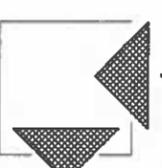


# DESIGN DEVELOPMENT

## JANUARY 3, 2025

### REVISED 1/13/25

**M1L5R**  
**DESIGN LLC**



80 CLARK STREET  
BELMONT, MA 02478

**ENERGY AUDIT:**

COMPLIANCE DETERMINED BY MASSACHUSETTS STRETCH ENERGY CODE (IECC 2021 W/ MASS AMENDMENTS SECTION N1101), PROPERTY FALLS UNDER CLIMATE ZONE 5A.

**PRESCRIPTIVE OPTION FOR RESIDENTIAL ADDITION (401.3):**

1. RENOVATION TO COMPLY WITH ENERGY STAR QUALIFIED HOMES THERMAL BYPASS INSPECTION CHECKLIST. INSULATION VALUES AS FOLLOWS: R60 ROOF R-VALUE, R30 FLOOR R-VALUE, R20+5 WALL R-VALUE, R15+9 BASEMENT / CRAWL SPACE WALL R-VALUE.
2. RENOVATION TO COMPLY WITH ENERGY STAR PROGRAM REQUIREMENTS FOR RESIDENTIAL WINDOWS, DOORS, AND SKYLIGHTS - VERSION 5.0. ALL NEW WINDOW/GLAZING TO BE .30 U-FACTOR AND SKYLIGHTS TO BE .35 U-FACTOR.
3. HEATING / COOLING DUCTS TO BE SEALED AND TESTED TO MEET REQUIREMENTS OF 401.3.

**PROJECT INFORMATION:**

BELMONT ZONING SR-C:

**REQUIRED:**

- MAX 25% LOT COVERAGE
- MIN 50% OPEN SPACE
- FRONT YARD SETBACK: 25'-0" OR AVERAGE
- REAR YARD SETBACK: 30'-0"
- SIDE YARD SETBACK: 10'-0"
- MAX HEIGHT: 2 1/2 STORIES, 30' TO MID-POINT AND 34' TO RIDGE

**DRAWING LIST**

- A1 COVER SHEET
- A2 EXISTING CELLAR FLOOR PLAN
- A3 EXISTING FIRST FLOOR PLAN
- A4 EXISTING SECOND FLOOR PLAN
- A5 EXISTING ATTIC PLAN
- A6 EXISTING ELEVATIONS
- A7 NEW CELLAR FLOOR PLAN
- A8 NEW FIRST FLOOR PLAN
- A9 NEW SECOND FLOOR PLAN
- A10 NEW ATTIC PLAN
- A11 NEW ELEVATIONS

**LIGHTING LEGEND**

- RECESSED LED CEN LIGHT - AS SELECTED BY OWNER
- ⊙ CEILING MOUNTED REMAINT - AS SELECTED BY OWNER
- CEILING MOUNTED DOWN LIGHT - AS SELECTED BY OWNER
- ⊖ WALL MOUNTED RECESSES AS SELECTED BY OWNER
- ⊗ CEILING FAN WITH INTEGRAL LIGHT - AS SELECTED BY OWNER
- S.D. SMOKE DETECTOR - NOTE ALL NEW AND EXISTING SHOWS TO BE HAND-WIRED PER CODE
- S/CO HARD-WIRED SMOKE / CARBON MONOXIDE DETECTOR
- ▲ DATA CONNECTION
- ▲ TELEPHONE / DATA CONNECTION
- ⚡ ELECTRIC OUTLET (SPECIFIC LOCATIONS ONLY - ALL OUTLETS AS REQUIRED BY CODE ARE NOT SHOWN ON PLANS)

**SYMBOL LEGEND**

- WALL TO BE DEMOLISHED
- EXISTING WALL TO REMAIN
- NEW WALL
- ⬆ INTERIOR ELEVATION
- ⬆ SECTION
- ⑤ DOOR TAG
- Ⓜ WINDOW TAG

**Architect:**

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517-993-3157

**Date:** Issued for:

1/28/24 SCHEMATIC DESIGN  
1/29/25 DESIGN DEVELOPMENT  
1/13/25 REVISIONS



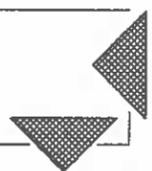
LILO POWERS RESIDENCE  
3 WASHINGTON ST  
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**COVER SHEET**

Sheet Number:

**A1**

**MJL&SR**  
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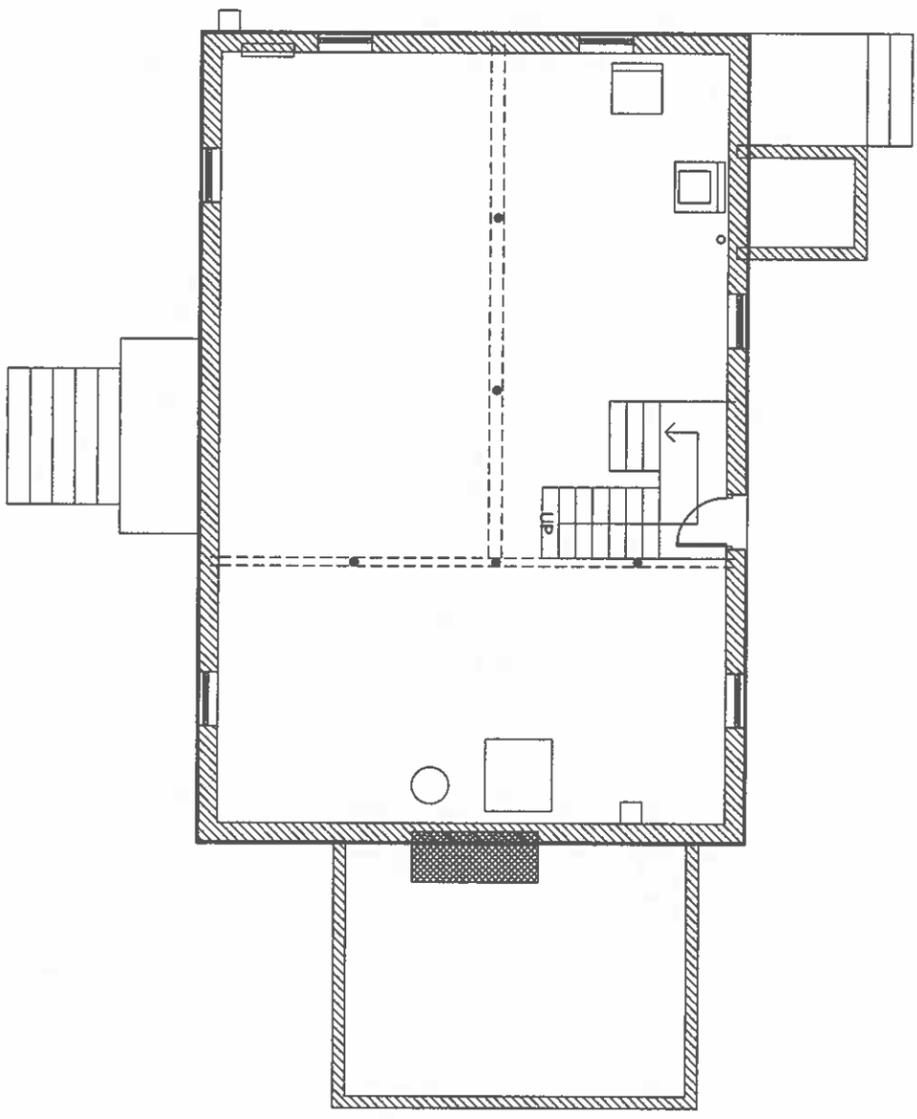


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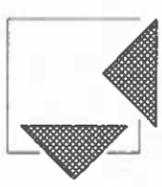
EXIST'G CELLAR  
 FLOOR PLAN

