

**GENERAL NOTES:**

- COORDINATE AND BE RESPONSIBLE FOR THE PROTECTION OF PERSONS AND PROPERTY FOR THE DURATION OF CONSTRUCTION AS REQUIRED BY AGENCIES AND AUTHORITIES HAVING JURISDICTION.
- DO NOT DAMAGE BUILDING ELEMENTS AND IMPROVEMENTS INDICATED TO REMAIN.
- DO NOT INTERFERE UTILITIES WITHOUT THE WRITTEN PERMISSION OF THE OWNER.
- REMOVE SALVAGE AND DEBRIS FROM THE SITE AS IT ACCUMULATES. DO NOT STORE STEEL, BRUN OR OTHERWASE DISPOSE OF THE DEBRIS ON THE SITE. KEEP ALL PAVEMENTS AND AREAS ADJACENT TO AND LEADING FROM THE SITE CLEAN AND FREE OF MUD, DIRT AND DEBRIS AT ALL TIMES. ALL MATERIALS SHALL BE DISPOSED OF IN A LEGAL MANNER.
- SORT DEBRIS FOR RECYCLING TO THE EXTENT POSSIBLE. REMOVE OR ARRANGE FOR THE TRANSPORT OF SORTED MATERIALS SCHEDULED TO BE RECYCLED TO APPROPRIATE OFF-SITE FACILITIES EQUIPPED FOR THE RECYCLING OF SPECIFIC MATERIALS. PROVIDE CONTAINERIZED DUMPSTERS FOR THE SORTING OF CHAD WASTES.
- CEASE OPERATIONS IF PUBLIC SAFETY OR REMAINING STRUCTURES ARE ENDANGERED. PERFORM TEMPORARILY CORRECTIVE MEASURES UNTIL OPERATIONS CAN BE CONTINUED PROPERLY.
- ALL INTERIOR DIMENSIONS ARE FROM FACE OF GMB TO FACE OF GMB UNLESS SPECIFICALLY NOTED OTHERWISE. DO NOT SCALE DRAWINGS.
- CONTRACTOR TO COORDINATE THE LOCATION OF ELECTRICAL OUTLETS TO MEET CODE.
- CONTRACTOR TO UPGRADE ELECTRICAL PANEL AS NEEDED TO ACCOMMODATE NEW ADDITION.
- PAIN AND/OR STAIN ALL EXTERIOR SIDING, DOORS, WINDOWS, AND TRIM AND INTERIOR SURFACES PER OWNERS DIRECTION.
- ALL PLUMBING AND LIGHTING FIXTURES TO BE FURNISHED BY OWNER. INSTALLED BY CONTRACTOR.
- CONTRACTOR TO INSTALL AND COORDINATE ALL HVAC EXTENSIONS AND RENOVATIONS INTO NEW SPACE AS REQUIRED.

- GENERAL CONDITIONS**
- G. MUST BUILD EXACTLY WHAT IS SHOWN ON FRAMING PLANS. ANY PROPOSED DEPARTURES FROM WHAT IS INDICATED MUST BE REVIEWED WITH THE ARCHITECT PRIOR TO CONSTRUCTION. ALL UNAPPROVED CHANGES TO THE APPROVED DRAWINGS MUST BE REMOVED AND REPLACED AT THE CONTRACTORS EXPENSE.
  - DESIGN IS DERIVED FROM ASSUMED FIELD CONDITIONS. ANY DISCREPANCIES BETWEEN WHAT IS SHOWN ON OUR DOCUMENTS AND WHAT IS FOUND IN THE FIELD MAY CHANGE THE STRUCTURAL DESIGN AND MUST IMMEDIATELY BE BROUGHT TO THE ARCHITECTS ATTENTION PRIOR TO ANY CONSTRUCTION.
  - THE CONTRACTOR SHALL CAREFULLY VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN ON DRAWINGS PRIOR TO COMMENCEMENT OF THE WORK, AND SHALL NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES BETWEEN DOCUMENTS.
  - THE CONTRACTOR IS RESPONSIBLE FOR ALL MEANS AND METHODS OF TEMPORARY SHORING, BRACING, OR OTHERWISE PROTECTING ANY PORTION OF THE STRUCTURE, SITE AND UTILITIES FROM DAMAGE DURING CONSTRUCTION. THE ARCHITECT IS SPECIFYING THE FINISHED CONDITION ONLY, WITHOUT ASSUMING KNOWLEDGE NOR RESPONSIBILITY FOR HOW THE CONTRACTOR WILL ACHIEVE THIS RESULT.
  - FOR EXACT LOCATIONS OF FLOOR AND ROOF OPENINGS, POSTS, ETC. SEE ARCHITECTURAL DRAWINGS.

- FOUNDATIONS**
- EXCAVATE TO LINES AND GRADES REQUIRED TO PROPERLY INSTALL THE FOUNDATIONS ON INORGANIC, UNDISTURBED SOIL, OR CONTROLLED STRUCTURAL BACKFILL, AS REQUIRED BY THE ARCHITECT. ALL EXCAVATIONS SHALL BE DRY BEFORE PLACING ANY CONCRETE.
  - EXTERIOR FOOTINGS SHALL BE PLACED ON APPROVED SOIL AT A MINIMUM DEPTH OF 4 FEET, OR AS MODIFIED BY THE STRUCTURAL ENGINEER, BELOW THE LOWEST ADJACENT GROUND EXPOSED TO FREEZING. ANY ADJUSTMENT OF FOOTING ELEVATIONS DUE TO FIELD CONDITIONS MUST HAVE THE APPROVAL OF THE ARCHITECT.
  - SOIL BEARING CAPACITY: FOOTINGS MUST BE PLACED ON SOIL WITH A MINIMUM BEARING CAPACITY OF 4000 POUNDS PER SQUARE FOOT.
  - BACKFILL BELOW FOOTINGS AND SLABS SHALL BE MADE WITH APPROVED GRANULAR MATERIALS PLACED IN 8" LAYERS. LAYERS SHALL BE COMPACTED TO 98% DENSITY AT OPTIMUM MOISTURE CONTENT, AS DETERMINED BY ASTM D1557, METHOD D.
  - BACKFILLING AGAINST WALLS OR PIERS MAY ONLY BE DONE AFTER WALLS OR PIERS ARE BRACED TO PREVENT MOVEMENT. FOR WOOD FRAMED RESIDENTIAL CONSTRUCTION, NO BACKFILLING OF WALLS MAY TAKE PLACE UNTIL THE FIRST FLOOR DECK HAS BEEN FRAMED AND SHEATHED. UNLESS WRITTEN APPROVAL IS GIVEN BY THE ARCHITECT OR ENGINEER.
  - PROVIDE FOUNDATION DRAINAGE, WATERPROOFING/DAMP-PROOFING, AND FOUNDATION WALL INSULATION AS INDICATED ON THE ARCHITECTURAL DRAWINGS.
  - PROVIDE METAL OR PVC SLEEVES IN THE FOUNDATION WALLS FOR SEWER, GAS, ELECTRIC, AND WATER LINES, AS REQUIRED.

**ICVENE**

CONTRACTOR TO SPRAY APPLY ICVENE INSULATION FORMULA, APPLIED TO A THICKNESS ADEQUATE TO ACHIEVE SPECIFIED R VALUES. ALL FOUNDATION SILL PLATES AND FLOOR WALL JOINTION PLATES TO BE CALKED TO AVOID AIR LEAKAGE. ALL ROUGH OPENINGS FOR EXTERIOR DOORS AND WINDOWS TO BE SIZED TO FURNISH A MINIMUM 1/2" SPACE AROUND THE PERIMETER OF FRAME TO PERMIT INSTALLATION OF FOAM INSULATION. ALL JOINTS BETWEEN EXTERIOR FRAMING MEMBERS TO BE CALKED AND TO THE LOWER TOP PLATES OF EXTERIOR WALLS. ROOF ASSEMBLY TO BE NON-VENTILATED (NO SOFFIT OR RIDGE VENTS) PER MFG SPECS FOR ICVENE INSULATION SYSTEM. BUILDING TO BE MECHANICALLY VENTED. ALL VERTICAL WIRING FOR ELECTRIC, CABLE, TELEPHONE, SECURITY, ETC. SHALL BE SECURED TO THE INSIDE OF STUDS EVERY 3'-0" AND 1/2" FROM THE GMB SURFACE FOR ALL RUNS. CALKING OUTLETS SHALL BE INSTALLED USING VAPOR BARRIER PANS/BOXES WHICH ARE CALKED WITH ACOUSTICAL CALKING MATERIAL PRIOR TO THE INSTALLATION OF THE ATTO INSULATION.

