

RECEIVED
TOWN CLERK
BELMONT, MA

CASE NO. 25-06

2025 JAN 28 PM 2:04

NOTICE OF PUBLIC HEARING BY THE
BOARD OF APPEALS FOR TWO SPECIAL PERMITS

Notice is hereby given that the Belmont Board of Appeals will hold a public hearing on Monday, March 10, 2025 at 7:00 PM by a hybrid public hearing at the Art Gallery on the third floor of the Homer Building, 19 Moore Street, and by remote access through the Zoom app. to consider the application of Joseph Poirier to construct a dormer at 169 Beech Street, located in a General Residence zoning district. Special Permits: 1- Section 4.2 of the Zoning Bylaw Dimensional Regulations allow a maximum of 2-1/2 stories, The existing structure is three and a half (3-1/2) stories. The lowest level of the dwelling is a basement (52.9% of the foundation walls are exposed) and is considered a story. The proposed dormer is a third (3rd) level addition. 2 -§4.2 of the Zoning By-Law Dimensional Regulations require minimum side setback of 10.0'. The existing and proposed side setback is 5.6'.

ZONING BOARD OF APPEALS



OFFICE OF PLANNING & BUILDING
TOWN OF BELMONT
19 Moore Street
Homer Municipal Building
Belmont, Massachusetts 02478-0900

Building Division
(617) 993-2664
Planning Division
(617) 993-2666

Telephone: (617) 993-2650

January 7, 2024

Joseph Poirier
169 Beech Street
Belmont, MA 02478

RE: Denial to Construct a Dormer.

Dear Mr. Poirier,

The Office of Planning and Building is in receipt of your building permit application for your proposal to construct a dormer at 169 Beech Street located in a General Residence (GR) zoning district.

Your application has been denied because it does not comply with the current Town of Belmont Zoning By-Law. More specifically, Section 4.2 of the Zoning Bylaw Dimensional Regulations allow a maximum of 2-1/2 stories and require minimum side setback of 10.0' in your zoning district.

1. The existing structure is three and a half (3-1/2) stories. The lowest level of the dwelling is a basement (52.9% of the foundation walls are exposed) and is considered a story. The proposed addition is a third (3rd) level addition.
2. The existing and proposed side setback is 5.6'.

You may alter your plans to conform to the current Town of Belmont Zoning Bylaws and resubmit a building permit application, or you may request two (2) Special Permits from the Zoning Board of Appeals. If you choose this option, please contact the Office of Community Development to schedule an appointment with Ara Yogurtian, Inspector of Buildings, at (617) 993-2650 in order to begin the process.

Sincerely,

Ara Yogurtian
Inspector of Buildings
Office of Planning and Building

2025 JAN 28 PM 2:05

RECEIVED
TOWN CLERK
BELMONT, MA



Town of Belmont
Zoning Board of Appeals

APPLICATION FOR A SPECIAL PERMIT

Date: 01/03/2025

Zoning Board of Appeals
Homer Municipal Building
19 Moore Street
Belmont, MA 02478

To Whom It May Concern:

Pursuant to the provisions of Massachusetts General Laws, Chapter 40A, Section 9, as amended, and the Zoning By-Laws of the Town of Belmont, I/we the undersigned, being the owner(s) of a certain parcel of land (with the buildings thereon) situated on 169 Beech Street/Road, hereby apply to your Board for a **SPECIAL PERMIT** for the erection or alteration on said premises or the use thereof under the applicable Section of the Zoning By-Law of said Town for _____

Construct a dormer

on the ground that the same will be in harmony with the general purpose and intent of said Zoning By-Law.

Signature of Petitioner _____

Print Name Robert Egan

Address 53 Plain St
Braintree, MA 02184

Daytime Telephone Number (781)399-7580

December 6, 2005



STATEMENT OF PROPOSED CONSTRUCTION

Pathway Development intends to install a dormer at 169 Beech Street to an existing attic. The Town of Belmont Zoning By-Law. More specifically, Section 4.2 of the Zoning Bylaw Dimensional Regulations allow a maximum of 2-1/2 stories and the existing structure is three and a half (3-1/2) stories. The height of the new construction will not change the existing height of the building. There are no plans to use the unfinished basement as a finished living space.

The town bi-law also requires a minimum side setback of 10.0'. The existing and proposed side setback is 5.6'.

