

RECEIVED
TOWN CLERK
BELMONT, MA

CASE NO. 25-12

2025 MAR 11 AM 9:29

NOTICE OF PUBLIC HEARING BY THE
BOARD OF APPEALS FOR ONE SPECIAL PERMIT

Notice is hereby given that the Belmont Board of Appeals will hold a public hearing on Monday, April 7, 2025 at 7:00 PM by a hybrid public hearing at the Art Gallery on the third floor of the Homer Building, 19 Moore Street, and by remote access through the Zoom app. to consider the application of Caroline and Adam Hensley to construct an addition at 14 Linden Ave. located in a Single Residence C zoning district. Special Permit: §4.2 of the By-Law requires a minimum rear setback of 30.0', the existing rear setback is 27.1' and proposed side setback is 16.6'.

ZONING BOARD OF APPEALS



**OFFICE OF PLANNING & BUILDING
TOWN OF BELMONT
19 Moore Street
Homer Municipal Building
Belmont, Massachusetts 02178-0900**

Building Division
(617) 993-2664
Planning Division
(617) 993-2666

Telephone: (617) 993-2650

March 6, 2025

Caroline and Adam Hensley
14 Linden Ave.
Belmont MA 02478

RE: Construct an Addition

Dear Mr. and Mrs. Hensley:

The Office of Planning and Building is in receipt of your building permit application to construct an addition at 14 Linden Ave. located in a Single Residence C (SRC) Zoning District.

Your application has been denied because it does not comply with the current Town of Belmont Zoning By-Law. More specifically, §4.2 of the By-Law requires a minimum rear setback of 30.0'.

1. The existing rear setback is 27.1' and the proposed is 16.6'.

You may alter your plans to conform to the Zoning By-Law and resubmit for a building permit or you may request a Special Permit from the Zoning Board of Appeals. If you choose this option, please contact the Office of Planning and Building at (617)-993-2650 to schedule an appointment with Ara Yogurtian, Inspector of Buildings to begin the process.

Sincerely,

Ara Yogurtian C.E.O.
Inspector of Buildings



Town of Belmont
Zoning Board of Appeals

APPLICATION FOR A SPECIAL PERMIT

Date: 3/3/2025

Zoning Board of Appeals
Homer Municipal Building
19 Moore Street
Belmont, MA 02478

To Whom It May Concern:

Pursuant to the provisions of Massachusetts General Laws, Chapter 40A, Section 9, as amended, and the Zoning By-Laws of the Town of Belmont. I/we the undersigned, being the owner(s) of a certain parcel of land (with the buildings thereon) situated on 14 LINDEU AVE Street/Road, hereby apply to your Board for a **SPECIAL PERMIT** for the erection or alteration on said premises or the use thereof under the applicable Section of the Zoning By-Law of said Town for _____

SECOND FLOOR ADDITION

on the ground that the same will be in harmony with the general purpose and intent of said Zoning By-Law.

Signature of Petitioner *Caroline Heasley*

Print Name CAROLINE HEASLEY

Address 14 LINDEU AVE
BELMONT, MA 02478

Daytime Telephone Number 512-633-9391

December 6, 2005

Request for Special Permit Re: 14 Linden Ave

Submitted by
Caroline and Adam Hensley
Owner of
14 Linden Ave , Belmont MA 02478

We propose to add an expanded second floor to our home at 14 Linden Avenue in Belmont. The new space will include a new master bedroom, bathroom, and closet space. We would like to note that we have spoken with the neighbors and received verbal support for the project. We endeavored to create a design which is harmonious with the existing house, neighborhood and adjacent houses.

We have just purchased our single-family home and are proposing to expand it to accommodate our growing family having just had a child in the past few months. We also have relatives and friends that visit often, and we would like them to be comfortable when they stay with us. In addition, we have found that we need more quiet spaces for ongoing work changes that require space at home. We felt that expanding the second floor of our home would allow us the space needed without changing the character of the property.

We have worked with Keith Miller of Miller Design, a local Belmont architect to review options for creating the space we needed. We explored other schemes but felt that the addition of the expanded second floor in a mostly rear facing direction was the best way to retain the look and massing of our home and the vernacular of homes in the area. It also allowed us to retain the original brick façade of the house. We have included drawings of the existing front and back of the house in our submission along with pictures of the rear yard neighbors who have similar back yard conditions.