**ROUGH CARPENTRY**

- ALL ROUGH CARPENTRY WORK SHALL BE EXECUTED IN CONFORMANCE WITH THE AMERICAN INSTITUTE OF TIMBER CONSTRUCTION TIMBER CONSTRUCTION STANDARDS - ATC 100.
- WHEN NOT OTHERWISE IDENTIFIED, ALL WOOD BEAMS, JOISTS, RAFTERS, HEADERS, STRINGERS, PLATES AND SILS SHALL BE SPRUCE PINE FIR #2 OR BETTER WITH A MINIMUM Fb = 875 PSI (SINGLE USE) AND Fv = 1000 PSI (REPETITIVE USE), AND E SHALL BE 1,400,000 PSI OR BETTER.
- WOOD STUDS MAY BE EASTERN HEMLOCK, EASTERN SPRUCE, OR HEM-FIR, GRADED "STD" GRADE #2 OR BETTER.
- LVL BEAMS, AS NOTED ON PLANS, SHALL HAVE A MINIMUM Fb = 3090 PSI, E = 2,000,000 PSI, AND Fv = 285 PSI. LVL BEAMS SHALL BE "VERSALUM" BY BOISE CASCADE. NO SUBSTITUTIONS WILL BE ACCEPTED UNLESS THE ENGINEER SPECIFICALLY APPROVES ANOTHER PRODUCT SUBMITTED BY THE CONTRACTOR.
- WOOD "T" BEAMS SHALL BE "TOP" BY BOISE CASCADE. NO SUBSTITUTIONS WILL BE ACCEPTED UNLESS THE ENGINEER SPECIFICALLY APPROVES ANOTHER PRODUCT SUBMITTED BY THE CONTRACTOR. MANUFACTURERS RECOMMENDATIONS FOR BEARING, BRACING, AND FASTENING SHALL BE STRICTLY ADHERED TO.
- PLYWOOD SHEATHING, ROOF SHEATHING AND SHEATHING SHALL BE APA GRADE TRUSAPLUMBER-CALIBRATED EXTERIOR GLUE LAMINATED SHEATHING SHALL BE 3/4" THICK TONGUE AND GROOVE. AND SHALL BE CUT TO FIT JOISTS WITH AN APPROVED ADHESIVE PRIOR TO NAILING. ROOF SHEATHING SHALL BE 3/8" THICK WHEN SUPPORTS ARE SPACED AT 18" CENTERS. FOR 24" CENTERS, SHEATHING SHALL BE 5/8" THICK. WALL SHEATHING SHALL BE 1/2" THICK.
- ALL WOOD FRAMING DIRECT CONTACT WITH CONCRETE OR MASONRY, AND WHEREVER WOOD IS WITHIN 8" OF FINISHED GRADE OR PART OF OPEN DECK CONSTRUCTION SHALL BE PRESSURE TREATED. BEAM ENDS IN CONCRETE BEAM POCKETS SHALL BE WRAPPED IN A SELF-ADHERING RUBBER MEMBRANE.
- JOIST AND BEAM HANGERS SHALL BE BY SIMPSON STRONG-TIE CORP. THE CONTRACTOR SHALL STRICTLY ADHERE TO MANUFACTURERS FASTENING REQUIREMENTS.
- UNLESS DETAILED OR SPECIFIED OTHERWISE, PROVIDE AT LEAST TWO JACK STUDS BENEATH ENDS OF 2X12, LVL, AND PARALLEL HEADERS AND BEAMS, WHERE POSTS ARE CALLED OUT AS MULTIPLE 2X6, SUCH AS 2-2X6, 3-2X6, 4-2X6, ETC. ONE 2X SHALL BE POSITIONED AS A KING STUD AND THE BALANCE SHALL BE JACK STUDS.
- FOR WOOD JOIST SPANS UP TO 14 FEET, PROVIDE A SINGLE ROW OF FULL DEPTH BLOCKING WITH JOISTS AT MIDSPAN. FOR SPANS EXCEEDING 14 FEET, PROVIDE TWO ROWS OF FULL DEPTH BLOCKING BETWEEN JOISTS AT THIRD POINTS OF THE SPAN.
- GABLE-END WALL STUDS IN CATHEDRAL, PARTIAL CATHEDRAL, OR HIGH CEILING SPACES SHALL SPAN UNINTERRUPTED FROM THE FLOOR PLATE TO THE UNDERSIDE OF THE ROOF RAFTERS. THEY SHOULD NOT BE INTERRUPTED BY ANY HORIZONTAL PLATES OR BEAMS, UNLESS NOTED OTHERWISE ON THE DRAWINGS.
- MEMBERS WITHIN BUILT-UP BEAMS, WHETHER MADE OF SAWN OR ENGINEERED LUMBER, SHALL ONLY BE SPLICED OVER SUPPORTS.
- PROVIDE SIMPSON H1 OR H2.5 HURRICANE TIES BETWEEN EACH RAFTER BOTTOM AND ITS BEARING POST.
- UNLESS ANOTHER CONNECTOR IS CALLED OUT, PROVIDE ONE SIMPSON A34 FRAMING ANCHOR AT EACH RAFTER/RIDGE BEAM INTERSECTION, AND TWO WHEN RAFTERS ARE DOUBLED OR TRIPLED (ONE EACH SIDE).
- CONTRACTOR SHALL CAREFULLY COORDINATE THE WORK OF ALL TRADES TO MINIMIZE THE NEED FOR CUTS AND BORE HOLES IN FRAMING LUMBER. IN GIRDERS, BEAMS, OR JOISTS, CUTS AND BORE HOLES SHALL NOT BE DEEPER THAN 1/3 THE MEMBER DEPTH NOR MORE THAN 2" IN DIAMETER, AND SHALL NOT BE LOCATED NEARER TO THE END OF THE SPAN THAN THREE TIMES THE MEMBER DEPTH NOR WITHIN THE CENTER THIRD OF THE SPAN UNLESS REINFORCED TO MEET STRESS CALCULATIONS.
- AT WOOD POSTS LANDING ON FLOOR DECK, PROVIDE SOLID VERTICAL WOOD BLOCKING WITHIN DECK SANDWICH TO LINK UPPER POST WITH LOWER SUPPORT.
- SET LVL BEAMS THAT FRAME FLUSH WITH DIMENSIONED LUMBER JOISTS 3/8" BELOW THE TOP OF JOISTS TO ALLOW FOR JOIST SHRINKAGE. WHERE BEARING WALLS OR POSTS LAND ON THESE BEAMS, INFILL GAP WITH 3/8" PLYWOOD FOR SOLID BEARING.
- RAFTERS TO BE CONNECTED TO HIP AND WALL BY MEMBERS WITH A MINIMUM OF 6-184 ESP (UNLESS NOTED OTHERWISE ON PLAN).
- ALL RAFTERS TO LVL RIDGE CONNECTIONS TO BE MADE WITH A MINIMUM OF 6-184 TOWALS EGP AND A SINGLE A34 SIMPSON ANGLE WHERE INDICATED ON PLAN.
- VALLEYS AND HIPS TO BE CONNECTED TO SUPPORTING ELEMENTS WITH A MIN OF 6-184, UNLESS NOTED OTHERWISE ON PLAN.
- ROOF SHEATHING TO EXTEND FULLY UNDER OVER-FRAMED AREAS.
- POST IDENTIFICATION AT HEADERS AS FOLLOWS:  
POST DN AT END OF SPAN) - UNLESS NOTED OTHERWISE, PROVIDE SINGLE JACK STUD & SINGLE KING STUD, IF THREE OR MORE STUDS ARE CALLED OUT, ONE OF THEM IS A KING POST UP & DN - SOLID VERTICAL BLOCKING THRU FLOOR REQUIRED
- HEADERS ARE AS FOLLOWS UNLESS NOTED OTHERWISE.
- ALL 2X6S USED AS RAFTERS, BEAMS, JOISTS TO BE STRUCTURAL #1 OR #2 NOT STD GRADE.
- ALL CONNECTING ELEMENTS, JOIST HANGERS, CAP PLATES, ETC BY SIMPSON.
- CONCRETE
- ALL CONCRETE WORK SHALL BE PERFORMED IN CONFORMANCE WITH THE LATEST EDITION OF ACI-318, BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE.
- CONCRETE SHALL ACHIEVE A MINIMUM 28 DAY DESIGN STRENGTH AS FOLLOWS:  
FOOTINGS, WALLS, INTERIOR SLABS-ON-GRADE AND OTHER CONCRETE NOT OTHERWISE SPECIFIED - 3000 PSI. EXTERIOR SLABS EXPOSED TO WEATHER - 4000 PSI.
- SUMP AT THE POINT OF DISCHARGE FROM THE READY-MIX TRUCK SHALL BE 3-5" REINFORCING STEEL. TYPICAL - ASTM A615, GRADE 60. FIELD BENT - ASTM A615, GRADE 40. WELDED WIRE FABRIC - ASTM A185.
- NON-SHRINK GROUT SHALL BE "EMBERCO 157" BY MASTER BUILDERS.
- CONTRACTOR SHALL SUBMIT A CONCRETE MIX DESIGN TO THE OWNER FOR APPROVAL AT LEAST TWO WEEKS PRIOR TO THE FIRST PLACEMENT.
- INSPECTION AND APPROVAL BY THE OWNER OR THEIR REPRESENTATIVE SHALL BE REQUIRED TO VERIFY THE QUALITY CONTROL MATERIALS AND WORKMANSHIP FULLY INSURING THAT THIS WORK WILL CONFORM TO THE CONTRACT REQUIREMENTS.



**ZONING BOARD OF APPEALS**  
**FEBRUARY 29, 2025**

DESCRIPTION OF WORK: NEW SECOND FLOOR ADDITION WITH FIRST FLOOR RENOVATIONS

**DRAWING LIST**

- A1 COVER SHEET
- A2 EXISTING CELLAR PLAN
- A3 EXISTING FIRST FLOOR PLAN
- A4 EXISTING SECOND FLOOR PLAN
- A5 EXISTING ATTIC FLOOR PLAN
- A6 EXISTING ROOF PLAN
- A7 EXISTING ELEVATIONS
- A8 EXISTING ELEVATIONS
- A9 PROPOSED FIRST FLOOR PLAN
- A10 PROPOSED SECOND FLOOR PLAN
- A11 PROPOSED ROOF PLAN
- A12 PROPOSED ELEVATIONS
- A13 PROPOSED ELEVATIONS
- A14 PROPOSED SECTION

**SYMBOL LEGEND**

- WALL TO BE DEMOLISHED
- EXISTING WALL TO REMAIN
- NEW WALL
- SECTION
- DOOR TAG
- WINDOW TAG
- RECESSED CAV LIGHT AS SELECTED BY OWNER
- WALL MOUNTED SCONES AS SELECTED BY OWNER
- CEILING MOUNTED LIGHT AS SELECTED BY OWNER

**PROJECT INFORMATION: PER ZONING AMENDMENT'S DATED 1/17/2021 BELMONT ZONING DISTRICT SR-C:**

GROSS AREA INCREASE: (SEE A1) 17% - CONFORMING  
FRONT YARD SETBACK: 23' (UNCHANGED) CONFORMING  
REAR YARD SETBACK: 10'-0" (UNCHANGED) EXISTING CONFORMING  
SIDE YARD SETBACK: 8.5' (UNCHANGED) EXISTING NON-CONFORMING  
FRONTAGE: 75'-0" (EXISTING 95'-0" COMPLIANT) - UNCHANGED  
LOT AREA: 9000 (6187 SQFT NON CONFORMING (UNCHANGED))  
MAX HEIGHT: 35/2.5 STORIES (28.9/2.5 STORIES CONFORMING)  
SEE SITE PLAN FOR CELLAR CALC'S  
LOT COVERAGE (MAX): 25% - SEE SURVEY - CONFORMING  
OPEN AREA (MIN): 50% - SEE SURVEY - CONFORMING

GROSS AREA CALCULATION	
CELLAR	0 SQFT
FIRST FLOOR	1193 SQFT
SECOND FLOOR	807 SQFT
3RD FLOOR (OVER 6'-0")	237 SQFT
EXISTING GROSS AREA	2237 SQFT
NEW SECOND FLOOR AREA	1197 SQFT
NEW GROSS AREA	390 SQFT
390SQFT / 2237SQFT = 17% INCREASE	

**ENERGY AUDIT:**

COMPLIANCE DETERMINED BY MASSACHUSETTS STRETCH ENERGY CODE (IRC 2021 W/ MASSACHUSETTS AMENDMENTS SECTION N1101), PROPERTY FALLS UNDER CLIMATE ZONE 5A.

