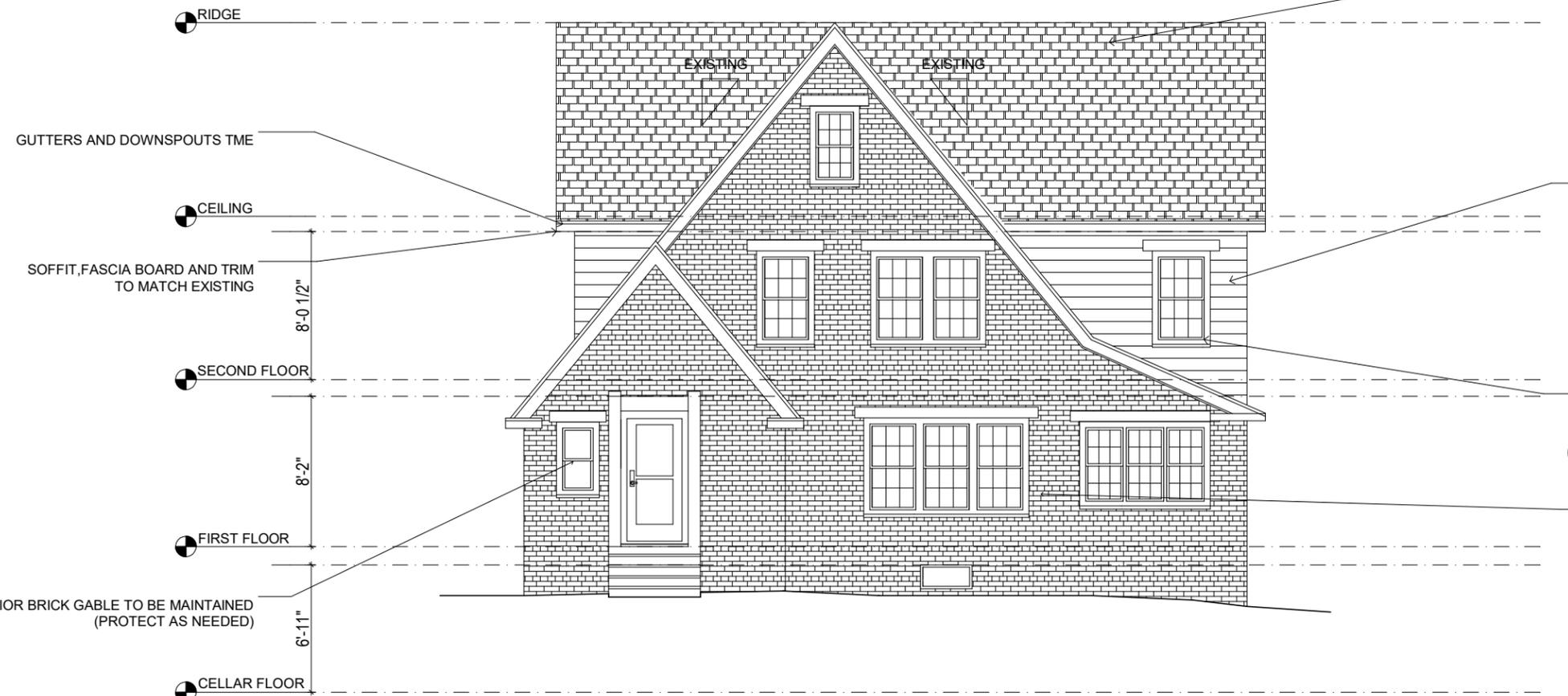


MEMBRANE ROOF ASSEMBLY:
 FULLY ADHERED 60 MIL. EPDM RUBBER
 ROOF MEMBRANE (INSTALLED PER MFGR SPECS)
 CDX PLYWOOD SHEATHING
 SEE FRAMING DRAWINGS FOR RAFTERS(2X10)
 1" STRAPPING AT 16" O.C.
 MIN R60 PROSEAL CLOSED CELL
 ICYNENE SPRAYED INTO ALL CAVITIES