The original building permit application was declined because our proposed addition in the Single Residence C zoning district is 26' from the rear property line. It is important to note that the existing rear yard setback at this location is skewed due to the irregular shape of the lot with one side at 65' and the other at 124' creating a rear setback requirement of 28.48' making much of the back of the existing home non-conforming. It is also important to note that we are only going up with a partial second floor at this location and not otherwise increasing the nonconformity. Due to the size and shape of the neighborhood block many of our neighbors have the same condition. We are asking the Zoning Board of Appeals to grant us a special permit allowing us to build this addition to our home. It is our belief that the proposed addition is in keeping with the character of the neighborhood and not detrimental to the community.

42 WILLOW STREET



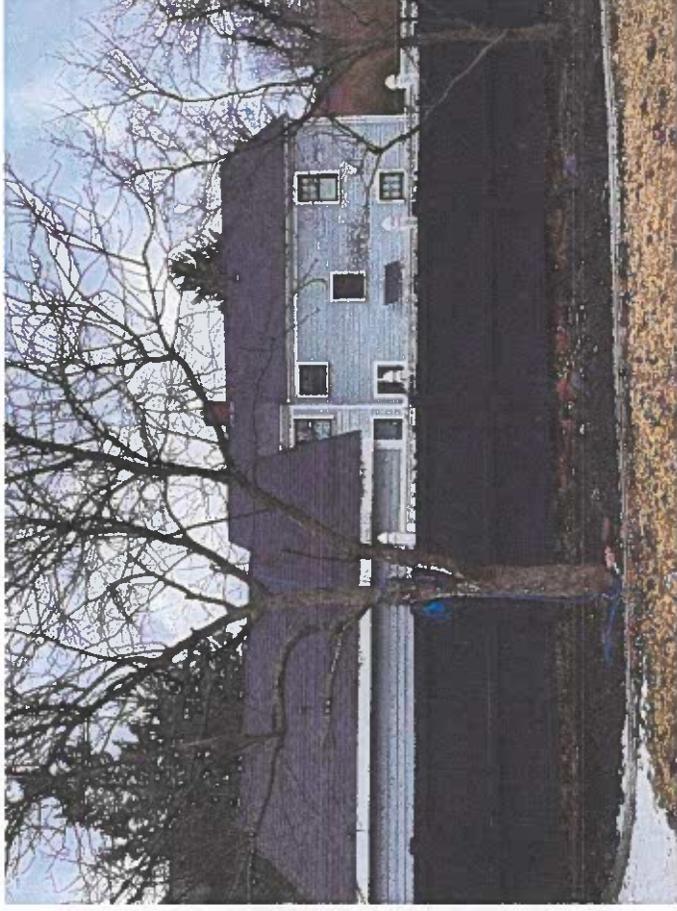
REAR YARD NEIGHBOR

32 LINDEN AVE



REAR YARD NEIGHBOR

31 CUSHING AVE



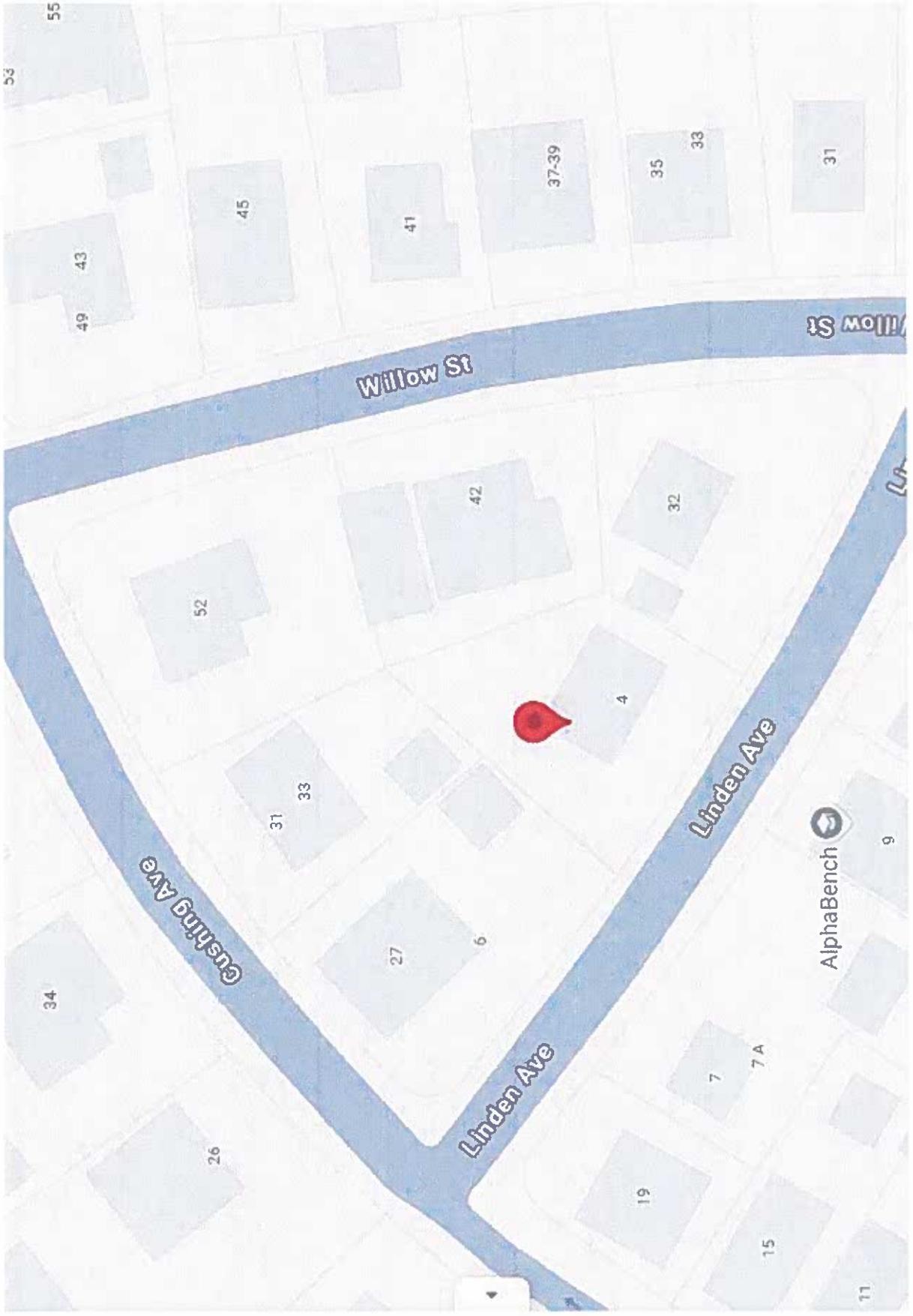
REAR YARD NEIGHBOR