PRESCRIPTIVE OPTION FOR RESIDENTIAL ADDITION (401.3):  
1. RENOVATION TO COMPLY WITH ENERGY STAR QUALIFIED HOMES THERMAL BYPASS INSPECTION CHECKLIST. INSULATION VALUES AS FOLLOWS: R60 ROOF R-VALUE; R20+5 WALL R-VALUE; R30 FLOOR R-VALUE; R10 CRAWL SPACE WALL R-VALUE.  
2. RENOVATION TO COMPLY WITH ENERGY STAR PROGRAM REQUIREMENTS FOR RESIDENTIAL WINDOWS, DOORS, AND SKYLIGHTS - VERSION 5.0. ALL NEW WINDOW GLAZING W/ 30 U FACTOR. SKYLIGHTS .55  
3. HEATING / COOLING DUCTS TO BE SEALED AND TESTED TO MEET REQUIREMENTS OF 401.3.

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Date: Issued for:

08/25/24 REVISION 1

10/1/24 REVISION 2

10/17/24 DESIGN DEVELOPMENT

10/31/24 OWNER REV 1

11/21/24 CONSTRUCTION DOCS

02/18/25 INTERIOR UPDATE



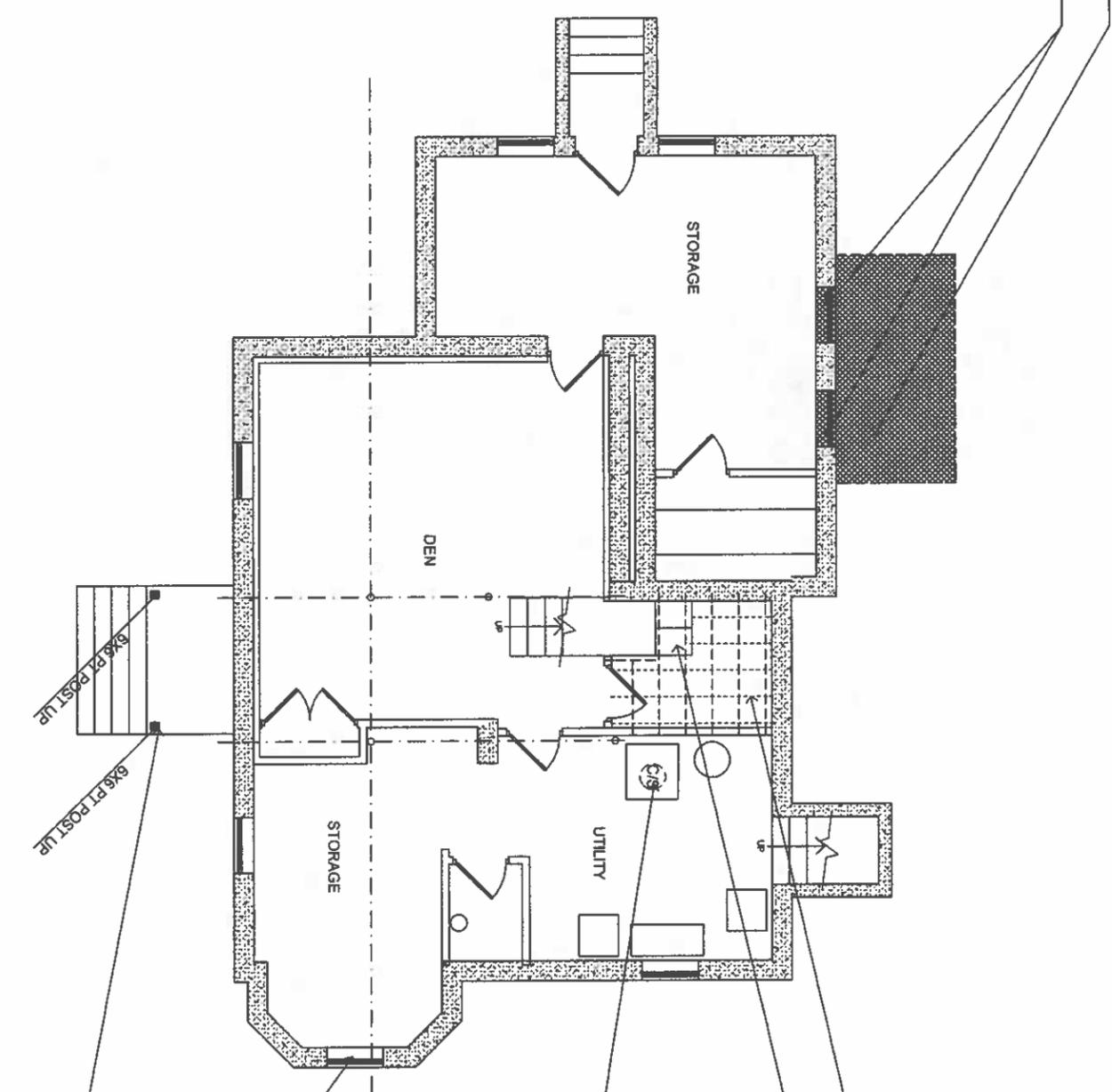
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**COVER SHEET**

**A1**

Sheet Number

EXCAVATE FOR NEW MASONRY STOOP FOUNDATION AS NEEDED  
 EXISTING BASEMENT WINDOWS TO BE REMOVED AND OPENINGS  
 INFILLED TO MATCH EXISTING INTERIOR AND EXTERIOR  
 FINISHES (USE RECLAIMED BRICK WHEN POSSIBLE)



PROVIDE 2X6 SLEEPERS W/INFLING CLEATS  
 TO EXISTING WALLS AS REQUIRED

EXTEND EXISTING STAIR FRAMED ON TOP OF EXISTING  
 FLOOR FRAMING - RISER AND RUN TO MATCH EXISTING STAIR  
 (VERIFY 2 NEW STEPS TO NEW FLOOR LEVEL)  
 NEW FLOOR 8' BELOW EXISTING HOUSE FLOOR)

PROVIDE HARDWIRED CARBON/SMOKE  
 DETECTORS AS REQUIRED BY CODE

REVIEW WINDOW REPLACEMENT OPTIONS  
 WITH OWNER

PROVIDE SIMPSON 6X6 STRONG TIE  
 POST BASE AT 90TH NEW POSTS TO  
 EXISTING STOOP CONNECTION

1 CELLAR PLAN  
 SCALE: 1/4" = 1'



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08/20/24 SCHEMATIC DRAWINGS

10/17/24 DESIGN DEVELOPMENT

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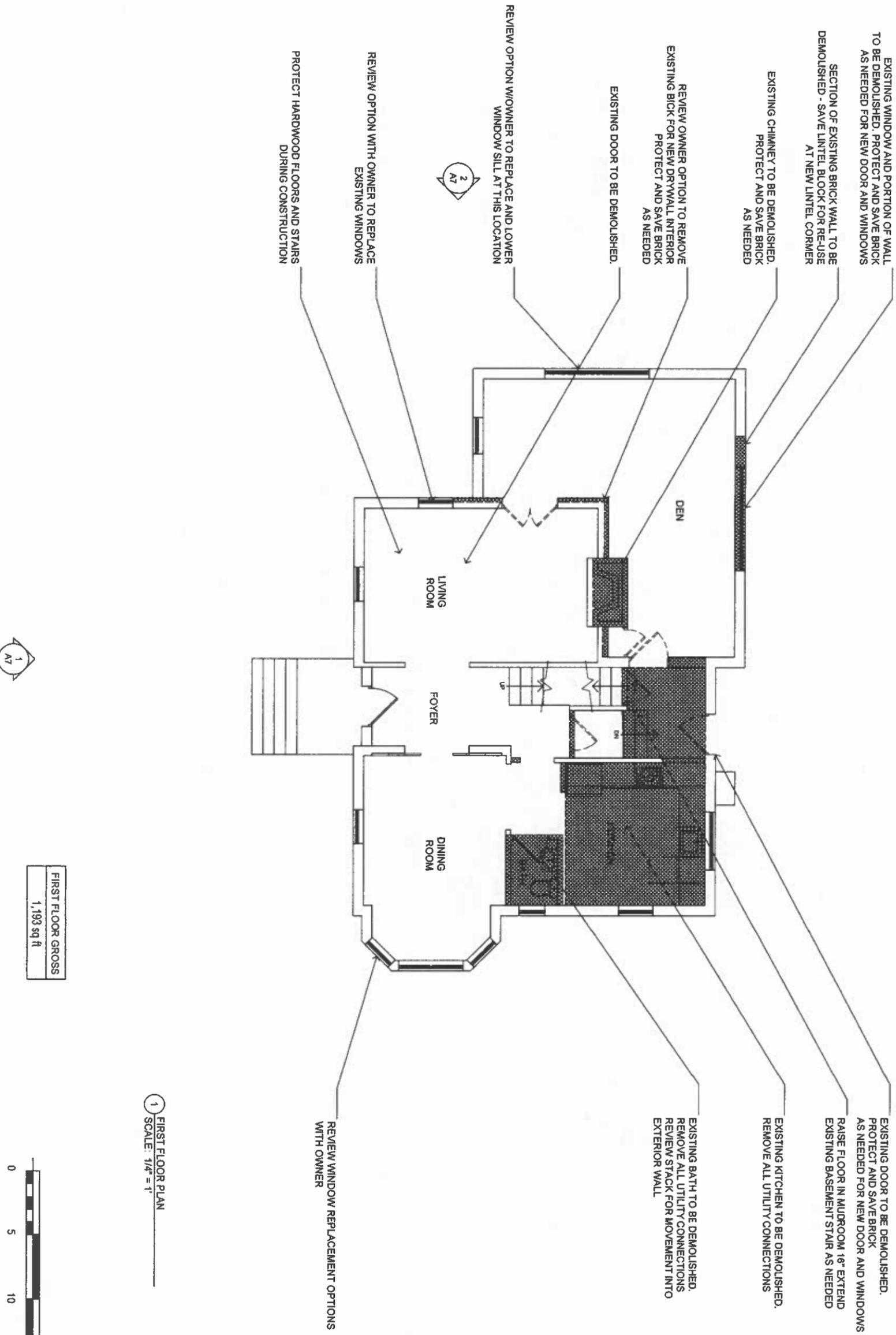