Sheet  
 Number:

**A2**



**MILLER  
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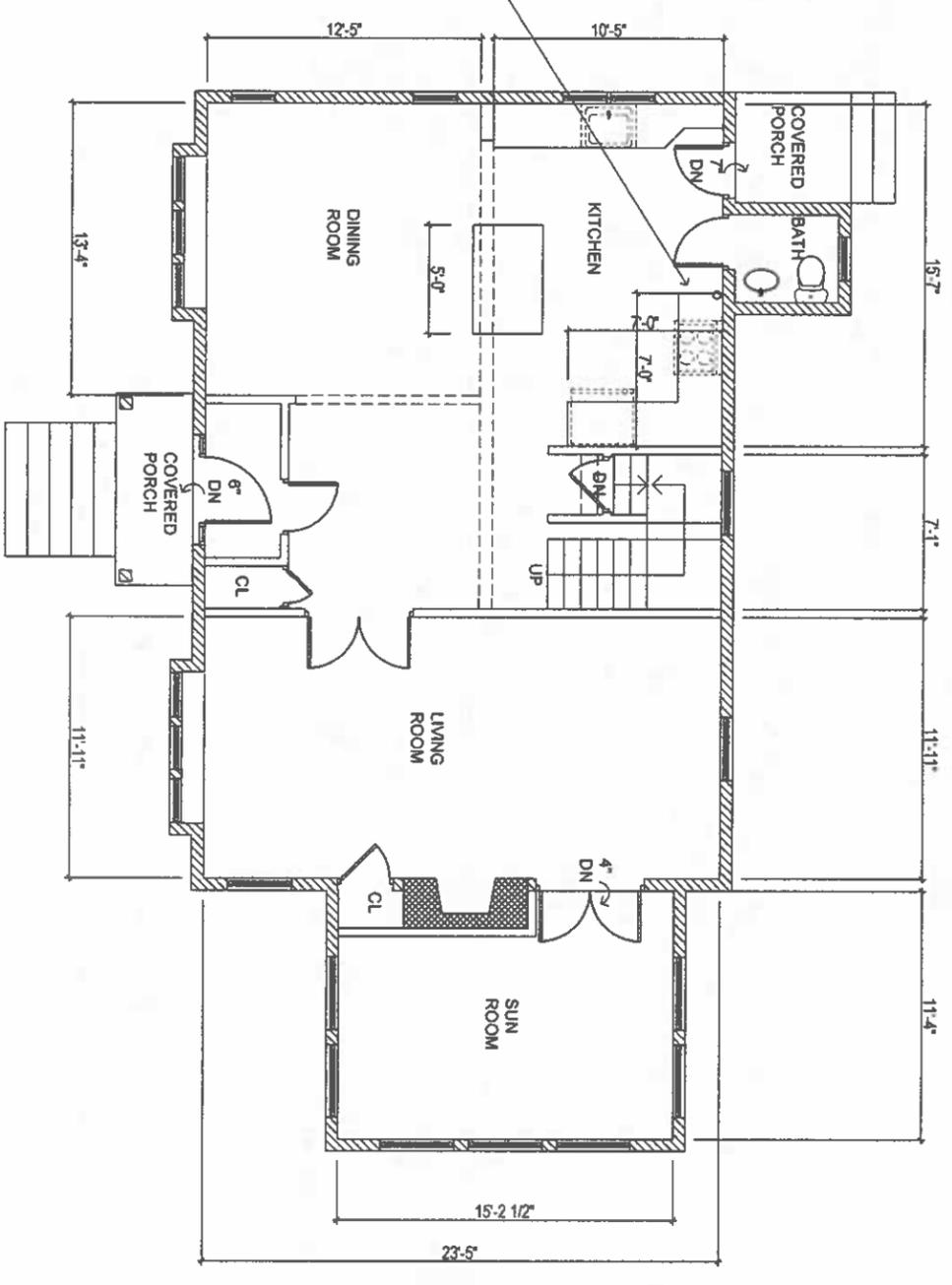
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**EXISTING FIRST  
FLOOR PLAN**

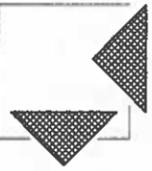
Sheet  
Number:

**A3**

DASHED LINES INDICATE EXISTING WALLS,  
WINDOWS, DOORS, FEATURES TO BE REMOVED,  
CONTRACTOR TO BRACE AND SHORE PRIOR TO  
REMOVAL OF ANY LOAD-BEARING ELEMENTS, TYP



**MOLESR**  
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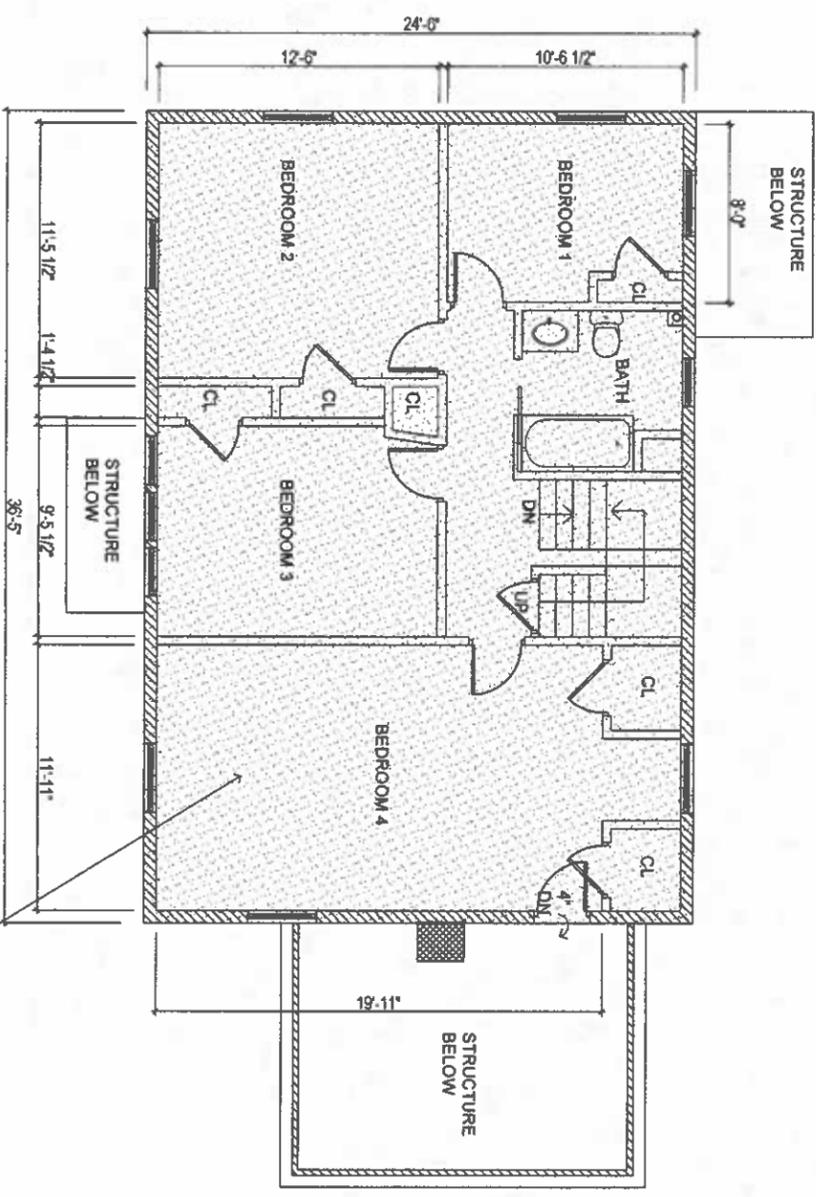


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**EXISTING SECOND FLOOR PLAN**