52 CUSHING AVE



REAR YARD NEIGHBOR

14 LINDEN AVENUE



Zoning Compliance Check List (Registered Land Surveyor)

Property Address: 14 Linden Avenue
 Surveyor Signature and Stamp: _____

Zone: SRC
 Date: _____

	REQUIRED	EXISTING	PROPOSED
Lot Area	9,000 S.F.	8,187 S.F.	8,187 S.F.
Lot Frontage	75'	95.16'	95.16'
Floor Area Ratio	N/A	N/A	N/A
Lot Coverage	25%	18.2%	18.5%
Open Space	50%	68.2%	67.8%
Front Setback	23.0'	25.7'	20.7'
Side Setback	10'	28.5'	28.4'
Side Setback	10'	8.3'	25.8
Rear Setback	28.48'	16.6'	26.0'
Building Height	30'	28.9'	28.9'
Stories	2-1/2	2-1/2	2-1/2
1/2 Story Calculation See Calculation Sheets			

NOTES:

Douglas L. Johnston
 2/26/25

DLJ Geomatics
276 North Street
Weymouth, MA 02191
landsurv23@gmail.com
781-812-0457

14 Linden Avenue
Belmont, MA 02478

There are seven segments of foundation walls. They are 6.90' tall.

SEGMENT	LENGTH	TOTAL FACE	BELOW GRADE
A	32.8'	226.32 S.F.	176.14 S.F.
B	28.5'	196.65 S.F.	156.47 S.F.
C	19.4'	133.86 S.F.	109.22 S.F.
D	23.3'	160.77 S.F.	120.23 S.F.
E	21.3'	146.97 S.F.	99.68 S.F.
F	10.0'	69.00 S.F.	50.60 S.F.
G	9.4'	64.86 S.F.	50.67 S.F.
TOTALS		998.43 S.F.	763.01 S.F.