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EXISTING PLANS

Sheet  
 Number  
**A2**





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10/10/24	REVISION 2
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02/19/25	INTERIOR UPDATE



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EXISTING PLANS

Sheet Number:

**A3**

EXISTING MEMBRANE ROOF TO BE DEMOLISHED.  
DOCUMENT FRAMING AND NOTIFY ARCHITECT  
IN ANY VARIATION FROM ASSUMED PLANS  
EXISTING DOOR TO BE DEMOLISHED.  
INFILL TO MATCH INTERIOR FINISHES AS NEEDED.

EXISTING CHIMNEY TO BE DEMOLISHED.  
PROTECT AND SAVE BRICK  
AS NEEDED

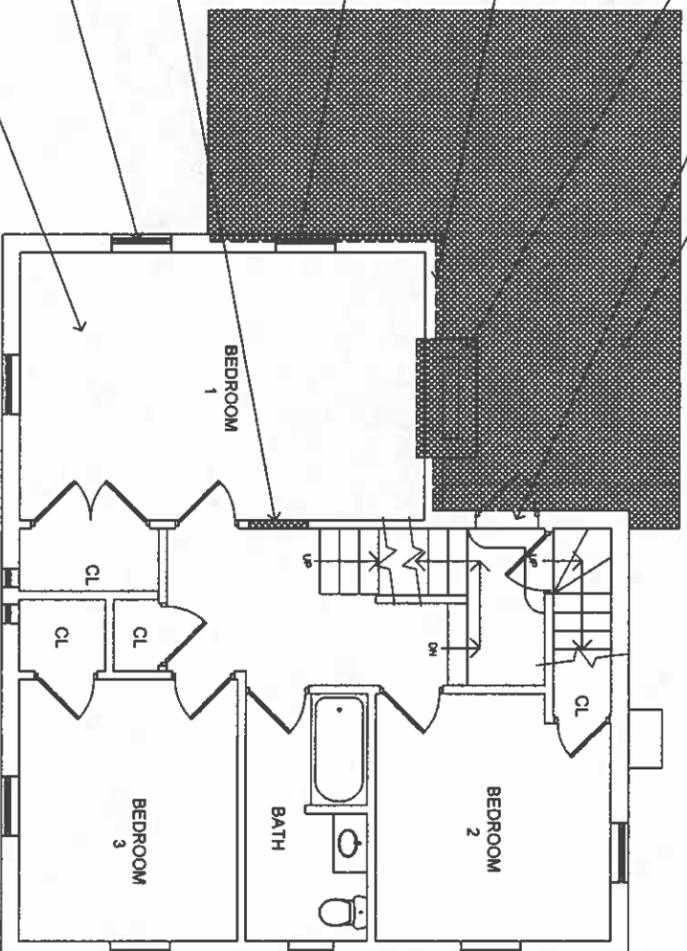
BRICK TO BE REMOVED FROM WALL - ADD NEW DRYWALL  
AND PLASTER FINISH

WINDOW TO BE DEMOLISHED  
SEE FRAMING AND LAYOUT PLANS FOR NEW  
DOOR LOCATION

CUT OPENING IN EXISTING BEARING WALL FOR NEW DOOR  
SEE FRAMING PLANS FOR NEW HEADER AND POSTS

REVIEW OPTION WITH OWNER TO REPLACE  
EXISTING WINDOWS

PROTECT HARDWOOD FLOORS AND STAIRS  
DURING CONSTRUCTION



FIRST FLOOR GROSS  
807 sq ft



1 SECOND FLOOR PLAN  
SCALE: 1/4" = 1'

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EXISTING PLANS

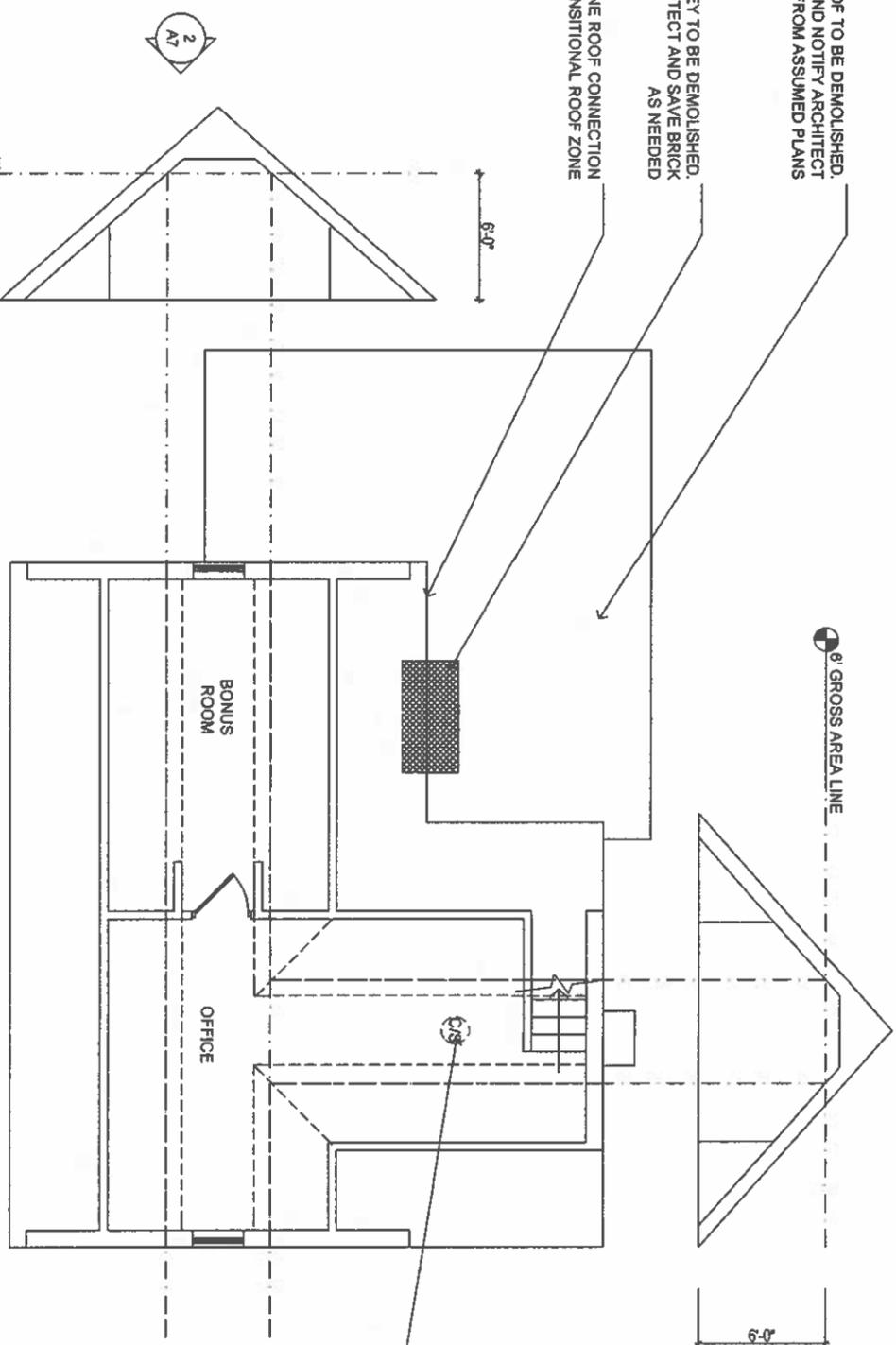
Sheet Number:

**A4**

EXISTING MEMBRANE ROOF TO BE DEMOLISHED.  
DOCUMENT FRAMING AND NOTIFY ARCHITECT  
IN ANY VARIATION FROM ASSUMED PLANS

EXISTING CHIMNEY TO BE DEMOLISHED.  
PROTECT AND SAVE BRICK  
AS NEEDED

REVIEW NEW FLASHING/MEMBRANE ROOF CONNECTION  
AT NEW TRANSITIONAL ROOF ZONE



1 ATTIC FLOOR PLAN  
SCALE: 1/4" = 1'

THIRD FLOOR GROSS  
237 sq ft



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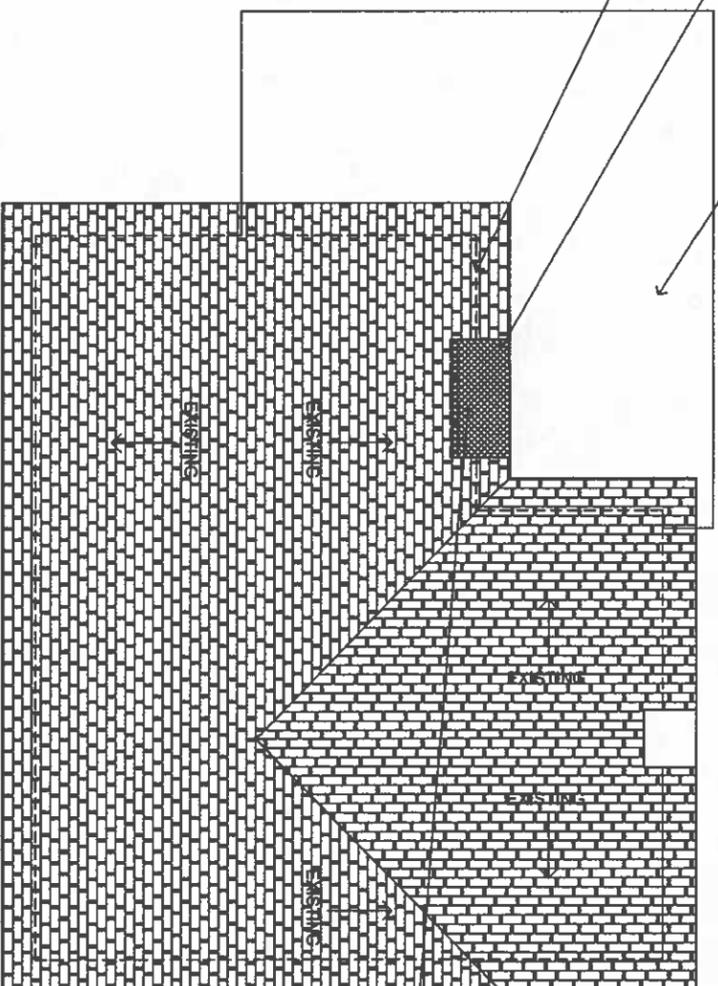
EXISTING PLANS