Sheet Number:

**A4**



TONE INDICATES EXTENT OF EXISTING GROSS FLOOR AREA.  
 892 sq ft



HALF STORY AREA CALCULATIONS:

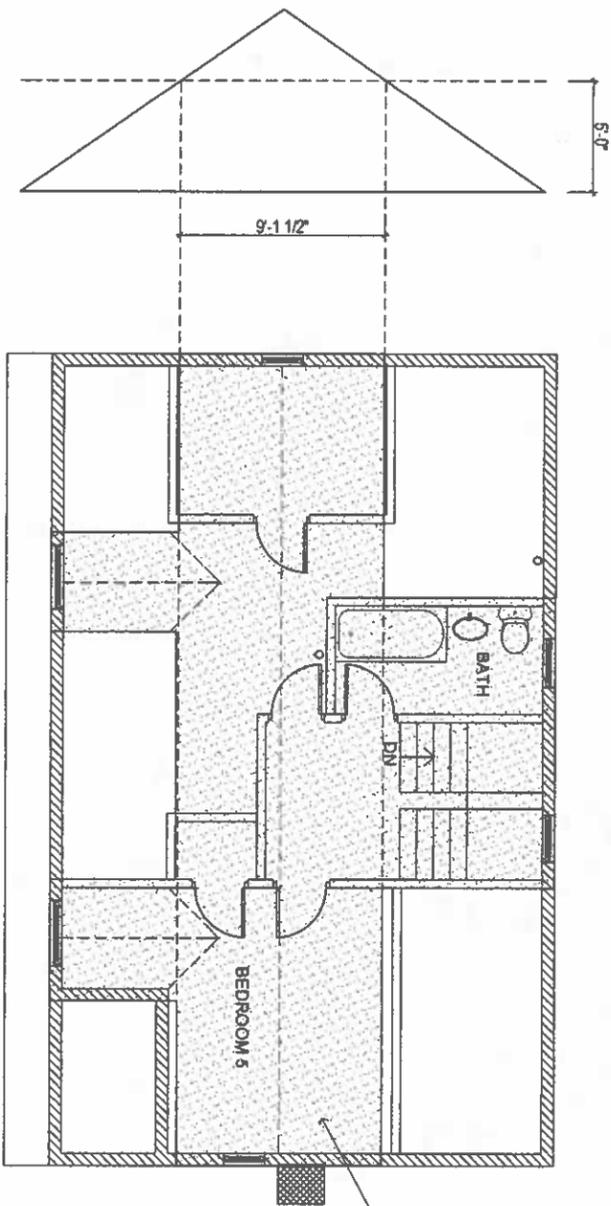
ALLOWABLE: AREA WITH CEILING HEIGHT OF 5' OR GREATER CAN BE NO MORE THAN 80% OF SECOND FLOOR AREA

SECOND FLOOR AREA = 886 SF  
80% OF 882 = 535.2 SF MAX  
ACTUAL: 490 SF, CONFORMING

HALF STORY PERIMETER CALCULATIONS:

SECOND FLOOR PERIMETER = 121'-10" LF

ALLOWABLE: MAX 60'-11" W/ RAFTER BOTTOMS AT 3' OR GREATER (BASED ON 50% OF 121'-10" PERIMETER);  
ACTUAL: X, CONFORMING



HATCH INDICATES EXTENT OF EXISTING AREA WITH CEILING HEIGHT OF 5' OR GREATER (SEE HALF STORY CALCS ON THIS SHEET):  
490 sq ft

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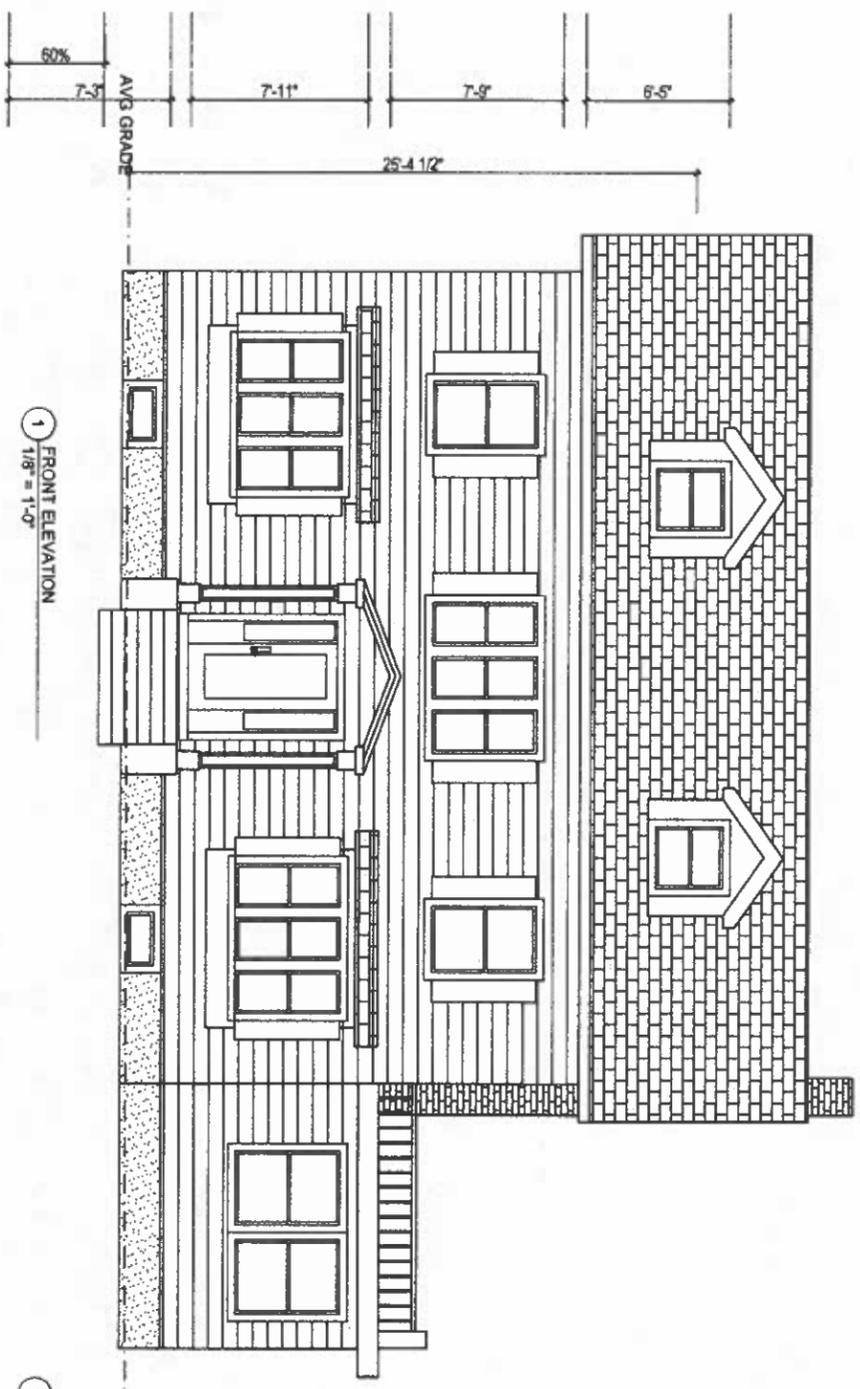
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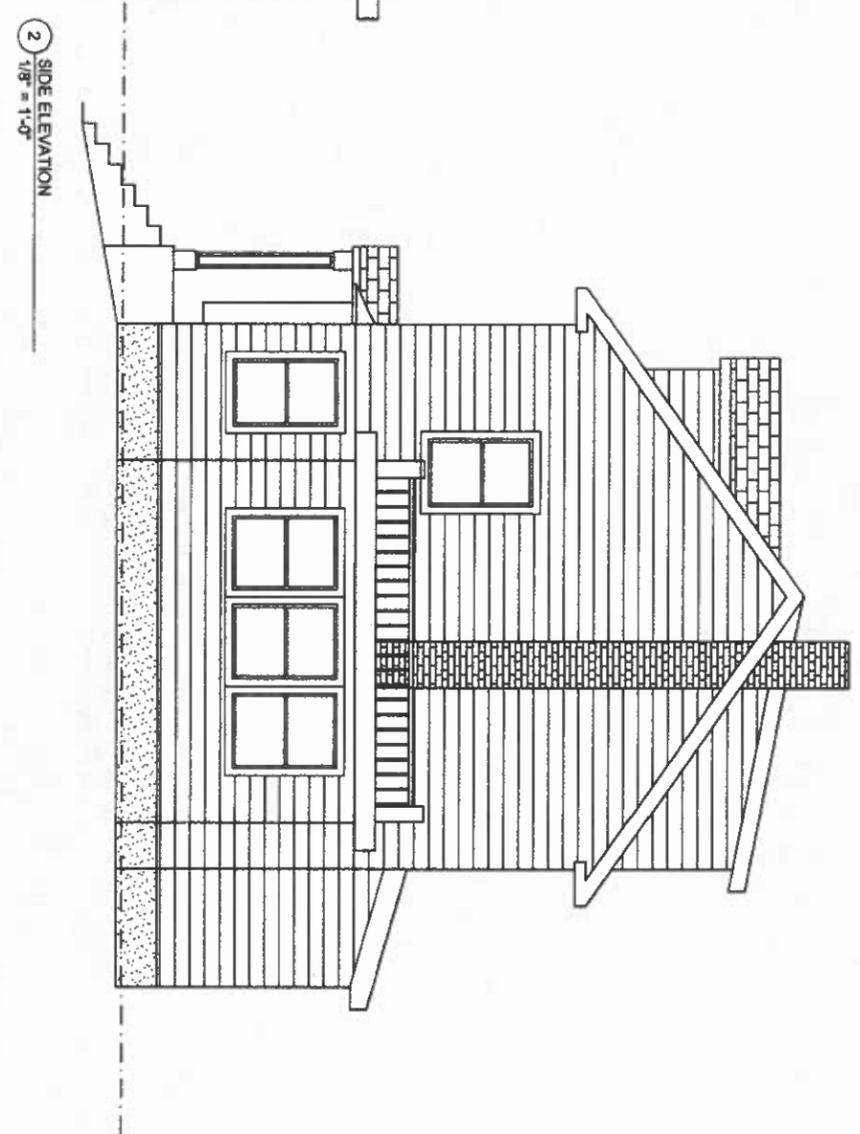
LIQU POWERS RESIDENCE  
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BELMONT MA 02478