$763.01/998.43 = .7642$

The foundation walls are 76.42% below grade.



14 BELMONT NOV

SEG "A"

32.8 TOTAL FACE
x 6.90 OF WALL

226.32

104.58
32.8 BELOW
x 5.37 GRADE

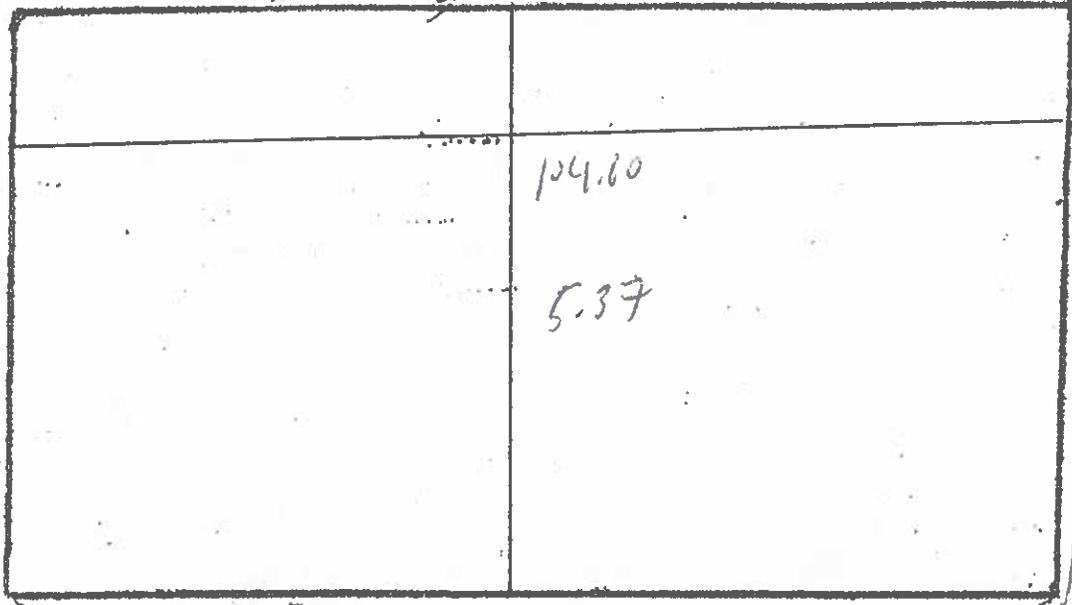
176.14

176.14

226.32 = 77.83

77.83%
BELOW GRADE

CEILING = 106.13



FLOOR = 99.23
32.8

SEG "B"