Sheet Number:  
**A5**

EXISTING MEMBRANE ROOF TO BE DEMOLISHED.  
DOCUMENT FRAMING AND NOTIFY ARCHITECT  
IN ANY VARIATION FROM ASSUMED PLANS

EXISTING CHIMNEY TO BE DEMOLISHED.  
PROTECT AND SAVE BRICK  
AS NEEDED

REVIEW NEW FLASHING/MEMBRANE ROOF CONNECTION  
AT NEW TRANSITIONAL ROOF ZONE



PATCH CHIMNEY LOCATION WITH NEW ROOF  
INSULATE AS REQUIRED BY CODE

1 ROOF PLAN  
SCALE: 1/4" = 1'



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EXISTING PLANS

Sheet Number

A6

EXISTING CHIMNEY TO BE DEMOLISHED.  
PROTECT AND SAVE BRICK  
AS NEEDED

WINDOW TO BE DEMOLISHED  
SEE FRAMING AND LAYOUT PLANS FOR NEW  
DOOR LOCATION

BRICK TO BE REMOVED FROM WALL - ADD NEW DRYWALL  
AND PLASTER FINISH

EXISTING DOOR TO BE DEMOLISHED.  
INFILL TO MATCH INTERIOR FINISHES AS NEEDED.  
EXISTING MEMBRANE ROOF TO BE DEMOLISHED.  
DOCUMENT FRAMING AND NOTIFY ARCHITECT  
IN ANY VARIATION FROM ASSUMED PLANS

EXCAVATE FOR NEW MASONRY STOOP FOUNDATION AS NEEDED

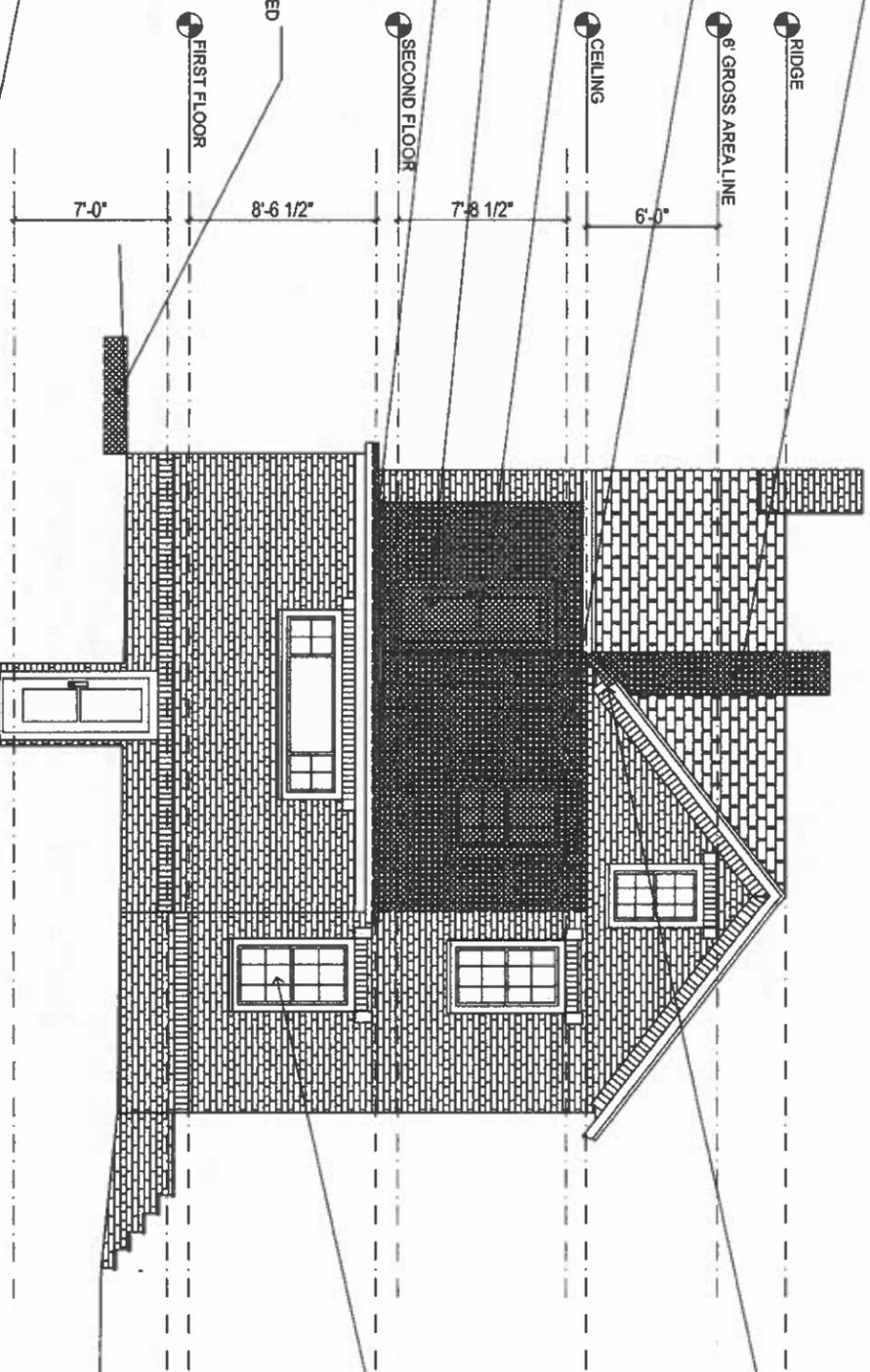
EXISTING CHIMNEY TO BE DEMOLISHED.  
PROTECT AND SAVE BRICK  
AS NEEDED

EXISTING MEMBRANE ROOF TO BE DEMOLISHED.  
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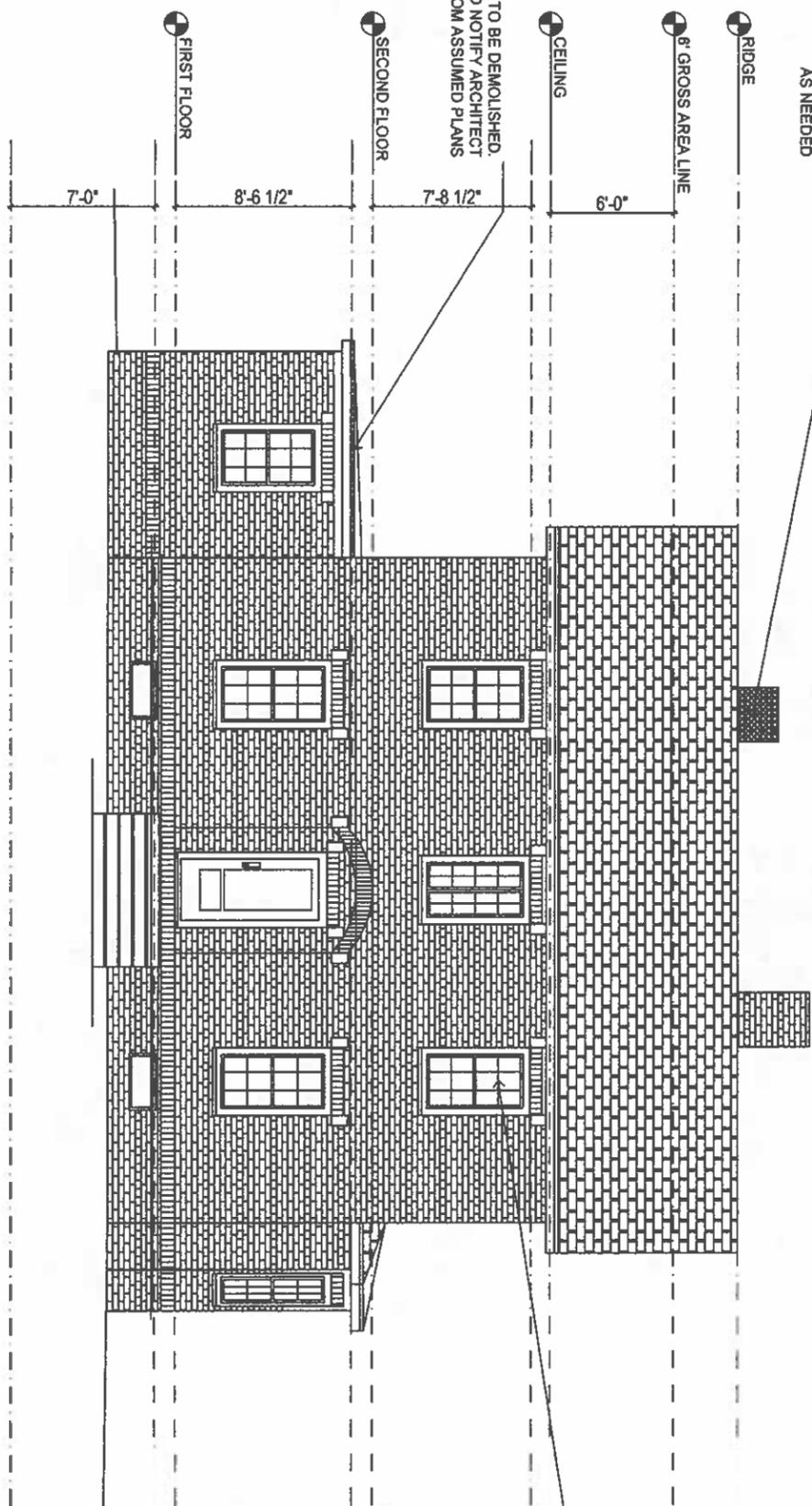
REVIEW NEW FLASHING/MEMBRANE ROOF CONNECTION  
AT NEW TRANSITIONAL ROOF ZONE