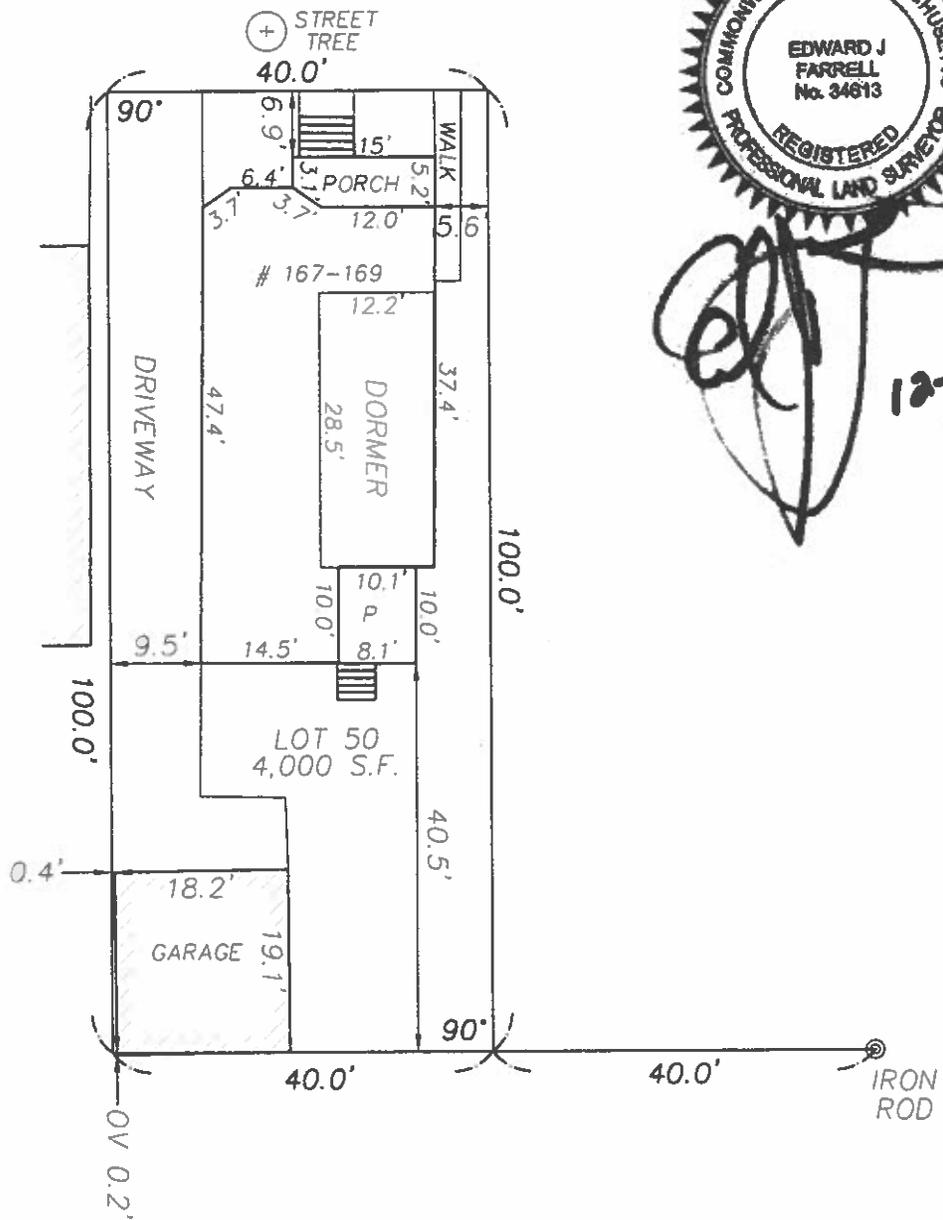
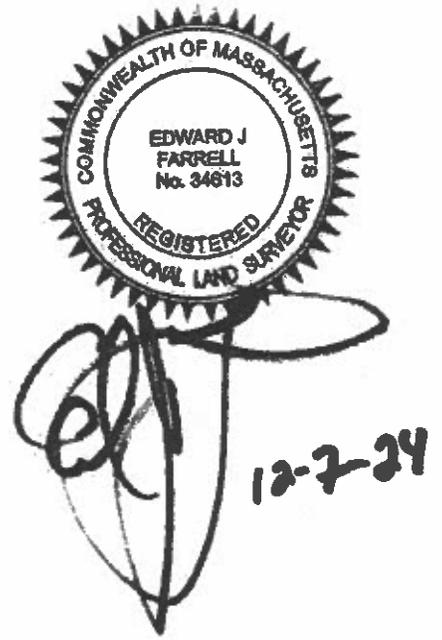
Pathway is requesting a Special Permit which will allow the proposed dormer as in our determination the new dormer will not have any adverse effects to the Town or the vicinity.

