

RECEIVED
TOWN CLERK
BELMONT, MA

CASE NO. 25-08

**NOTICE OF PUBLIC HEARING BY THE
BOARD OF APPEALS FOR THREE SPECIAL PERMITS**

2025 FEB 25 PM 1:14

Notice is hereby given that the Belmont Board of Appeals will hold a public hearing on Monday, April 7, 2025 at 7:00 PM by a hybrid public hearing at the Art Gallery on the third floor of the Homer Building, 19 Moore Street, and by remote access through the Zoom app. to consider the application of Hui Wang to enclose front porch and replace stairs at 3 Spinney Terrace, located in a Single Residence C zoning district. Special Permits: 1.- §4.2 of the Zoning By-Law Dimensional Regulations allow a maximum lot coverage of 25%, the existing lot coverage is 30.6% and proposed lot coverage is 30.7%. 2.- minimum required open space of 50%, the existing open space is 32.9% and proposed is 32.3%. 3.- Minimum required front setback of 9.7', the existing front setback is 7.0' and proposed front setback is 3.0'.

ZONING BOARD OF APPEALS



**OFFICE OF PLANNING & BUILDING
TOWN OF BELMONT**
19 Moore Street
Homer Municipal Building
Belmont, Massachusetts 02478-0900

Building Division
(617) 993-2664
Planning Division
(617) 993-2666

Telephone: (617) 993-2650

February 6, 2025

Hui Wang
3 Spinney Terrace
Belmont, MA 02478

RE: To Enclose Front Open Porch and Replace Stairs.

Dear Hui Wang,

The Office of Community Development is in receipt of your building permit application for your proposal to enclose an existing open front porch and replace the front stairs at 3 Spinney Terrace located in a Single Residence C zoning district.

Your application has been denied because it does not comply with the current Town of Belmont Zoning By-Law. More specifically, Section 4.2 of the Zoning By-Law Dimensional Regulations allow a maximum lot coverage of 25%, minimum open space of 50% and minimum front setback of 9.7'.

1. The existing lot coverage is 30.6% and proposed lot coverage is 30.7%.
2. The existing open space is 32.9% and proposed is 32.3%.
3. The existing front setback is 7.0' and proposed front setback is 3.0'.

You may alter your plans to conform to the current Town of Belmont Zoning By-Law and resubmit a building permit application, or you may request Three (3) Special Permits from the Zoning Board of Appeals. If you choose this option, please contact the Office of Planning and Building to schedule an appointment with Ara Yogurtian, Inspector of Buildings, at (617) 993-2650 in order to begin the process.

Sincerely,

Ara Yogurtian, CBO
Inspector of Buildings



Town of Belmont
Zoning Board of Appeals

APPLICATION FOR A SPECIAL PERMIT

Date: 2/3/2025

Zoning Board of Appeals
Homer Municipal Building
19 Moore Street
Belmont, MA 02478

To Whom It May Concern:

Pursuant to the provisions of Massachusetts General Laws, Chapter 40A, Section 9, as amended, and the Zoning By-Laws of the Town of Belmont, I/we the undersigned, being the owner(s) of a certain parcel of land (with the buildings thereon) situated on 3 Spinney Ter Street/Road, hereby apply to your Board for a **SPECIAL PERMIT** for the erection or alteration on said premises or the use thereof under the applicable Section of the Zoning By-Law of said Town for _____

enclosing front open porch &
Modify stair design

on the ground that the same will be in harmony with the general purpose and intent of said Zoning By-Law.

Signature of Petitioner Z Shi
Print Name Zhongdong Shi
Address 3 Spinney Ter
Belmont MA 02478
Daytime Telephone Number 347-981-3240

December 6, 2005

Statement Regarding Change of Staircase Design

Dear Board Members,

This is Zhongdong Shi and Hui Wang, residents of 3 Spinney Ter. We have submitted an application to enclose the front porch and replace the front stairs of our home. After careful consideration of current L-shaped staircase design, we would like to request a change to a straight-flight staircase. We believe this adjustment would better serve both the practical and aesthetic needs of the project. Below are the key reasons for this proposal:

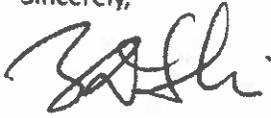
1. **Alignment and Access Issues:** The L-shaped staircase creates a misalignment between the front and the inner doors, disrupting the flow between spaces. This could be particularly challenging when moving long or bulky items in and out. In contrast, the straight-flight staircase not only aligns the front and inner doors but also provides a larger and more open landing area, making the movement of items easier and more efficient.
2. **Impact on Landscaping and Waterproofing:** The current design, which includes an L-shaped turn leading toward our garden bed, also poses a significant problem. This area houses the sump pump discharge line and outlet, and choosing this plan would likely require extensive rework of the landscaping and waterproofing systems. The changes would involve additional labor and materials, resulting in increased costs and potential disruption to the project timeline.
3. **Neighborhood Consistency and Aesthetic Harmony:** Upon further review, we observed that other homes on the street feature straight-flight staircases. By changing our staircase design from L-shaped to straight-flight, we aim to maintain consistency with the neighborhood's overall aesthetic and ensure our home seamlessly complements its surroundings.