REVIEW WINDOW REPLACEMENT OPTIONS  
WITH OWNER

REVIEW WINDOW REPLACEMENT OPTIONS  
WITH OWNER



2 NORTH ELEVATION  
SCALE: 1/4" = 1'



1 WEST ELEVATION  
SCALE: 1/4" = 1'



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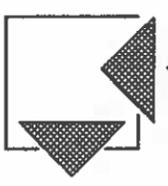
HENSLEY RESIDENCE  
14 LINDEN AVENUE  
BELMONT, MA 02478

ELEVATIONS

Sheet  
Number

A7

**WILLER**  
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14 LINDEN AVENUE  
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**ELEVATIONS**

Sheet Number:

**A8**

REVIEW WINDOW REPLACEMENT OPTIONS WITH OWNER

RIDGE

8' GROSS AREA LINE

BRICK TO BE REMOVED FROM WALL - ADD NEW DRYWALL AND PLASTER FINISH

CEILING

SECOND FLOOR

EXISTING DOOR TO BE DEMOLISHED INFILL TO MATCH INTERIOR FINISHES AS NEEDED USE EXISTING BRICK TO PATCH WHERE POSSIBLE TOP OF NEW WINDOW TO ALIGN WITH NEW KITCHEN WINDOW

FIRST FLOOR

EXISTING BASEMENT WINDOWS TO BE REMOVED AND OPENINGS INFILLED TO MATCH EXISTING INTERIOR AND EXTERIOR FINISHES (USE RECLAIMED BRICK WHEN POSSIBLE)

EXISTING CHIMNEY TO BE DEMOLISHED. PROTECT AND SAVE BRICK AS NEEDED

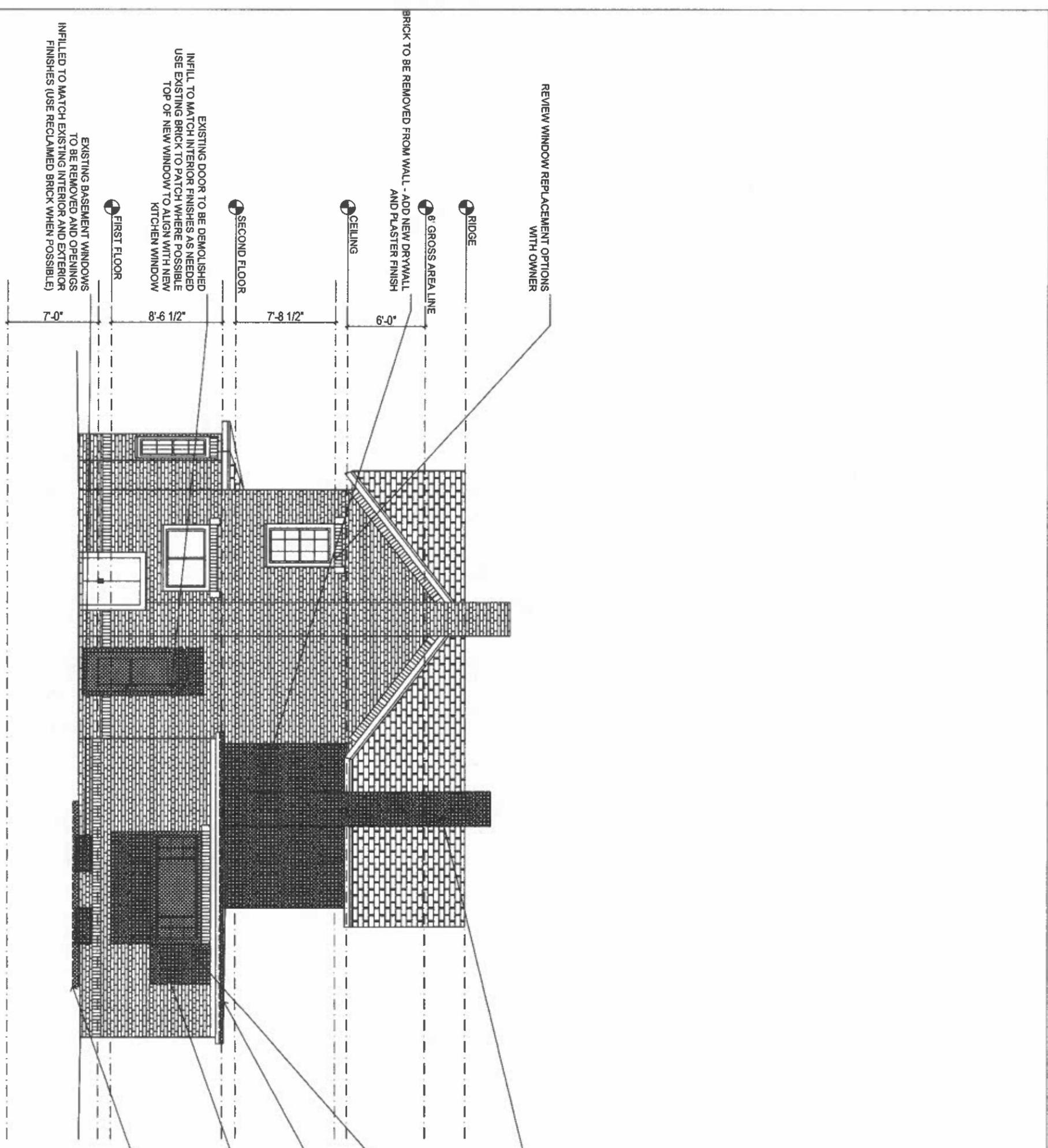
SECTION OF EXISTING BRICK WALL TO BE DEMOLISHED - SAVE LINTEL BLOCK FOR RE-USE AT NEW LINTEL CORNER

EXISTING MEMBRANE ROOF TO BE DEMOLISHED. DOCUMENT FRAMING AND NOTIFY ARCHITECT IN ANY VARIATION FROM ASSUMED PLANS

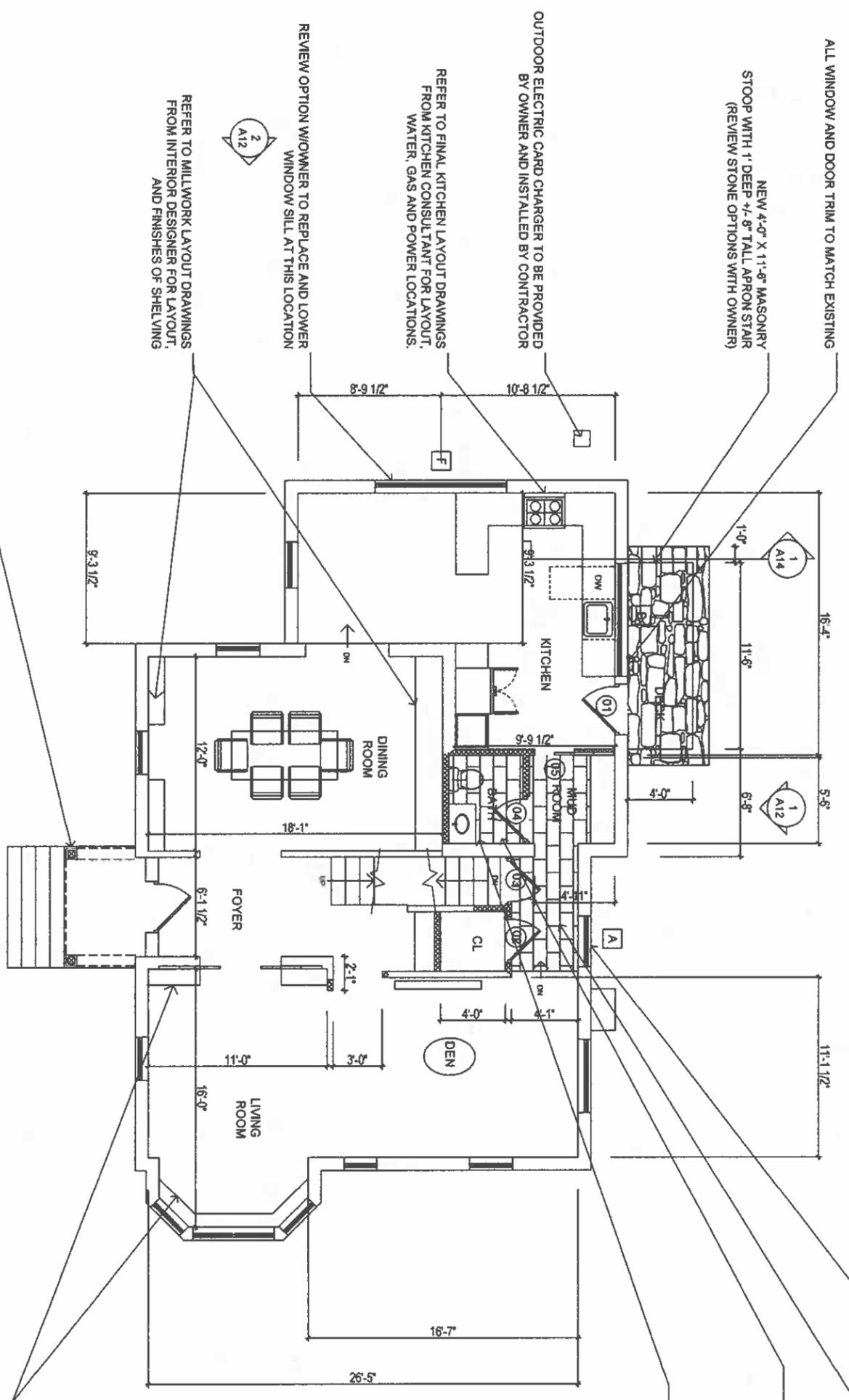
WINDOW TO BE DEMOLISHED SEE FRAMING AND LAYOUT PLANS FOR NEW DOOR LOCATION. SAVE BRICK WHEN POSSIBLE