DocuSigned by:
Signed: Robert Egan
B7030F40D4E04EE...

Printed Name: Robert Egan

Date Signed: 1/14/2025

BEECH STREET



OWNER: JOHN FAHEY & NOEL POIRIER

LOCUS HOUSE # 167-169 BEECH STREET

LOCUS DEED - BOOK 1551 PAGE 161

LOCUS PLAN - LCC # 1053A

APP. # -

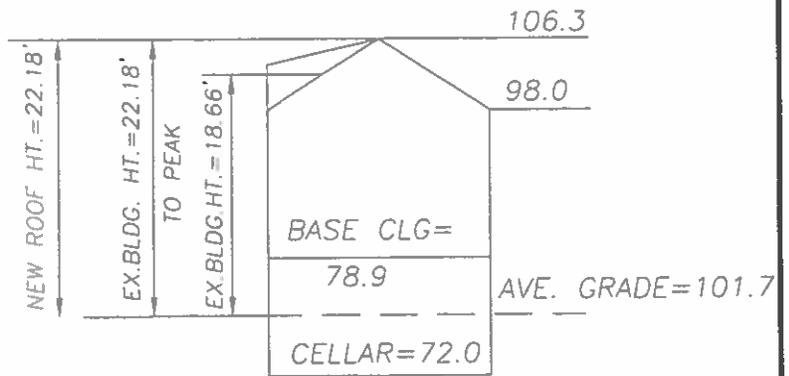
SITE DOES NOT FALL WITHIN
THE WETLAND ZONE.

ZONING DISTRICT= GR

	REQ.	EXIST.	PROP.
MAX. LOT COVERAGE	30%	39.6% *	
MIN. OPEN SPACE	40%	37.4% **	
FRONT SETBACK	20'	6.9'	
SIDE SETBACK	10'	9.5'/5.6'	
REAR SETBACK	20'	40.5'	
HEIGHT	33'	18.68'	25.25'

* HOUSE (1079 S.F. + 348 S.F. GARAGE +
156 S.F. PORCHES) = 1583/4000=39.6%

** HOUSE (1079 S.F. + 348 S.F. GARAGE + 156 S.F.
PORCHES + 70 S.F. WALKS + 853 S.F. DRIVE)=
2506/4000=62.7% OR 37.4%



BUILDING HEIGHT

50% OF BASEMENT UNDERGROUND
THEREFOR BASEMENT IS A STORY

PLOT PLAN 167-169 BEECH STREET BELMONT MASS.

SCALE: 1" = 20' DECEMBER 7, 2024

Prepared By

EDWARD J. FARRELL

PROFESSIONAL LAND SURVEYOR

110 WINN STREET - SUITE 210-WOBURN, MA.

(781)-933-9012

Zoning Compliance Check List (Registered Land Surveyor)

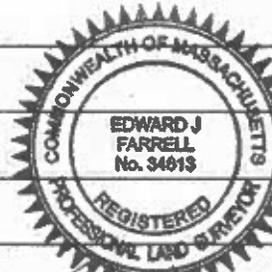
Property Address: 167-169 BEECH STREET Zone: GR

Surveyor Signature and Stamp: _____ Date: 1/5/25

	REQUIRED	EXISTING	PROPOSED
Lot Area	5,000 S.F.	4,000 S.F.	4,000 S.F.
Lot Frontage	50'	40'	40'
Floor Area Ratio	—	—	—
Lot Coverage	30%	39.6%	39.6%
Open Space	40%	37.6%	37.6%
Front Setback	20'	6.9'	6.9'
Side Setback	10'	5.6'	5.6'
Side Setback	10'	9.5'	9.5'
Rear Setback	20'	40.5'	40.5'
Building Height	33'	18.68'	25.25'
Stories	2 1/2	3	3
1/2 Story Calculation			