EXISTING ATTIC  
FLOOR PLAN

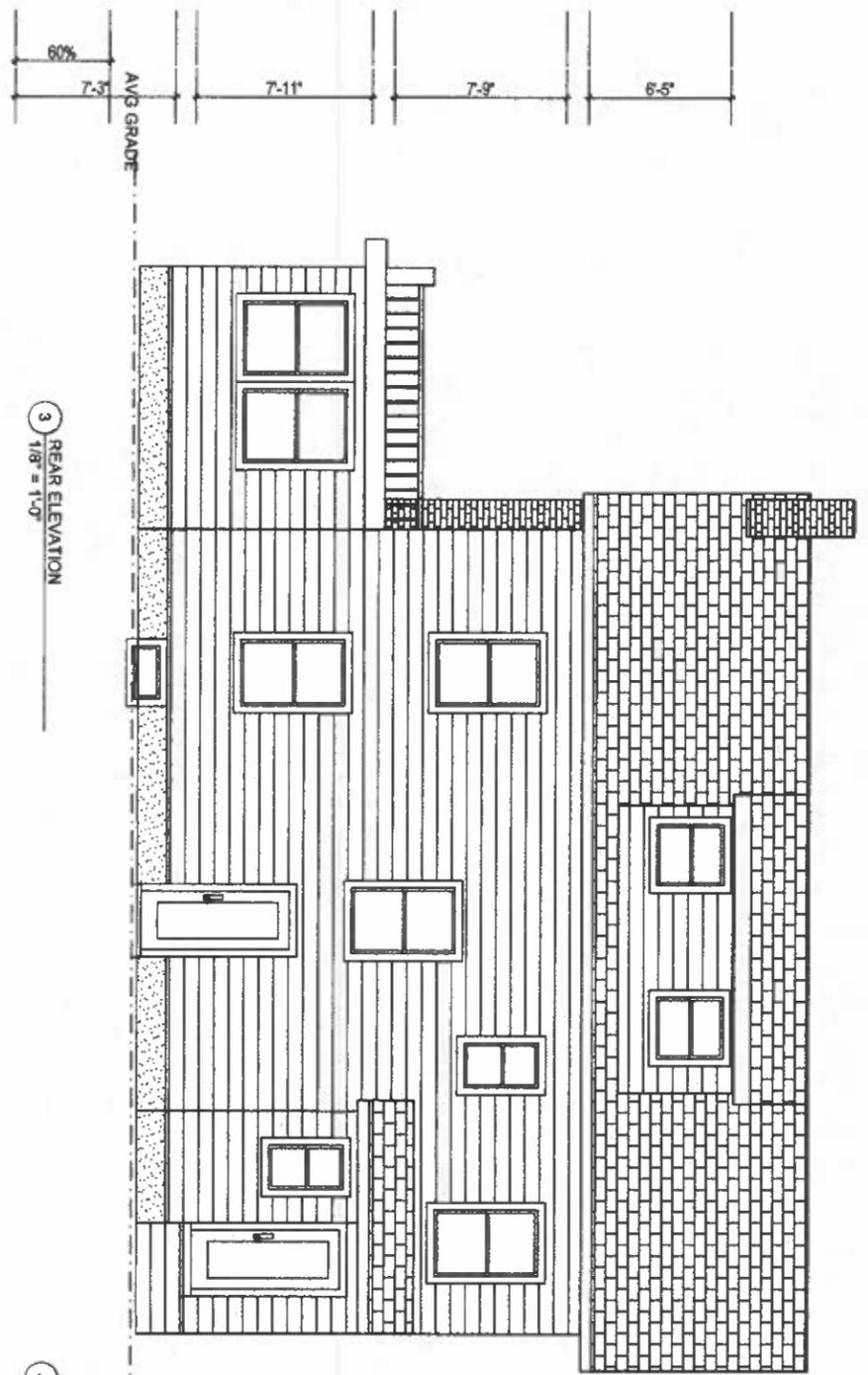
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**A5**