28.5 TOTAL FACE OF WALL
x 6.90

196.65

104.61
28.5 BELOW GRADE
x 5.49

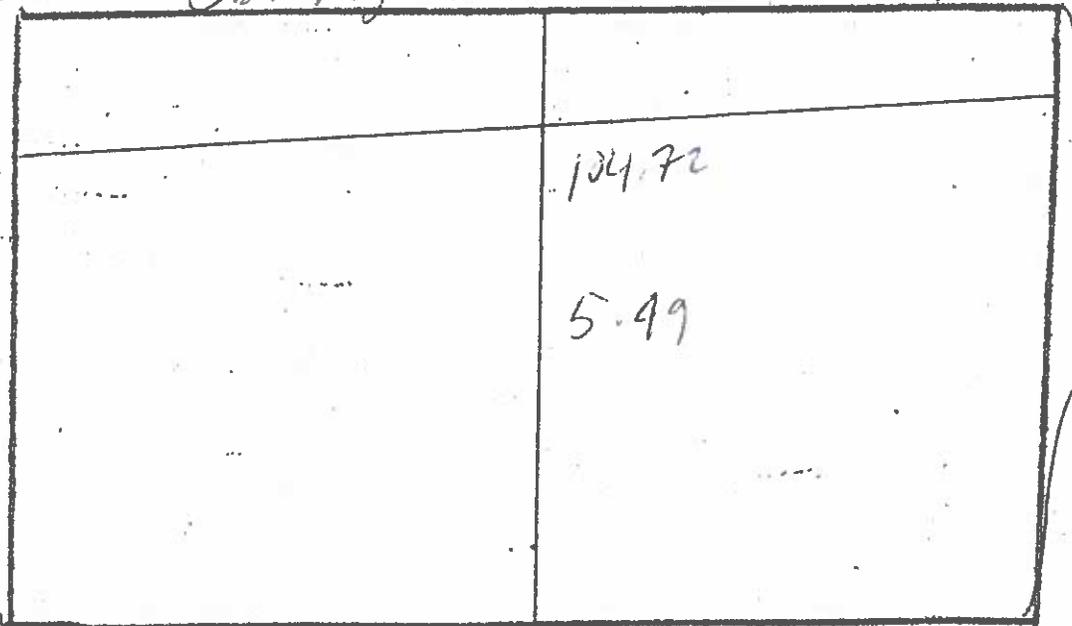
156.47

156.47

196.65 = 79.57

79.57%
BELOW GRADE

CEILING = 106.13



FLOOR = 99.23
28.5

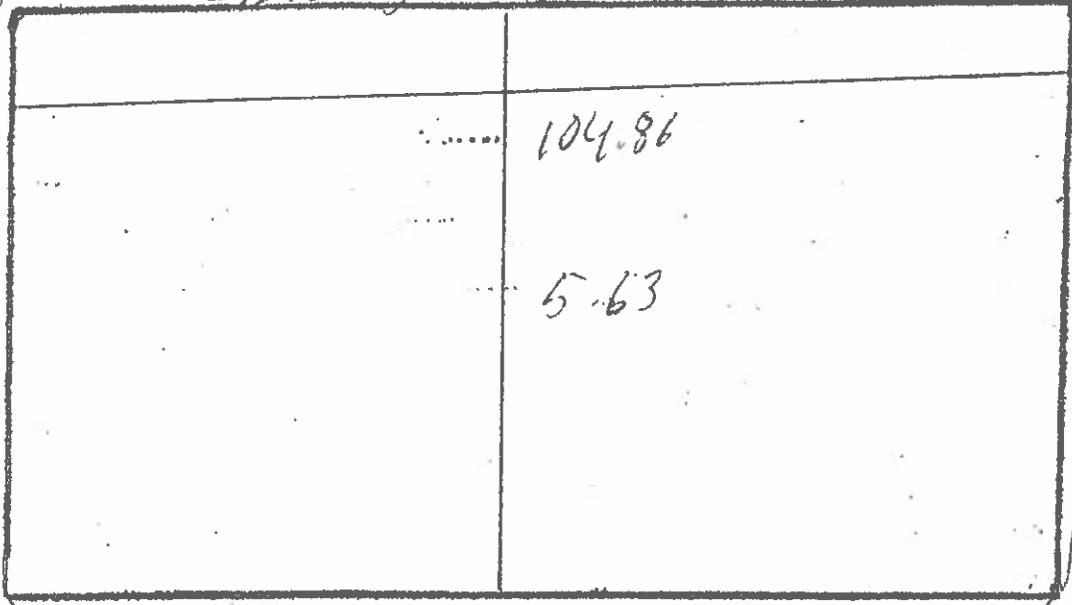
17. ...
BREMONT

SEG "C"