SOFFIT,FASCIA BOARD AND TRIM TO MATCH EXISTING

EXTERIOR WALL ASSEMBLY:
 SIDING TO BE SELECTED BY OWNER
 1 7/16" ZIP SYSTEM R6 SHEATHING PANELS
 W/ TAPE AT ALL SEAMS PER MFGR SPEC
 2X4 WOOD STUDS @ 16" O.C.
 R20 ICYNENE INSULATION
 (CLOSED CELL ICYNENE AT R7/INCH)
 1/2" GWB ON INTERIOR
 PLASTER PRIMED W/2 COATS BM PAINT

② EAST ELEVATION
 SCALE: 1/4" = 1'



ROOF ASSEMBLY:
 30 YEAR ASPHALT ROOF SHINGLES
 CERTAINTED LANDMARK OR
 APPROVED EQUAL
 NO. 15 BUILDING PAPER
 BITUTHENE ICE AND WATER BARRIER
 ZIP SYSTEM ORANGE BOARDSHEATHING
 TAPED AS REQUIRED
 SEE FRAMING PLAN FOR STRUCTURE
 FURRING CHANNELS
 R60 CLOSED CELL ICYNENE INSULATION
 3/8" DRYWALL PLASTER CEILING
 MIN 1 COAT PRIMER 2 COATS BM PAINT

EXTERIOR WALL ASSEMBLY:
 SIDING TO BE SELECTED BY OWNER
 1 7/16" ZIP SYSTEM R6 SHEATHING PANELS
 W/ TAPE AT ALL SEAMS PER MFGR SPEC
 2X4 WOOD STUDS @ 16" O.C.
 R20 ICYNENE INSULATION
 (CLOSED CELL ICYNENE AT R7/INCH)
 1/2" GWB ON INTERIOR
 PLASTER PRIMED W/2 COATS BM PAINT

① SOUTH ELEVATION
 SCALE: 1/4" = 1'

EXTERIOR BRICK GABLE TO BE MAINTAINED
 (PROTECT AS NEEDED)