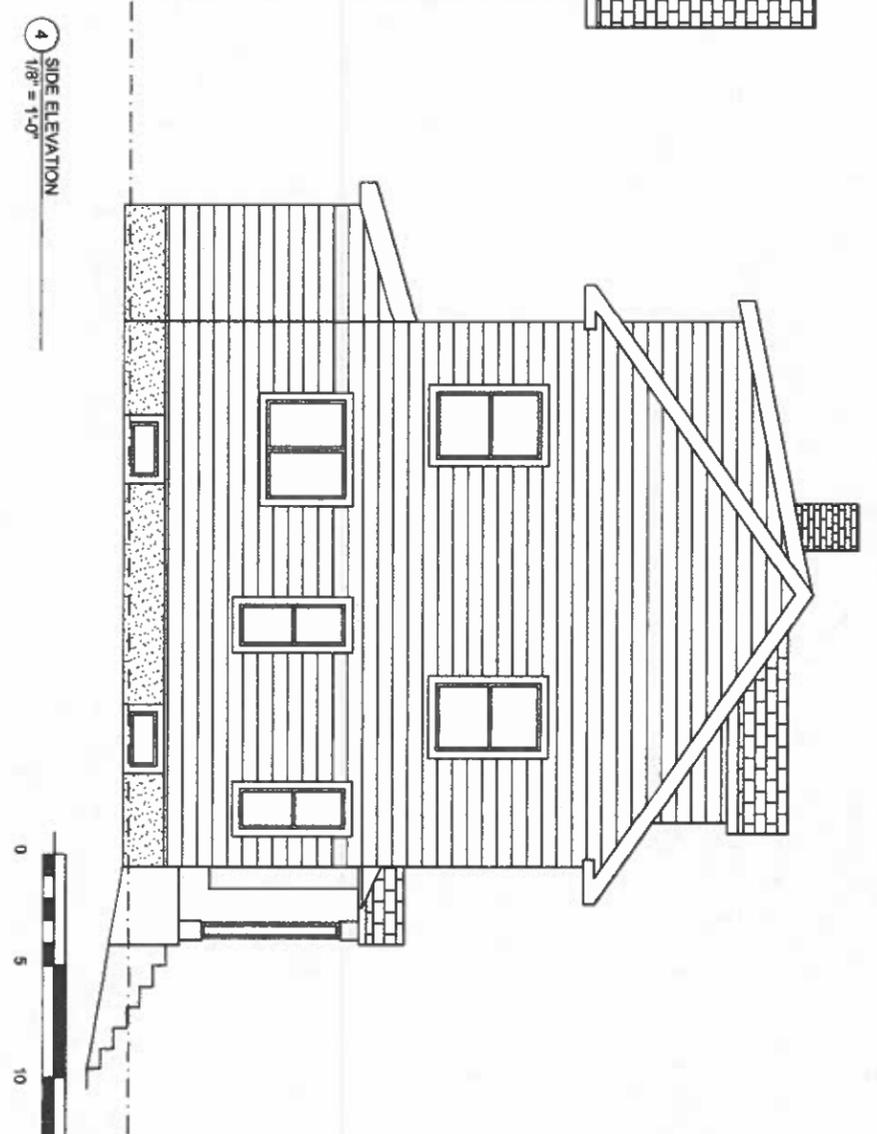
1 FRONT ELEVATION  
1/8" = 1'-0"



2 SIDE ELEVATION  
1/8" = 1'-0"

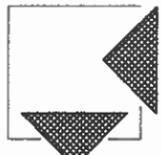


3 REAR ELEVATION  
1/8" = 1'-0"



4 SIDE ELEVATION  
1/8" = 1'-0"



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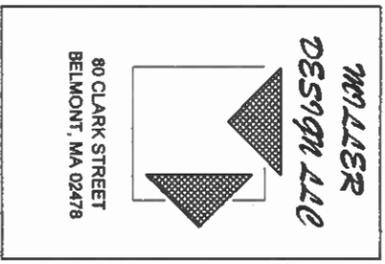
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**EXISTING ELEVATIONS**

Sheet Number:  
**A6**



Architect:  
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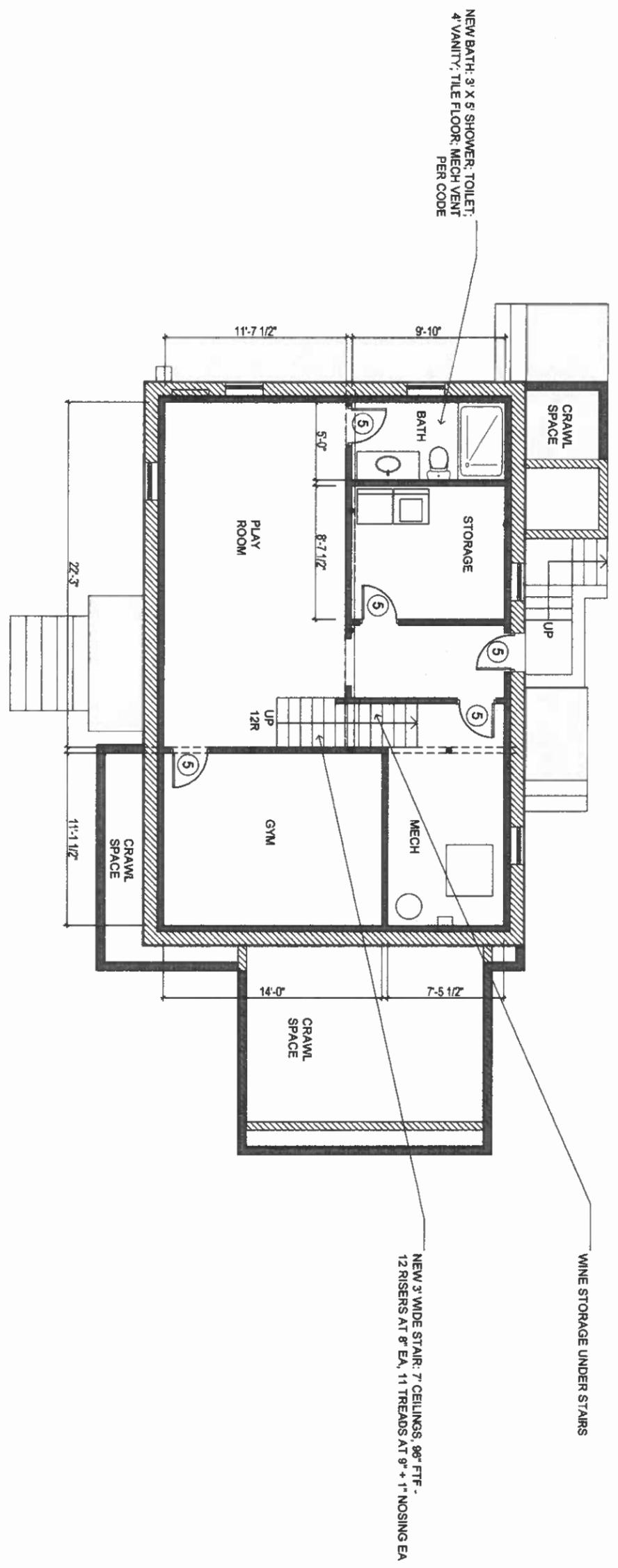


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**NEW CELLAR  
FLOOR PLAN**

Sheet Number:

**A7**



1 PLAN  
SCALE: 1/8" = 1'



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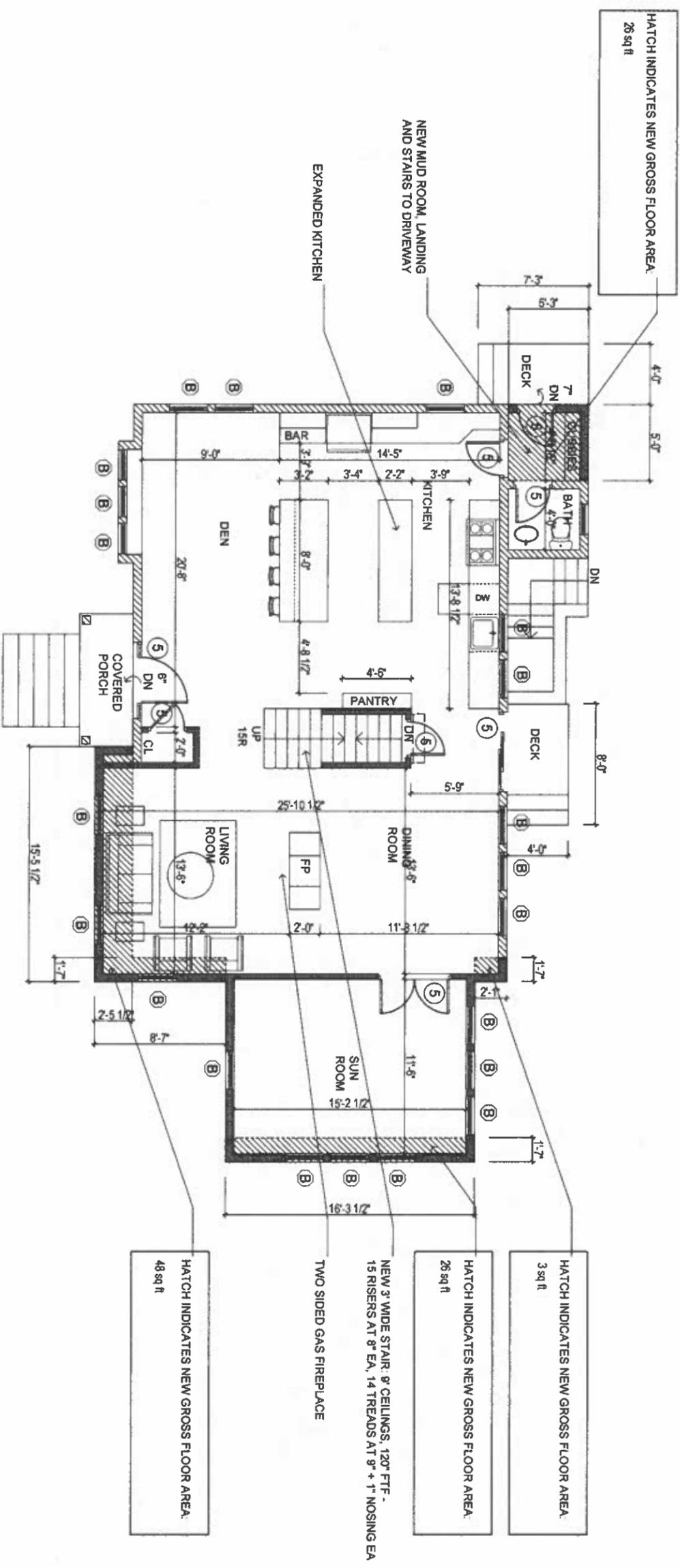


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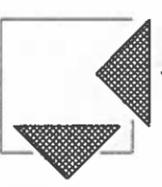
**NEW FIRST FLOOR PLAN**

Sheet Number:

**A8**



**WILLER DESIGN LLC**



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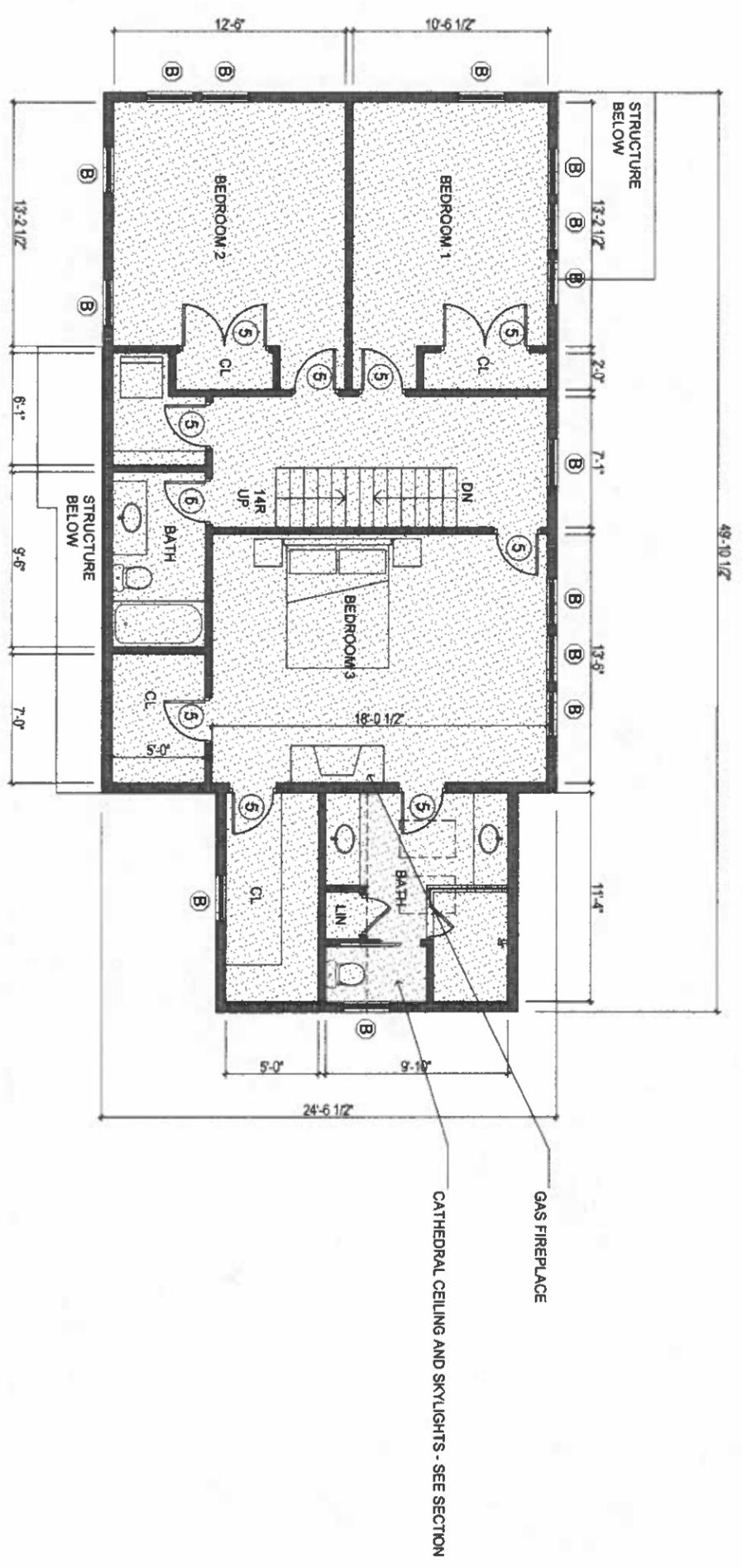


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**NEW SECOND FLOOR PLAN**

Sheet Number:

**A9**



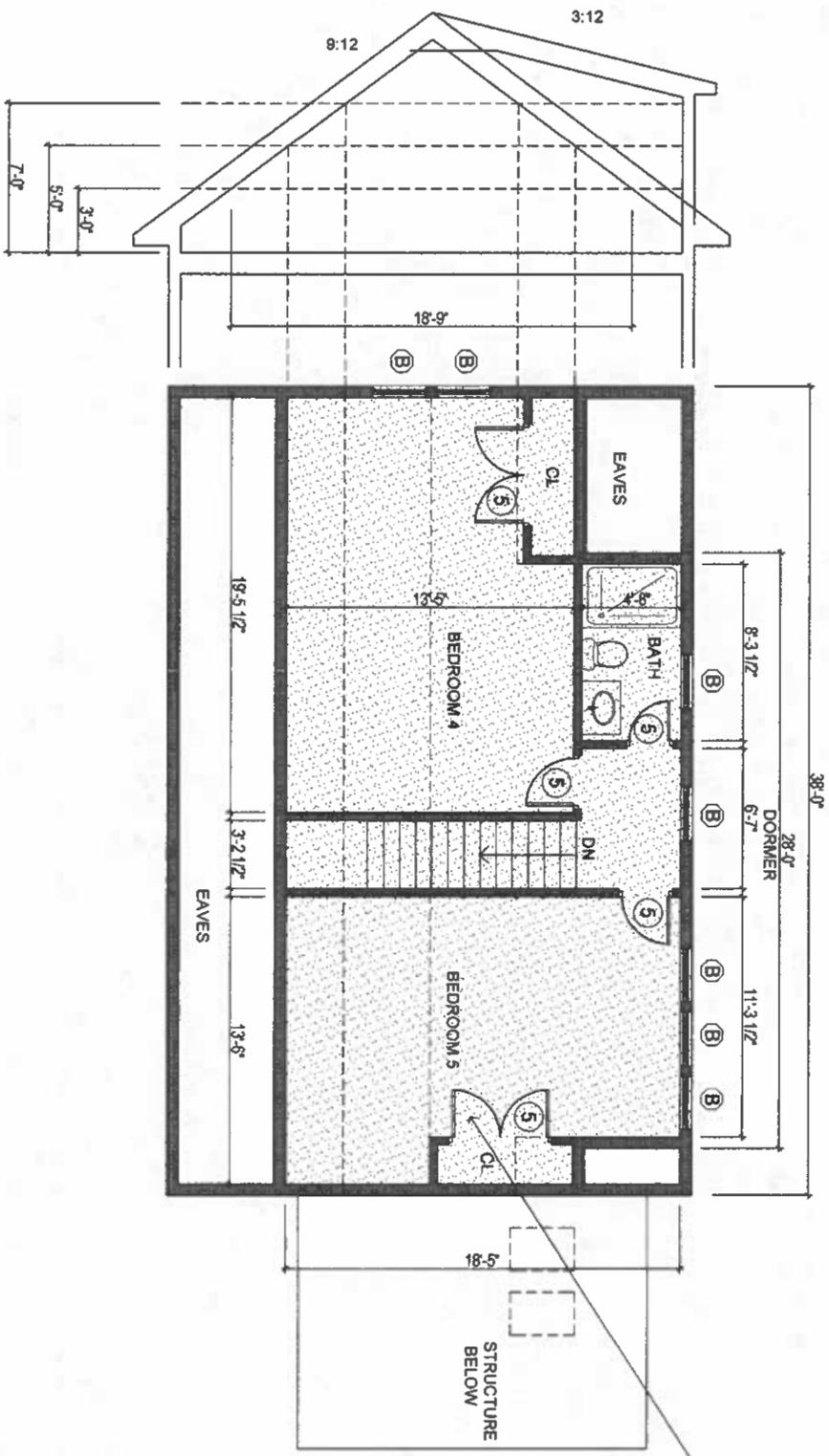
1,126 sq ft



HALF STORY AREA CALCULATIONS:  
 ALLOWABLE: AREA WITH CEILING HEIGHT OF 5' OR GREATER CAN BE NO MORE THAN 80% OF SECOND FLOOR AREA  
 SECOND FLOOR AREA = 1128 SF  
 80% OF 1128 = 875.6 SF MAX  
 ACTUAL: 664 SF . CONFORMING

HALF STORY PERIMETER CALCULATIONS:  
 SECOND FLOOR PERIMETER = 148'-10" LF  
 ALLOWABLE: MAX 74'-5" W/ RAFTER BOTTOMS AT 3' OR GREATER (BASED ON 50% OF 148'-10" PERIMETER)  
 ACTUAL: 18'-9" + 18'-9" + 28'-0" = 65'-6" . CONFORMING

DORMER CALCULATIONS:  
 ROOF LENGTH = 38'-0"  
 ALLOWABLE: 28'-6" MAX PER SIDE (BASED ON 75% OF 38'-0")  
 ACTUAL: 28'-0" . CONFORMING



HATCH INDICATES EXTENT OF EXISTING AREA WITH CEILING HEIGHT OF 5' OR GREATER (SEE HALF STORY CALCS ON THIS SHEET).  
 664 sq ft