19.4
x 6.90
133.86
104.83

TOTAL
FACE OF
WALL

CEILING = 106.13



19.4 ... BELOW
x 5.63 ... grade
109.22

109.22
133.86 = 81.59

81.59%
BELOW grade

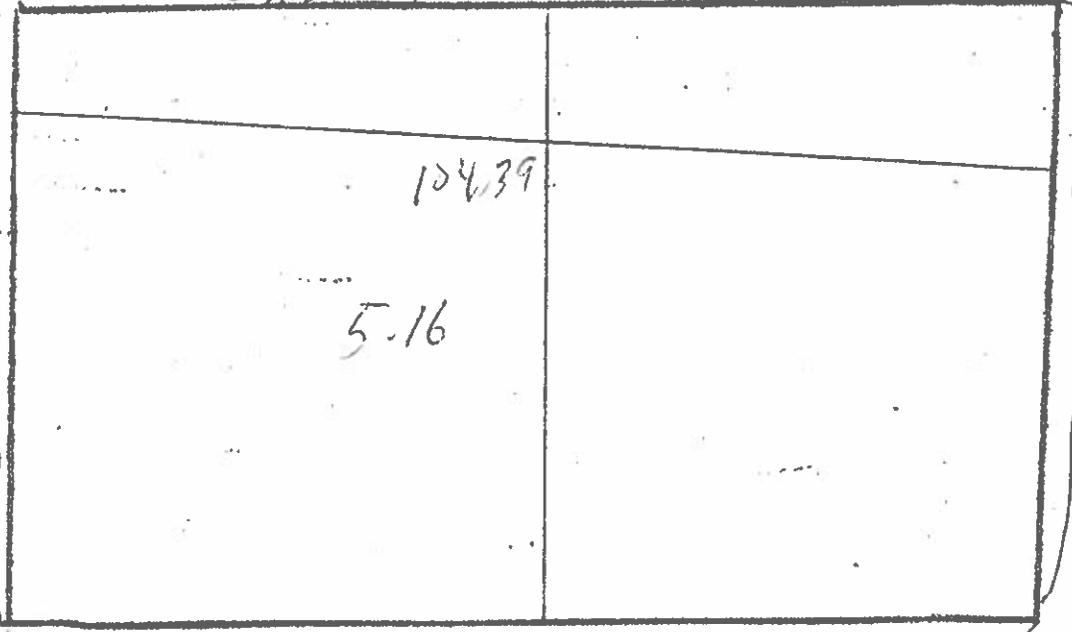
FLOOR = 99.23
19.4

SEG "D"