1 WEST ELEVATION  
SCALE: 1/4" = 1'

EXCAVATE FOR NEW MASONRY STOOP FOUNDATION AS NEEDED



- NOTE 1: UNLESS OTHERWISE NOTED ALL RECESSED LIGHTS ARE TO BE LED TYPE ON DIMMER SWITCHES - SEE RCP
- NOTE 2: PAINT ALL INTERIOR AND EXTERIOR FINISHES AS REQUIRED & SELECTED BY OWNER
- NOTE 3: ALL INTERIOR TRIM/BASE PROFILES TO MATCH EXISTING IN RESPECT TO PROFILE SIZE AND FINISH
- NOTE 4: PROVIDE NEW HARDWOOD FLOOR, VINYL PLANK FLOOR OR TILE FLOOR AS CALLED OUT
- NOTE 5: COORDINATE NEW HVAC SYSTEMS/EXTENSIONS WITH OWNER/ARCHITECT



INSTALL NEW SIMPSON POST BASES ON EXISTING MASONRY STOOP. NEW 8x8 PT POSTS W/AZEK CLADDING OR PYPON COVER AS SELECTED BY OWNER

REFER TO MILLWORK LAYOUT DRAWINGS FROM INTERIOR DESIGNER FOR LAYOUT AND FINISHES OF SHELVING

REVIEW OPTION WINDOWER TO REPLACE AND LOWER WINDOW SILL AT THIS LOCATION

REFER TO FINAL KITCHEN LAYOUT DRAWINGS FROM KITCHEN CONSULTANT FOR LAYOUT, WATER, GAS AND POWER LOCATIONS.

OUTDOOR ELECTRIC CARD CHARGER TO BE PROVIDED BY OWNER AND INSTALLED BY CONTRACTOR

NEW 4'-0" X 11'-9" MASONRY STOOP WITH 1" DEEP +/- 8" TALL APRON STAIR (REVIEW STONE OPTIONS WITH OWNER)

ALL WINDOW AND DOOR TRIM TO MATCH EXISTING

1 PROPOSED FIRST FLOOR PLAN  
SCALE: 1/4" = 1'

REFER TO MILLWORK LAYOUT DRAWINGS FROM INTERIOR DESIGNER FOR LAYOUT AND FINISHES OF SHELVING

BATHROOM 1: CONT.  
TILE FLOOR (TO BE SELECTED BY OWNER)  
2'-6" X 1'-8" VANITY WITH MIRROR/RECESSED CAB.  
1 SINKS W/FAUCIT (TO BE SELECTED BY OWNER)  
TOILET TO BE SELECTED BY OWNER  
VERIFY SIZE AND MASS CODE # PRIOR TO PURCHASE MRGWB OR PLASTER CEILING;  
SEE INTERIOR DESIGN PLANS FOR FINISH SELECTION

BATHROOM 1:  
VANITY, TOILET, LIGHTING AS SHOWN,  
PANASONIC (OAE) WHISPER MECHANICAL VENT  
EXTEND NEW MECHANICAL SYSTEMS AS REREQUIRED  
BLOCKING FOR TOWEL BARS AND  
TOILET PAPER HOLDERS (COORDINATE W/ OWNER)

RAISE FLOOR IN MUDROOM 18" EXTEND  
EXISTING BASEMENT STAIR AS NEEDED  
SEE 1/A2 FOR FRAMING INFORMATION  
FIELD VERIFY ALIGNMENT WITH NEW KITCHEN FLOOR

EXISTING DOOR TO BE DEMOLISHED  
RETAIN BRICK ARCH AT NEW WINDOW LOCATION,  
INFILL TO MATCH INTERIOR FINISHES AS NEEDED  
USE EXISTING BRICK TO PATCH WHERE POSSIBLE

FIRST FLOOR GROSS  
1,193 sq ft



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02/18/25	INTERIOR UPDATE



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**PROPOSED PLANS**

Sheet Number:

**A9**

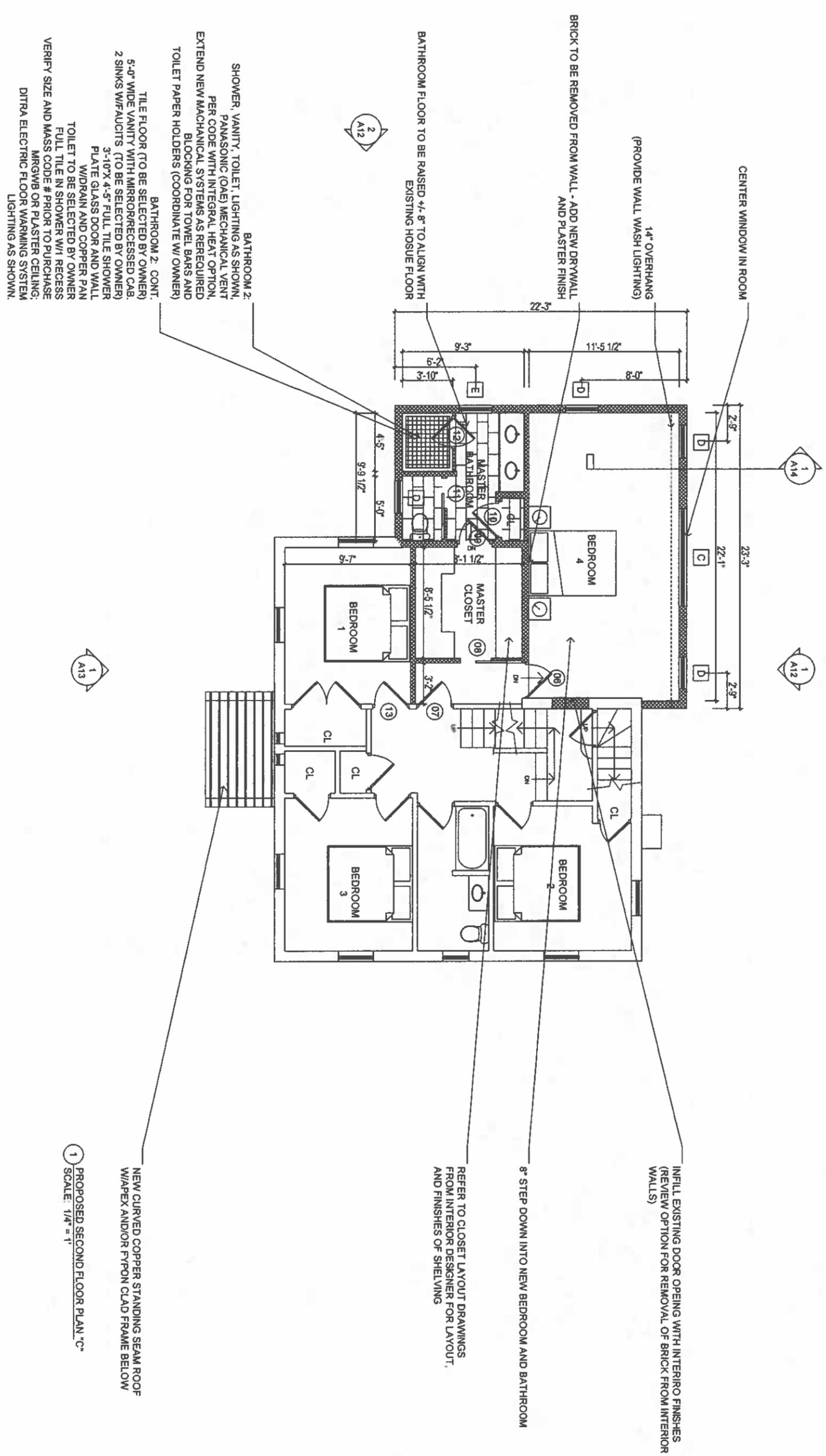
NOTE:  
UNLESS OTHERWISE NOTED  
ALL RECESSED LIGHTS ARE  
TO BE LED TYPE ON DIMMER  
SWITCHES - SEE RCP

NOTE 2:  
PAINT ALL INTERIOR AND  
EXTERIOR FINISHES AS  
REQUIRED & SELECTED BY  
OWNER

NOTE 3:  
ALL INTERIOR TRIM/BASE  
PROFILES TO MATCH EXISTING  
IN RESPECT TO PROFILE SIZE  
AND FINISH

NOTE 4:  
PROVIDE NEW HARDWOOD  
FLOOR VINYL PLANK FLOOR  
OR TILE FLOOR AS CALLED  
OUT

NOTE 5:  
COORDINATE NEW HVAC  
SYSTEMS/EXTENSIONS  
W/OWNER/ARCHITECT



BATHROOM 2:  
SHOWER, VANITY, TOILET, LIGHTING AS SHOWN,  
PANASONIC (OAE) MECHANICAL VENT  
PER CODE WITH INTEGRAL HEAT OPTION,  
EXTEND NEW MECHANICAL SYSTEMS AS REREQUIRED  
BLOCKING FOR TOWEL BARS AND  
TOILET PAPER HOLDERS (COORDINATE W/ OWNER)

BATHROOM 2: CONT.  
TILE FLOOR (TO BE SELECTED BY OWNER)  
5'-0" WIDE VANITY WITH MIRROR/RECESSED CAB.  
2 SINKS W/FAUCETS (TO BE SELECTED BY OWNER)  
3'-10" X 4'-5" FULL TILE SHOWER  
PLATE GLASS DOOR AND WALL  
W/ DRAIN AND COPPER PAN  
TOILET TO BE SELECTED BY OWNER  
FULL TILE IN SHOWER W/ RECESS  
VERIFY SIZE AND MASS CODE # PRIOR TO PURCHASE  
MRGWB OR PLASTER CEILING  
DITRA ELECTRIC FLOOR WARMING SYSTEM  
LIGHTING AS SHOWN.