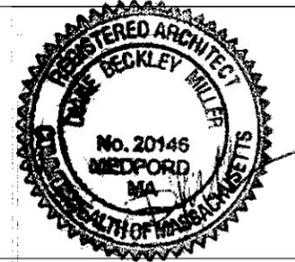


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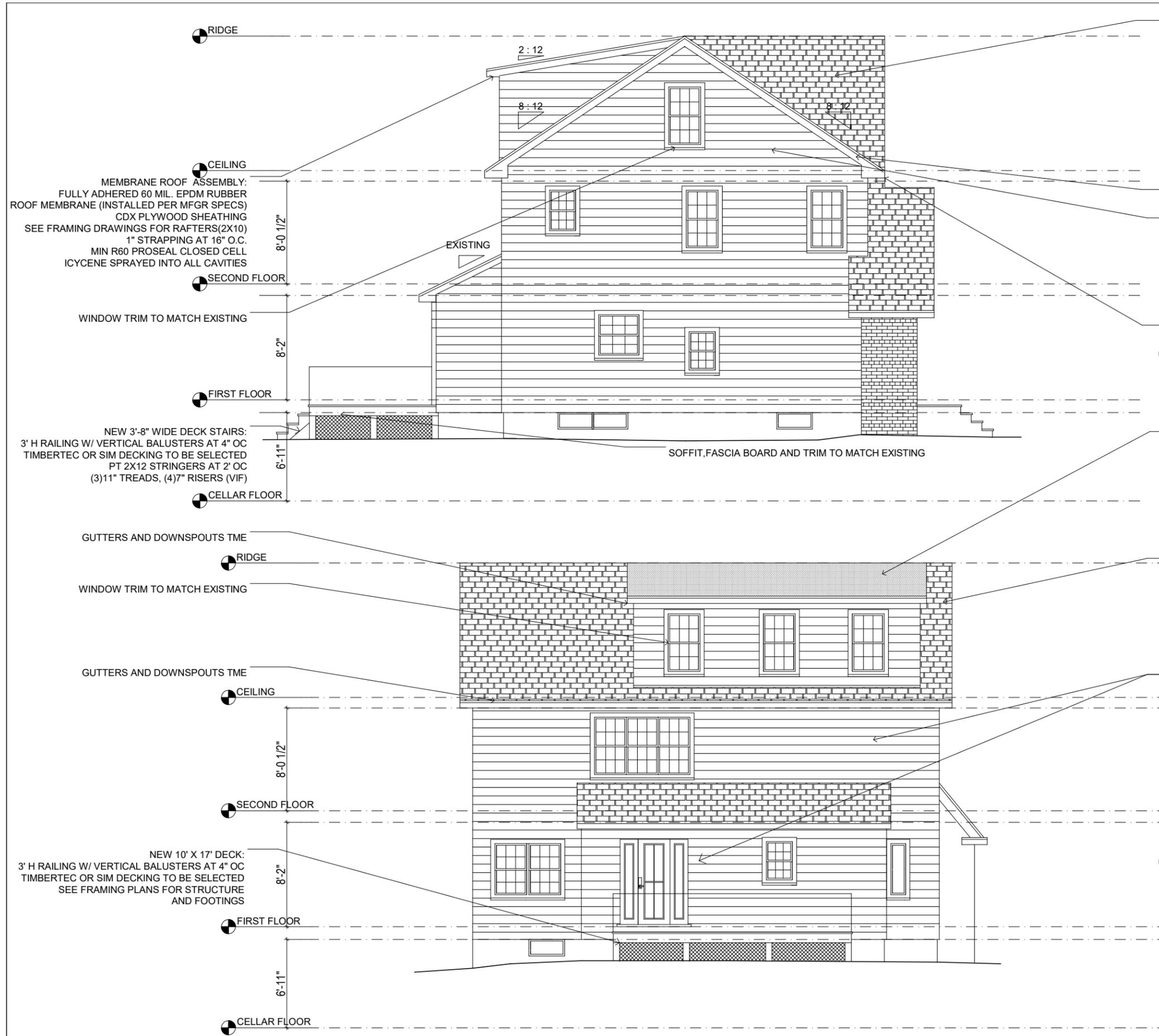


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**PROPOSED
 ELEVATIONS**

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A14



ROOF ASSEMBLY:
 30 YEAR ASPHALT ROOF SHINGLES
 CERTAINTED LANDMARK OR
 APPROVED EQUAL
 NO. 15 BUILDING PAPER
 BITUTHENE ICE AND WATER BARRIER
 ZIP SYSTEM ORANGE BOARDSHEATHING
 TAPED AS REQUIRED
 SEE FRAMING PLAN FOR STRUCTURE
 R60 CLOSED CELL ICYNENE INSULATION
 FURRING CHANNELS
 3/8" DRYWALL PLASTER CEILING
 MIN 1 COAT PRIMER 2 COATS BM PAINT

SOFFIT, FASCIA BOARD AND TRIM TO MATCH EXISTING

EXTERIOR WALL ASSEMBLY:
 SIDING TO BE SELECTED BY OWNER
 1 7/16" ZIP SYSTEM R6 SHEATHING PANELS
 W/ TAPE AT ALL SEAMS PER MFGR SPEC
 2X4 WOOD STUDS @ 16" O.C.
 R20 ICYNENE INSULATION
 (CLOSED CELL ICYNENE AT R7/INCH)
 1/2" GWB ON INTERIOR
 PLASTER PRIMED W/2 COATS BM PAINT
 GUTTERS AND DOWNSPOUTS TME

② WEST ELEVATION
 SCALE: 1/4" = 1'