NOTES:

Dormer

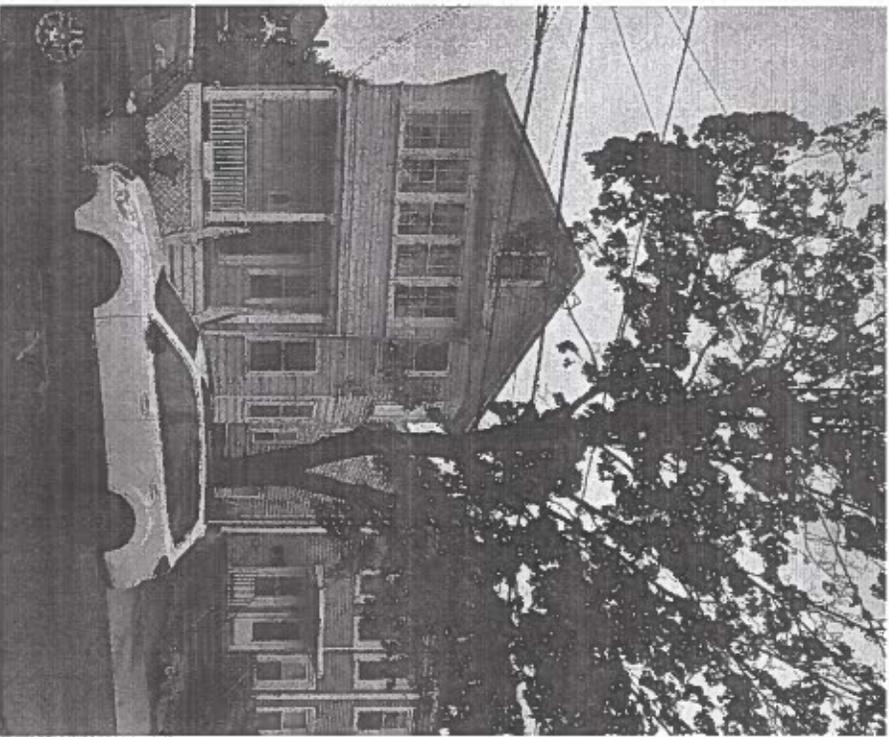


[Handwritten Signature]

June 4, 2013

BEECH ST RENOVATION

169 BEECH STREET
BELMONT MA 02478



DATE: 2024-10-22
PROJECT: FINISHED ATTIC

SHEET LIST

SHEET NUMBER	DESCRIPTION	SHEET NAME	DATE
0101	GENERAL NOTES	GENERAL NOTES	2024-10-22-FINISHED ATTIC
0102	CONCRETE FLOOR PLAN	CONCRETE FLOOR PLAN	
0103	PROPOSED - FLOOR PLAN	PROPOSED - FLOOR PLAN	
0104	PROPOSED - FRAMING PLAN	PROPOSED - FRAMING PLAN	
0105	PROPOSED - SIDE ELEVATION	PROPOSED - SIDE ELEVATION	

PROJECT DIRECTOR

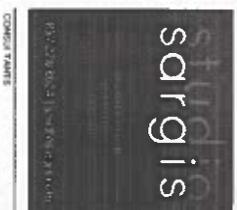
OWNER: HOMEOWNER
202 BELMONT ST
BELMONT MA 02478

ARCHITECT

STUDIO SARGIS LLC
PO BOX 3000
169 BEECH STREET
BELMONT MA 02478
PHONE: 857-228-6644
EMAIL: info@sargis.com

CONTRACTOR

PERMITS SERVICE COMPANY, INC.
175-202 WILSON ST
METHUEN MA 01842
PHONE: 857-228-6644
EMAIL: info@permits.com



CONTRACT DATE

PROJECT TITLE

BEECH ST
RENOVATION
169 BEECH STREET BELMONT
MA 02478
REVISION

PROJECT SCALE

THIS DOCUMENT IS THE PROPERTY OF SARGIS LLC. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. IT IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF SARGIS LLC.