Additionally, the straight-flight staircase will be constructed entirely within the existing paved walkway, ensuring that it will not extend beyond the current footprint of the landscaping. As such, the proposed change won't be more detrimental to the neighborhood than existing non-conforming structure, and will be in keeping with the character of the neighborhood.

For these reasons, transitioning to a straight-flight staircase design is the most practical solution, enhancing functionality, offering cost-effectiveness and preserving consistency with the neighborhood's aesthetic.

Thank you for your time and consideration!

Sincerely,

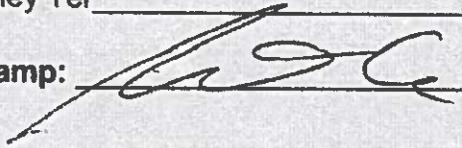


Zhongdong Shi

Zoning Compliance Check List

(Registered Land Surveyor)

Property Address: 3 Spinney Ter Zone: SRC

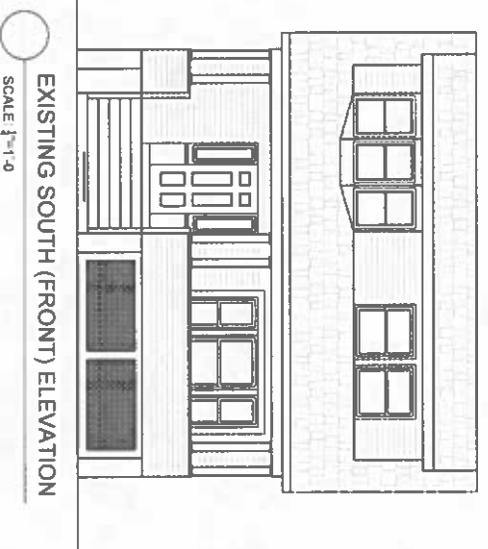
Surveyor Signature and Stamp:  Date: 12/09/24

	REQUIRED	EXISTING	PROPOSED
Lot Area (sq.ft)	9,000	4,088	4,088
Lot Frontage (feet)	75	58	58
Floor Area Ratio			
Lot Coverage	25%	30.6%	30.7%
Open Space	50%	32.9%	32.3%
Front Setback (feet)	9.7	7	3
Side Setback (feet)	10	15	15
Side Setback (feet)	10	13	13
Rear Setback (feet)	30	25	25
Building Height			
Stories			
½ Story Calculation			

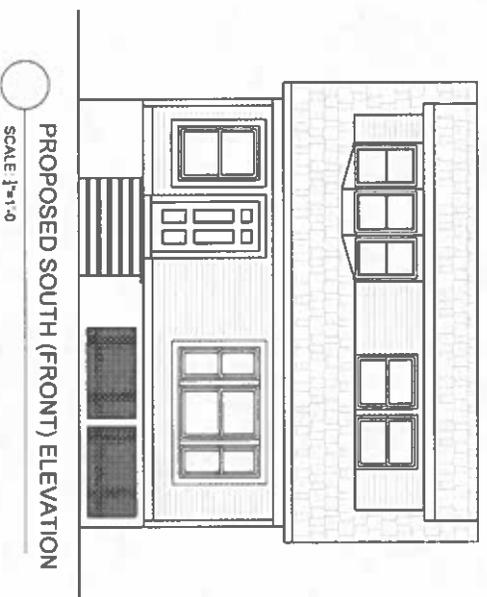
NOTES:



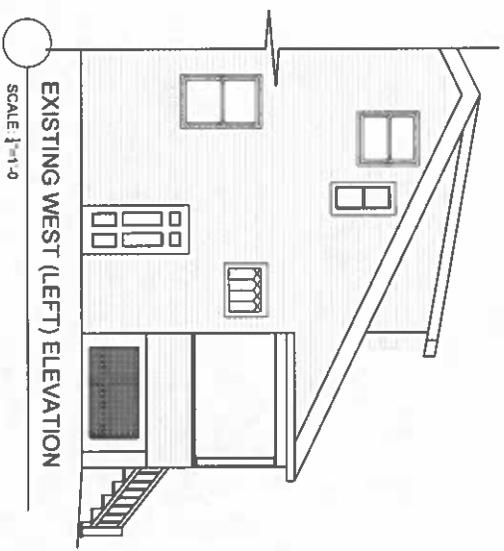
June 4, 2013



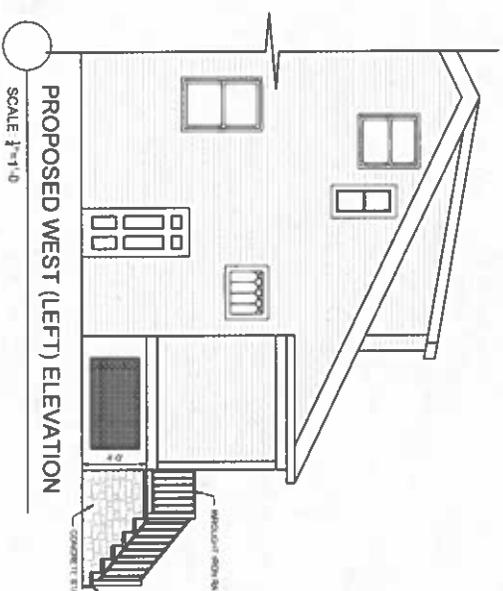
EXISTING SOUTH (FRONT) ELEVATION
SCALE 1/8"=1'-0"



PROPOSED SOUTH (FRONT) ELEVATION
SCALE 1/8"=1'-0"



EXISTING WEST (LEFT) ELEVATION
SCALE 1/8"=1'-0"



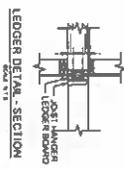
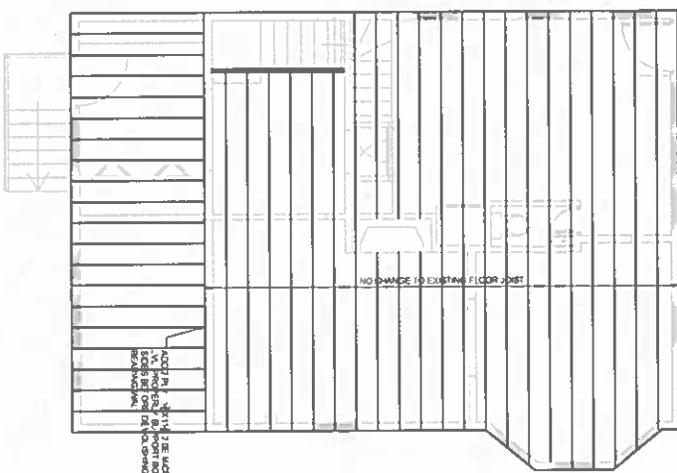
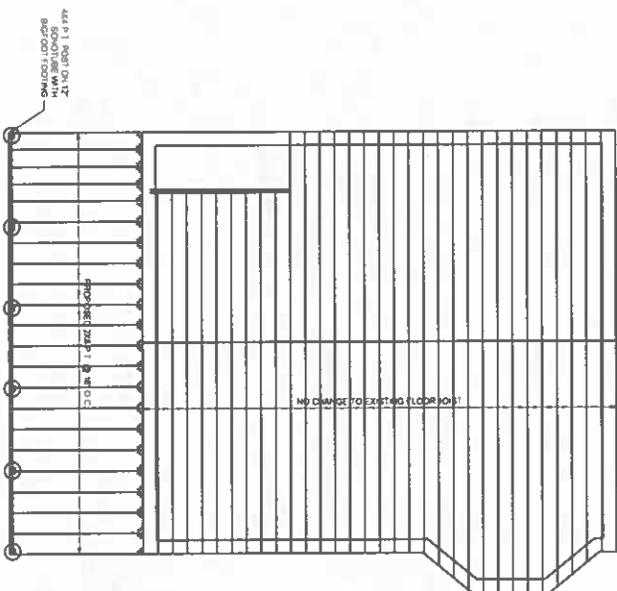
PROPOSED WEST (LEFT) ELEVATION
SCALE 1/8"=1'-0"

A-2

PROPOSED RENOVATION
3 SPINNEY TER. BELMONT, MA.



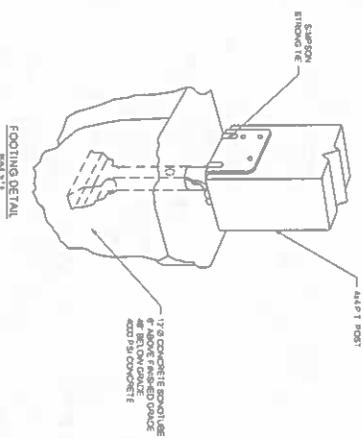
S & T Reson and Engineering, LLC
725 Park Center
Suite 200
560 Hancock St
Oxford, MA 01770



LEADER DETAIL - SECTION
SCAL N13



LEADER DETAIL - ELEVATION
SCAL N13



FOOTING DETAIL
SCAL N13

SCALE

S-2

PROPOSED RENOVATION
3 SPINNEY TER. BELMONT, MA.



ALAN J. E. CALKINS
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556 HUNCOCK ST
QUINCY MA 02170