MEMBRANE ROOF ASSEMBLY:
 FULLY ADHERED 60 MIL. EPDM RUBBER
 ROOF MEMBRANE (INSTALLED PER MFGR SPECS)
 CDX PLYWOOD SHEATHING
 SEE FRAMING DRAWINGS FOR RAFTERS(2X10)
 1" STRAPPING AT 16" O.C.
 MIN R60 PROSEAL CLOSED CELL
 ICYNENE SPRAYED INTO ALL CAVITIES

EXTERIOR WALL ASSEMBLY:
 SIDING TO BE SELECTED BY OWNER
 1 7/16" ZIP SYSTEM R6 SHEATHING PANELS
 W/ TAPE AT ALL SEAMS PER MFGR SPEC
 2X4 WOOD STUDS @ 16" O.C.
 R20 ICYNENE INSULATION
 (CLOSED CELL ICYNENE AT R7/INCH)
 1/2" GWB ON INTERIOR
 PLASTER PRIMED W/2 COATS BM PAINT

EXTERIOR WALL ASSEMBLY:
 SIDING TO BE SELECTED BY OWNER
 1 7/16" ZIP SYSTEM R6 SHEATHING PANELS
 W/ TAPE AT ALL SEAMS PER MFGR SPEC
 2X4 WOOD STUDS @ 16" O.C.
 R20 ICYNENE INSULATION
 (CLOSED CELL ICYNENE AT R7/INCH)
 1/2" GWB ON INTERIOR
 PLASTER PRIMED W/2 COATS BM PAINT

① NORTH ELEVATION
 SCALE: 1/4" = 1'

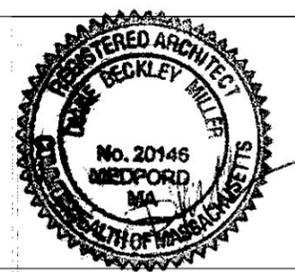


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Date:	Issued for:
08/01/24	SCHEMATIC DRAWINGS
09/06/24	PLANNING BOARD SUB.
09/30/24	PB REVISION 1
11/06/24	ZBA SUBMISSION



COLLINS RESIDENCE
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**PROPOSED
 ELEVATIONS**