SCALE

1" = 16'-0" (AS SHOWN)

1/8" = 1'-0" (AS SHOWN)



SHEET SCALE

COVER

PROJECT NO

24037

DATE

2024-10-22

T001

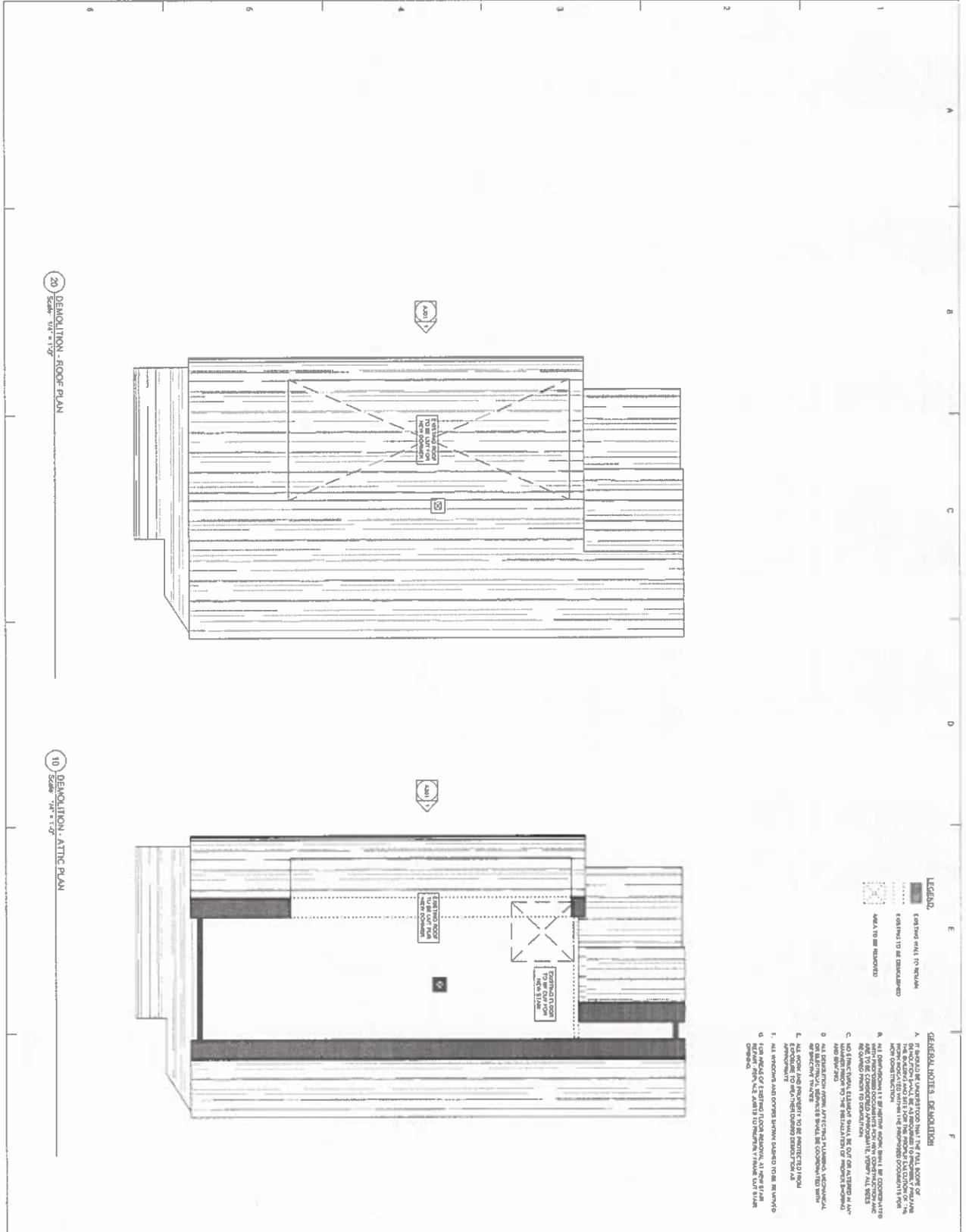


175 STATE STREET, FLOOR 10, NEWTON, MA 02474

CONSULTANTS

- GENERAL NOTES, DEMOLITION**
- REMOVE ALL UNDESIRABLE MATERIAL FROM THE FULL SCOPE OF THE WORK AND SET ASIDE FOR RECYCLING OR REUSE. ALL MATERIALS TO BE RECYCLED SHALL BE IDENTIFIED BY THE CONTRACTOR AND SET ASIDE FOR RECYCLING OR REUSE.
 - ALL OPERATIONAL REQUIREMENTS SHALL BE COMPLETED AND TO BE COMPLETED PRIOR TO THE START OF DEMOLITION.
 - ALL OPERATIONAL REQUIREMENTS SHALL BE COMPLETED AND TO BE COMPLETED PRIOR TO THE START OF DEMOLITION.
 - ALL OPERATIONAL REQUIREMENTS SHALL BE COMPLETED AND TO BE COMPLETED PRIOR TO THE START OF DEMOLITION.
 - ALL OPERATIONAL REQUIREMENTS SHALL BE COMPLETED AND TO BE COMPLETED PRIOR TO THE START OF DEMOLITION.
 - ALL OPERATIONAL REQUIREMENTS SHALL BE COMPLETED AND TO BE COMPLETED PRIOR TO THE START OF DEMOLITION.
 - ALL OPERATIONAL REQUIREMENTS SHALL BE COMPLETED AND TO BE COMPLETED PRIOR TO THE START OF DEMOLITION.