**MJL&SR**  
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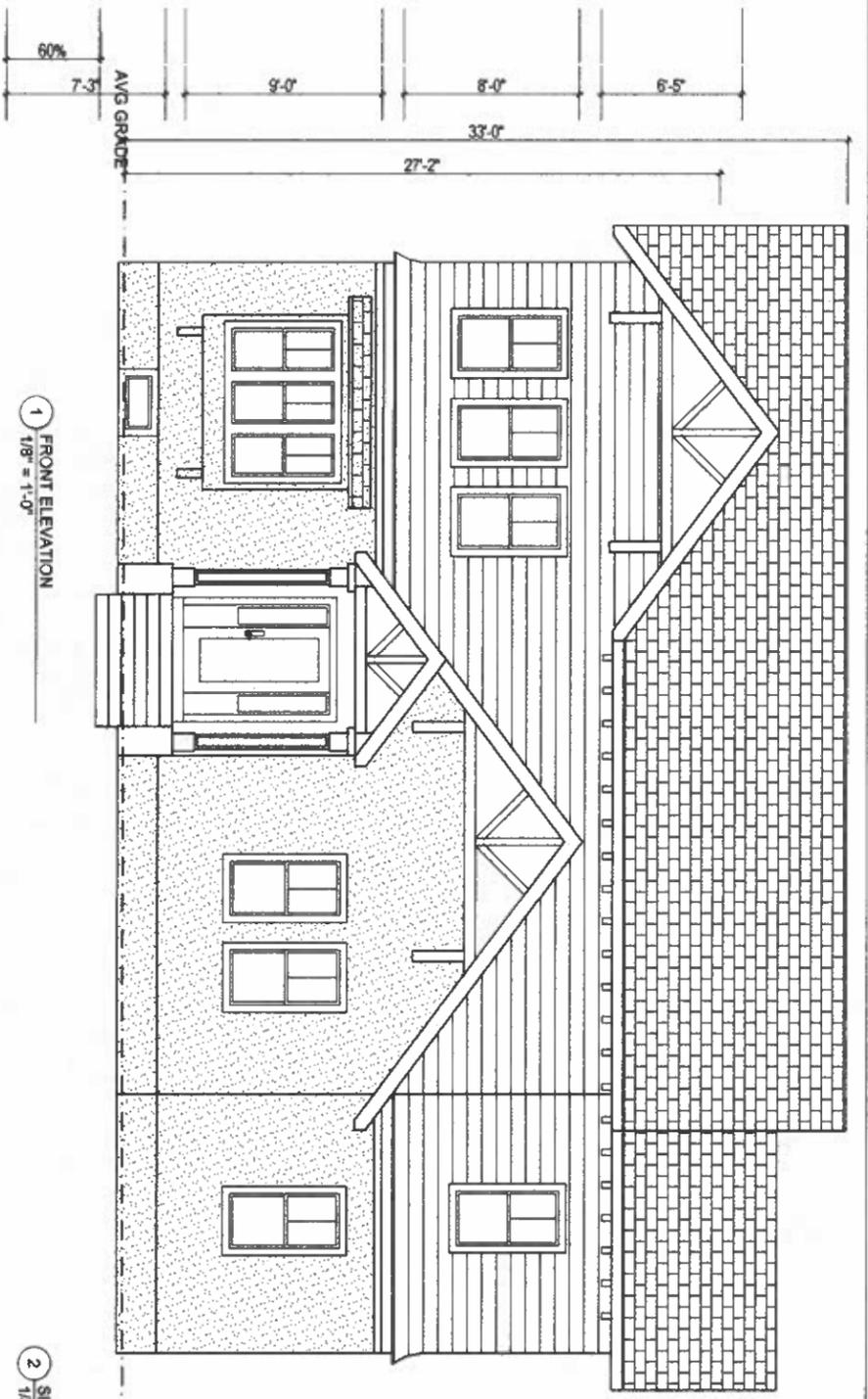


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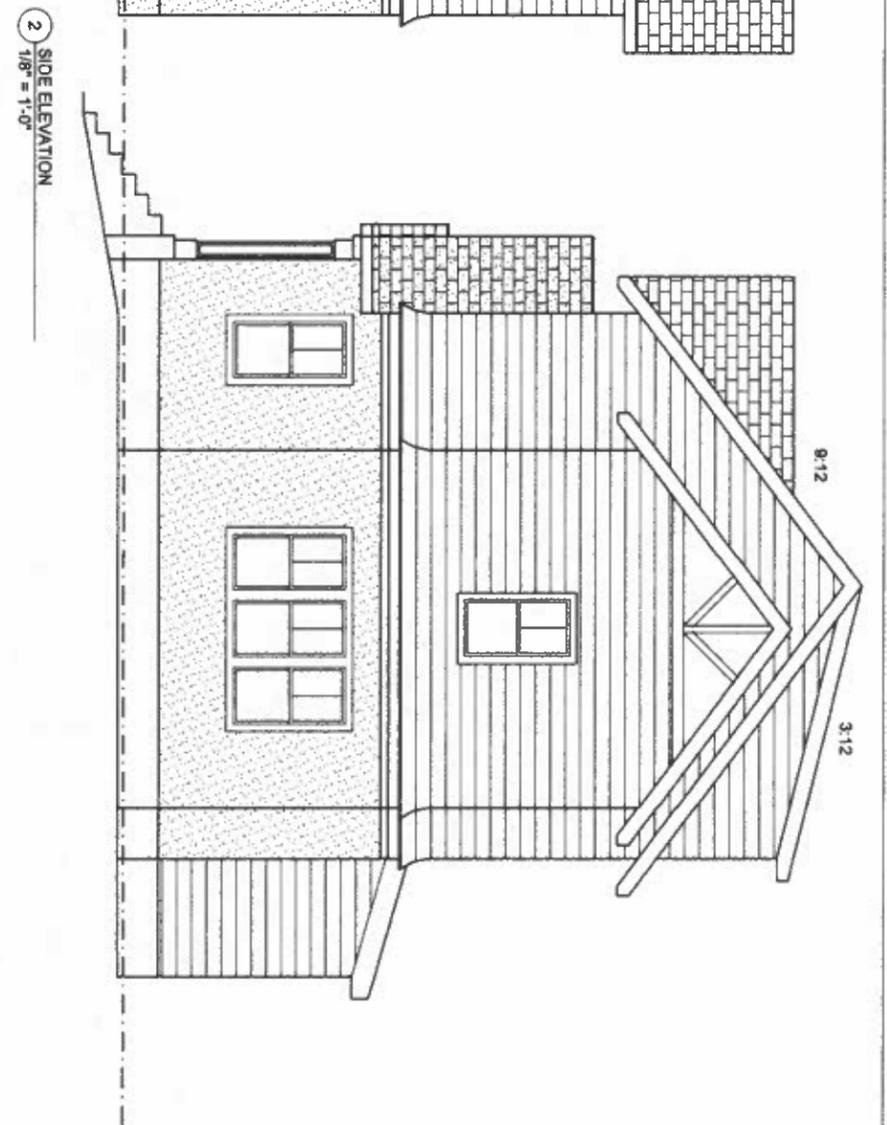
**NEW ATTIC  
 FLOOR PLAN**

Sheet Number:

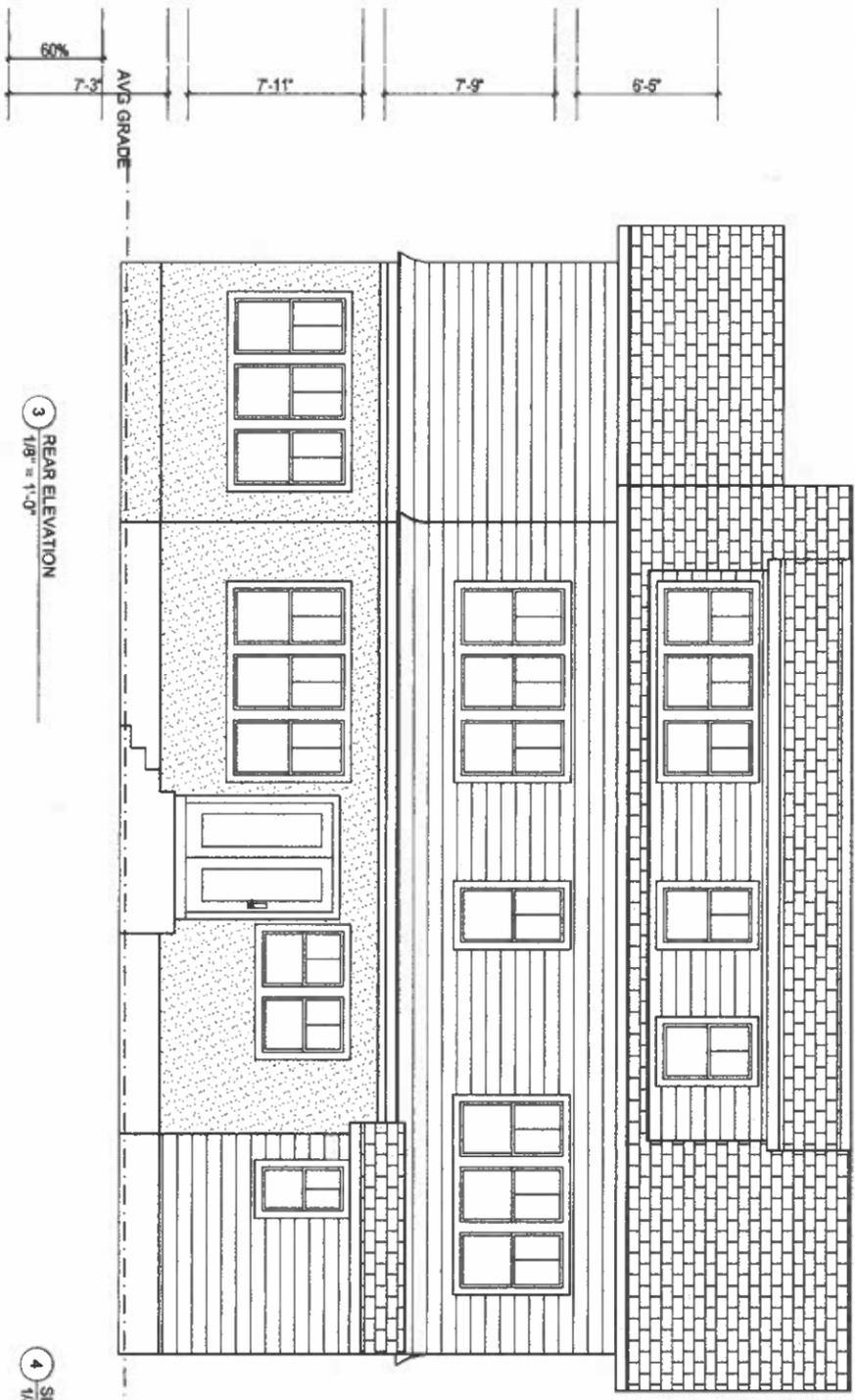
**A10**



1 FRONT ELEVATION  
1/8" = 1'-0"



2 SIDE ELEVATION  
1/8" = 1'-0"



3 REAR ELEVATION  
1/8" = 1'-0"



4 SIDE ELEVATION  
1/8" = 1'-0"



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**NEW ELEVATIONS**

Sheet Number:  
**A11**