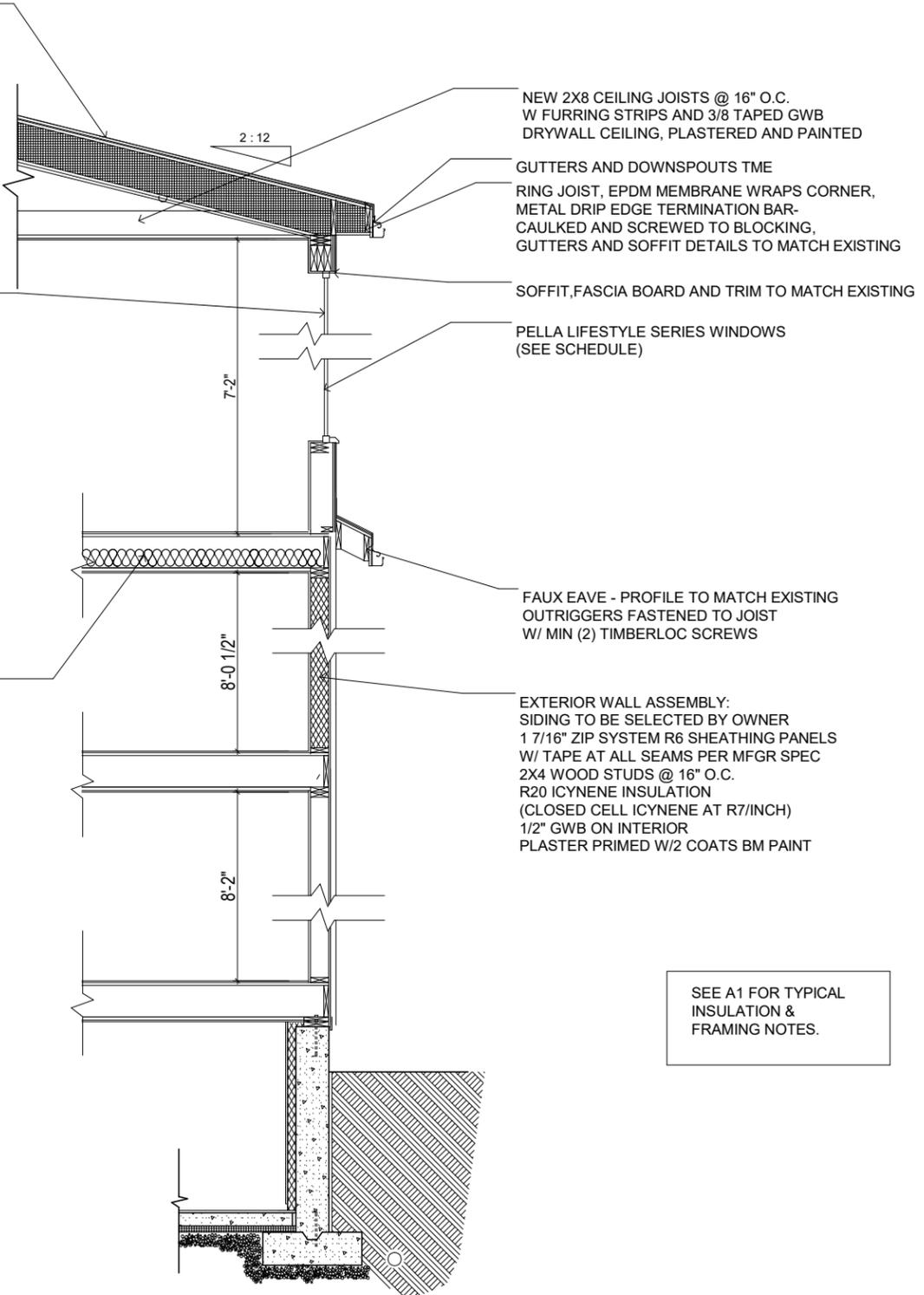
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MEMBRANE ROOF ASSEMBLY:
 FULLY ADHERED 60 MIL. EPDM RUBBER
 ROOF MEMBRANE (INSTALLED PER MFGR SPECS)
 CDX PLYWOOD SHEATHING
 SEE FRAMING DRAWINGS FOR RAFTERS(2X10)
 1" STRAPPING AT 16" O.C.
 MIN R60 PROSEAL CLOSED CELL
 ICYNECE SPRAYED INTO ALL CAVITIES

EXTERIOR WALL ASSEMBLY:
 SIDING TO BE SELECTED BY OWNER
 1 1/2" ZIP SYSTEM SHEATHING PANELS (R6)
 W/ TAPE AT ALL SEAMS PER MFGR SPEC
 2X4 WOOD STUDS @ 16" O.C.
 R20 ICYNENE INSULATION
 (CLOSED CELL ICYNENE AT R7/INCH)
 1/2" GWB ON INTERIOR
 W/PLASTER AND BM PAINT

TYPICAL FLOOR / CEILING ASSEMBLY:
 3/4" TONGUE & GROOVE SUBFLOOR
 W/WOOD FLOORING AS SELECTED
 AT TILE LOCATIONS USE
 DUROCK SUBFLOOR WITH TILE
 ANS GROUT AS SELECTED BY OWNER
 SEE FRAMING DRAWINGS FOR
 FLOOR JOISTS AND BRIDGING
 MINERAL FIBER FOR SOUND ATTENUATION
 1" STRAPPING AT 16" O.C.
 3/8" GWB CEILING



SEE A1 FOR TYPICAL
 INSULATION &
 FRAMING NOTES.

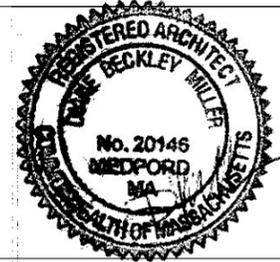
1 WALL SECTION
 NTS

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PROPOSED
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