 - ALL OPERATIONAL REQUIREMENTS SHALL BE COMPLETED AND TO BE COMPLETED PRIOR TO THE START OF DEMOLITION.
 - ALL OPERATIONAL REQUIREMENTS SHALL BE COMPLETED AND TO BE COMPLETED PRIOR TO THE START OF DEMOLITION.
 - ALL OPERATIONAL REQUIREMENTS SHALL BE COMPLETED AND TO BE COMPLETED PRIOR TO THE START OF DEMOLITION.

- LEGEND**
- EXISTING WALL TO REMAIN
 - EXISTING TO BE DEMOLISHED
 - AREA TO BE REWORKED



20 DEMOLITION - ROOF PLAN
Scale: 1/8" = 1'-0"

10 DEMOLITION - ATTIC PLAN
Scale: 1/8" = 1'-0"

PROJECT NAME:
BEECH ST
RENOVATION
169 BEECH STREET BELMONT
MA 02478
NEWSPON

PROJECT REMOVAL SEAL

NOT BE REUSED FOR ANY OTHER PROJECTS.
THIS SEAL IS TO BE USED TO IDENTIFY THE PROJECT IN CONSTRUCTION.
SCALE: 1/8" = 1'-0"
KEY PLAN (INSET) SHEET NAME



SHEET NAME:
DEMOLITION - FLOOR PLANS

PROJECT NO:
24037
ISSUED: YEAR MONTH IN DAY

2024-10-22

D101

PROJECT NAME:
BEECH ST
RENOVATION
169 BEECH STREET BELMONT
MA 02478
REVISION

PROFESSIONAL SEAL

DATE: 08/20/24
 SCALE: 1/8" = 1'-0"
 SHEET: 1 OF 3
 NEW PLAN (REVISED) RETAIL NAME



SHEET NAME:
PROPOSED - FLOOR PLANS

PROJECT NO:
 24037
ISSUED YEAR/MON/DAY:
 2024-10-22

SHEET NO:
A101

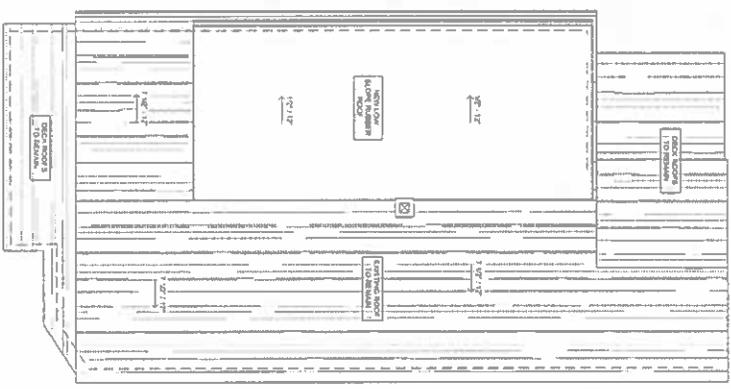
LEGEND:

 EXISTING WALLS DELINEATE PROGRAM
 PROPOSED WALLS

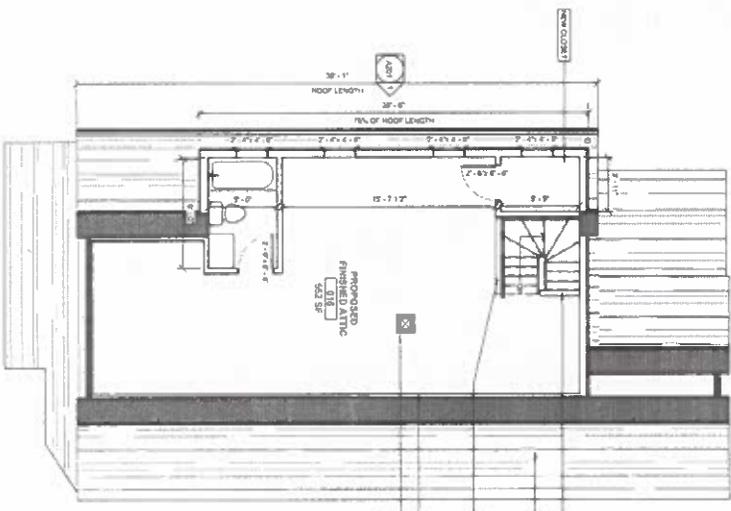
- GENERAL NOTES - PROPOSED**
- EXEMPTED BY ALL STRUCTURAL WORK.
 - CONCRETE AND FLOOR FINISHES TO BE DETERMINED BY THE ARCHITECT.
 - COORDINATE ALL PLUMBING, MECHANICAL, AND ELECTRICAL WORK WITH THE ARCHITECT'S SCHEDULE.
 - VERIFY ALL EXISTING CONDITIONS AND MATERIALS WITH THE ARCHITECT.
 - PROVIDE SCHEDULES FOR ALL MECHANICAL, ELECTRICAL, AND PLUMBING WORK.
 - INSTALL ALL WALLS AND PARTITIONS TO BE DETERMINED BY THE ARCHITECT.

100% OF EXISTING
 EXISTING WALLS DELINEATE PROGRAM
 PROPOSED WALLS
 EXISTING FLOOR FINISHES
 PROPOSED FLOOR FINISHES

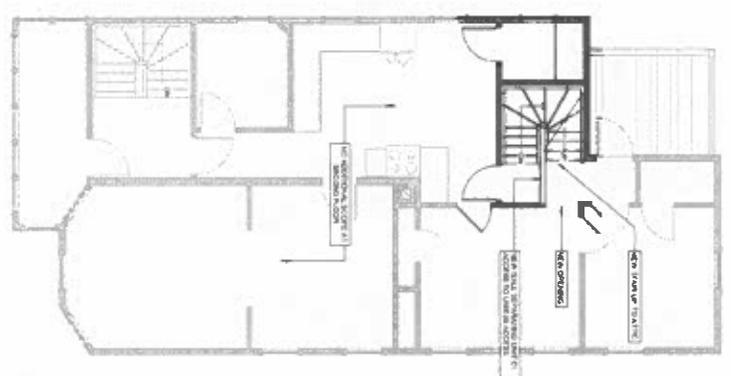
1. THE ARCHITECT HAS CONDUCTED VISUAL VERIFICATION OF THE EXISTING CONDITIONS AND MATERIALS WITH THE ARCHITECT. THE ARCHITECT HAS NOT CONDUCTED VISUAL VERIFICATION OF THE EXISTING CONDITIONS AND MATERIALS WITH THE ARCHITECT.



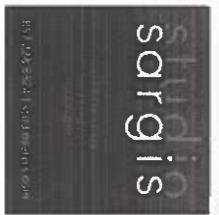
1 PROPOSED ROOF PLAN
 SCALE: 1/8" = 1'-0"



30 PROPOSED ATTIC PLAN
 SCALE: 1/8" = 1'-0"



20 PROPOSED LEVEL 1 PLAN
 SCALE: 1/8" = 1'-0"



CONSULTANTS

PROJECT NAME
**BEECH ST
 RENOVATION**
 169 BEECH STREET BELMONT
 MA 02478
 REVISION

PROFESSIONAL SEAL

THIS DRAWING AND EXHIBITS OR REVISED AND FOR ACHIEVING TO BE USED FOR CONSTRUCTION OF THIS PROJECT BY OTHERS WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT ARE STRICTLY PROHIBITED.