23.3
x 6.90
160.77
104.83

TOTAL
FACE OF
WALL

CEILING = 106.13

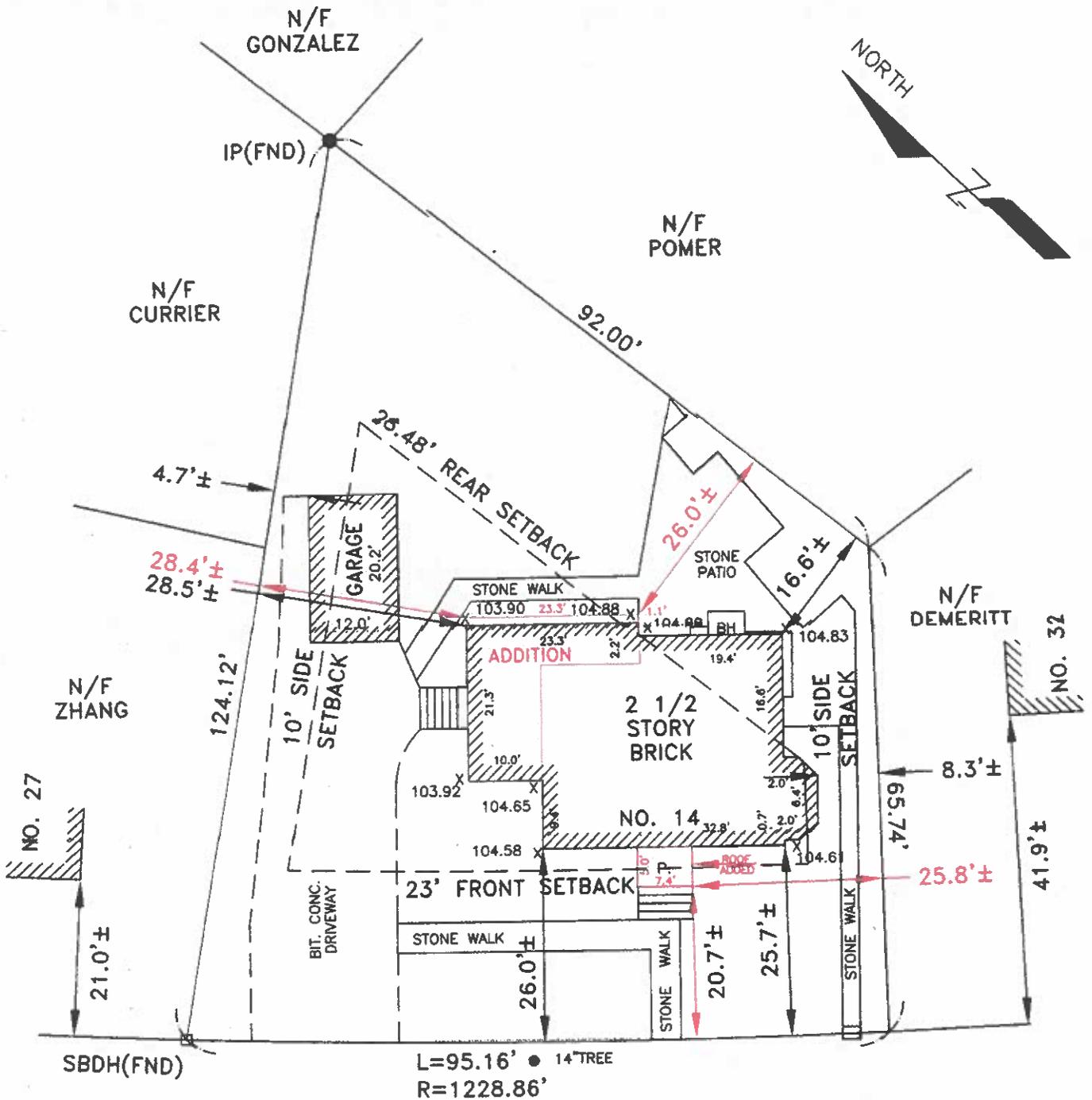


23.3 ... BELOW
x 5.16 ... grade
120.23

120.23
160.77 = 74.79

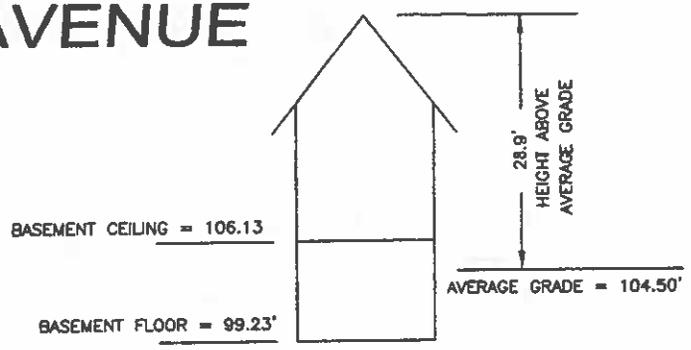
74.79%
BELOW grade

FLOOR = 99.23
23.3



LINDEN AVENUE

LOT AREA = 8,187 S.F.±
 EXISTING BUILDING = 1,247 S.F.±
 EXISTING GARAGE = 242 S.F.±
 EXISTING PAVEMENT = 1,120 S.F.±
 NET PROPOSED ADDITION = 26 S.F.±
 EXISTING LOT COVERAGE = 18.2%
 PROPOSED LOT COVERAGE = 18.5%
 EXISTING OPEN SPACE = 68.2%
 PROPOSED OPEN SPACE = 67.8%



NOTES

- SEE DEED RECORDED IN MIDDLESEX COUNTY REGISTRY OF DEEDS IN DEED BOOK 82969, PAGE 418.
- SEE PLAN RECORDED IN MIDDLESEX COUNTY REGISTRY OF DEEDS IN DEED BOOK 2943, END.
- SUBJECT PARCEL IS LOCATED IN ZONE SRC.
- SUBJECT PARCEL IS LOCATED IN FLOOD ZONE X AS SHOWN ON PANEL 25017C0418E WITH AN EFFECTIVE DATE OF JUNE 4, 2010.
- ONE PUBLIC SHADE TREE IS LOCATED WITHIN THE LIMITS OF THE PROPERTY FRONTAGE OF THE SUBJECT PROPERTY.
- FRONT SETBACK: $25.0 + 21.0 = 46.0$; $46.0 / 2 = 23.0$;
FRONT SETBACK = 23.0'.

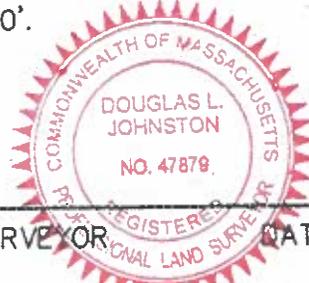


(IN FEET)
1 inch = 20 ft.

CERTIFIED PLOT PLAN
IN
BELMONT, MA

SCALE: 1" = 20' FEBRUARY 25, 2025

DLJ GEOMATICS
 PROFESSIONAL LAND SURVEYING
 276 NORTH STREET
 WEYMOUTH, MA 02191
 (781) 812-0457
 14 LINDEN AVE BELMONT.dwg



 [Signature] 2/26/25
 PROFESSIONAL LAND SURVEYOR DATE