SCALE 1/4" = 1'-0"

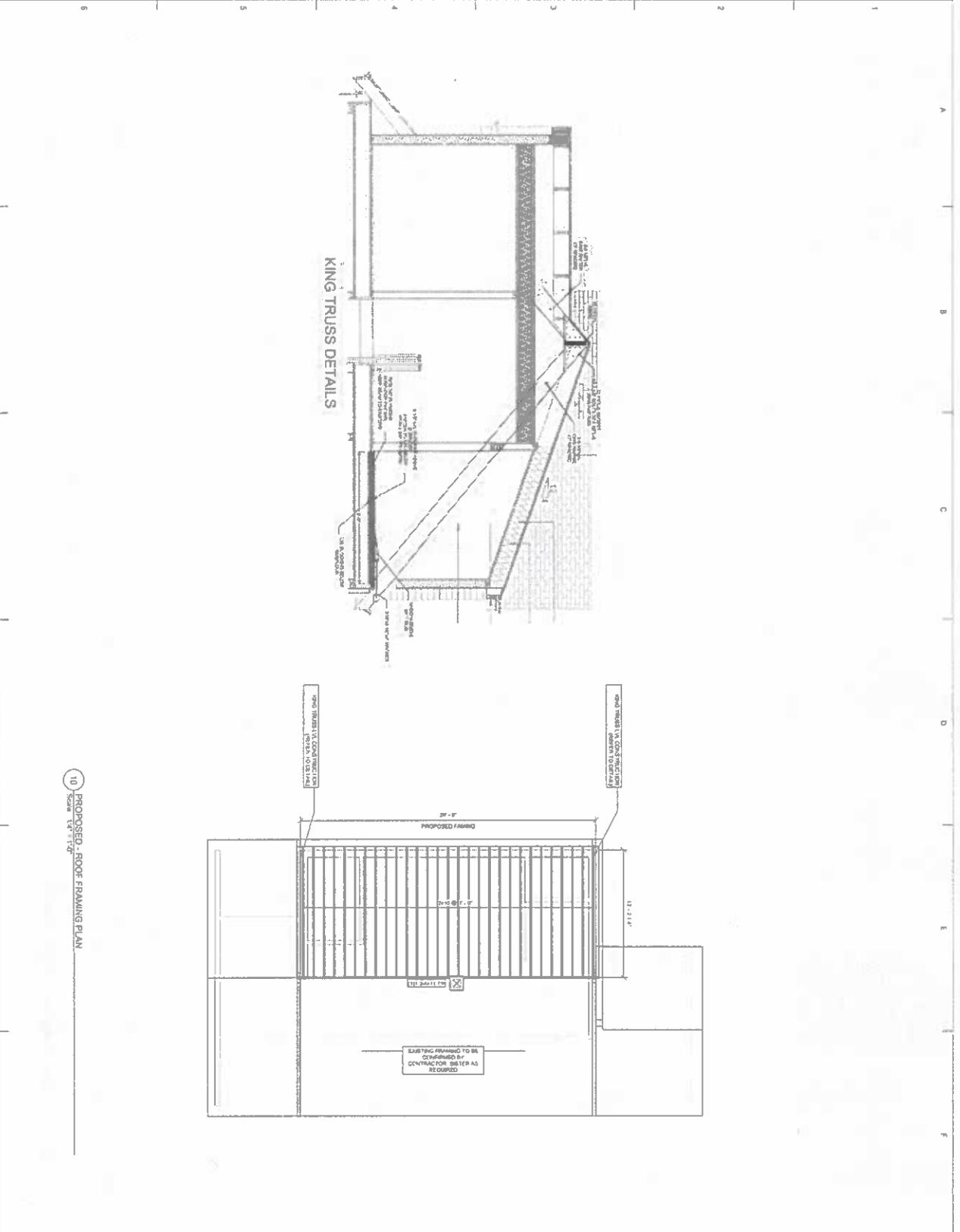
REV PLAN (MIS) SHEET NAME



SHEET NAME
**PROPOSED - FRAMING
 PLANS**

PROJECT NO
241037
 ISSUED (TEAM/DATE)

2/024-10-22
 SHEET NO. 241037-1
A102



10 PROPOSED - ROOF FRAMING PLAN
 Scale 1/4" = 1'-0"