NEW CURVED COPPER STANDING SEAM ROOF  
W/ APPEX AND/OR PYPON CLAD FRAME BELOW

PROPOSED SECOND FLOOR PLAN "C"  
SCALE: 1/4" = 1'

INFILL EXISTING DOOR OPENING WITH INTERIOR FINISHES  
(REVIEW OPTION FOR REMOVAL OF BRICK FROM INTERIOR  
WALLS)

8" STEP DOWN INTO NEW BEDROOM AND BATHROOM

REFER TO CLOSET LAYOUT DRAWINGS  
FROM INTERIOR DESIGNER FOR LAYOUT,  
AND FINISHES OF SHELVING

SECOND FLOOR GROSS  
1,179 sq ft



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PROPOSED PLANS

Sheet Number:

**A10**



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**PROPOSED PLANS**

Sheet  
Number:

**A11**

PROVIDE BUILT UP "RIPPED" RIGID INSULATION W/ RIPPED FRAMING AS REQUIRED TO ACHIEVE SLOPE AWAY FROM BUILDING

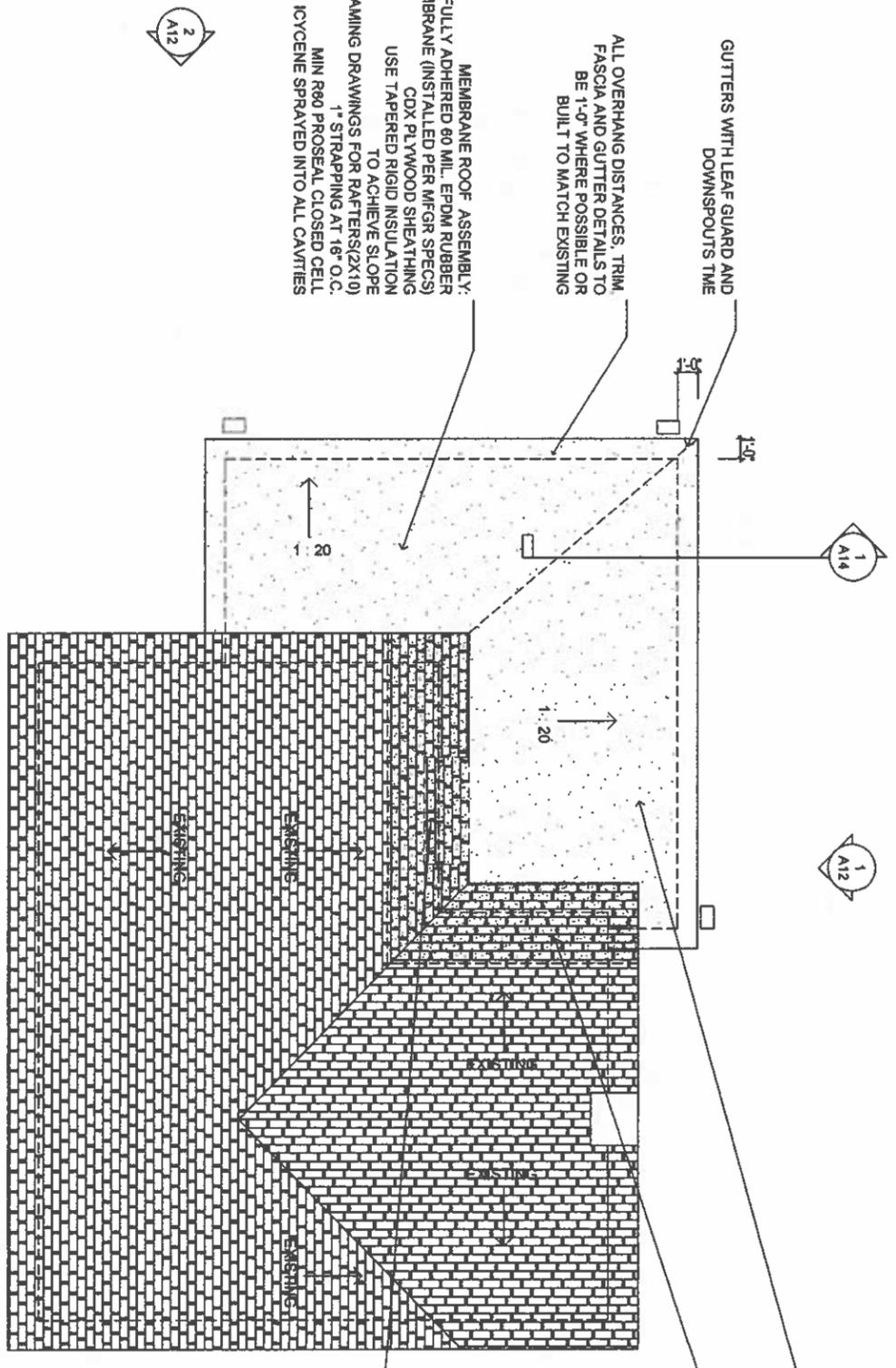
PROVIDE MINIMUM 4'-0" ICE AND WATER SHIELD AT ROOF TRANSITION - REVIEW OPTION FOR ICE-MELT SYSTEM WITH OWNER

PATCH CHIMNEY LOCATION WITH NEW ROOF INSULATE AS REQUIRED BY CODE

GUTTERS WITH LEAF GUARD AND DOWNSPOUTS TIME

ALL OVERHANG DISTANCES, TRIM FASCIA AND GUTTER DETAILS TO BE 1'-0" WHERE POSSIBLE OR BUILT TO MATCH EXISTING

MEMBRANE ROOF ASSEMBLY:  
FULLY ADHERED 60 MIL. EPDM RUBBER ROOF MEMBRANE (INSTALLED PER MFGR SPECS)  
CDX PLYWOOD SHEATHING  
USE TAPERED RIGID INSULATION TO ACHIEVE SLOPE  
SEE FRAMING DRAWINGS FOR RAFTERS(2X10) 1" STRAPPING AT 18" O.C.  
MIN R80 PROSEAL CLOSED CELL ICYGENE SPRAYED INTO ALL CAVITIES



1 PROPOSED ROOF PLAN  
SCALE: 1/4" = 1'



EXTERIOR WALL ASSEMBLY:  
 SIDING TO MATCH EXISTING  
 1 1/2" ZIP SYSTEM  
 SHEATHING PANELS (R9)  
 W/ TAPE AT ALL SEAMS  
 PER MFGR SPEC  
 2X4 WOOD STUDS @ 16" O.C.  
 R20 ICYNENE INSULATION  
 (CLOSED CELL ICYNENE AT R7/INCH)  
 1/2" GWB ON INTERIOR  
 W/PLASTER AND BM PAINT

6" CORNER TRIM BOARDS  
 14" OVERHANG  
 (PROVIDE WALL WASH LIGHTING)

NEW 4'-0" X 11'-8" MASONRY  
 STOOP WITH 1' DEEP +/- 8" TALL APRON STAIR  
 (REVIEW STONE OPTIONS WITH OWNER)

NEW 4'-0" X 11'-8" MASONRY  
 STOOP WITH 1' DEEP +/- 8" TALL APRON STAIR  
 (REVIEW STONE OPTIONS WITH OWNER)

RIDGE  
 8' GROSS AREALINE  
 CEILING  
 6'-0"

6" CORNER TRIM BOARDS  
 14" OVERHANG  
 SECOND FLOOR  
 7'-8 1/2"

KITCHEN FIRST FLOOR

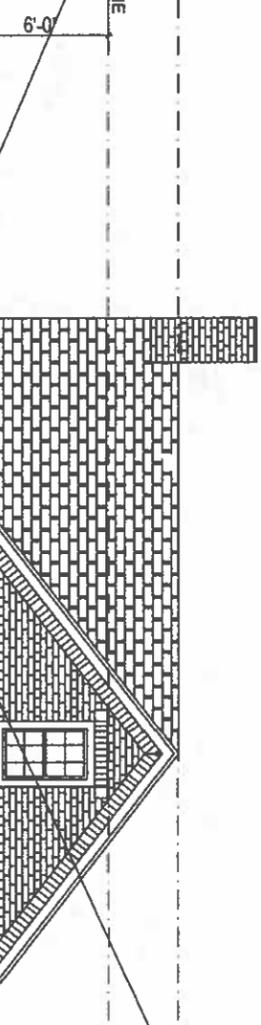
FIRST FLOOR  
 7'-0"

SECOND FLOOR  
 7'-8 1/2"

CEILING  
 6'-0"

8' GROSS AREALINE

RIDGE



MEMBRANE ROOF ASSEMBLY:  
 FULLY ADHERED 80 MIL. EPDM RUBBER  
 ROOF MEMBRANE  
 (INSTALLED PER MFGR SPECS)  
 CDX PLYWOOD SHEATHING  
 SEE FRAMING DRAWINGS FOR RAFTERS  
 1" STRAPPING AT 16" O.C.  
 MIN R60 PROSEAL CLOSED CELL  
 ICYENE SPRAYED INTO ALL CAVITIES  
 1/2 DRYWALL PANEL  
 TAPED AND PLASTERED  
 PAINT AS DIRECTED BY  
 OWNER/INTERIOR DESIGNER

GUTTERS AND DOWNSPOUTS TME  
 8" AZEK TRIM BOARD  
 CURVED STANDING SEAM COPPER ROOF  
 W/ BEADBOARD CEILING AND LIGHT AS  
 SELECTED BY OWNER.  
 GABLE FACE TO BE BOARD AND BATTON  
 W/2" TRIM AROUND

INSTALL NEW SIMPSON POST BASES ON  
 EXISTING MASONRY STOOP. NEW 6X6 PT POSTS  
 W/AZEK CLADDING OR FYPON COVER  
 AS SELECTED BY OWNER

2 NORTH ELEVATION  
 SCALE: 1/4" = 1'

MEMBRANE ROOF ASSEMBLY:  
 FULLY ADHERED 80 MIL. EPDM RUBBER  
 ROOF MEMBRANE  
 (INSTALLED PER MFGR SPECS)  
 CDX PLYWOOD SHEATHING  
 SEE FRAMING DRAWINGS FOR RAFTERS  
 1" STRAPPING AT 16" O.C.  
 MIN R60 PROSEAL CLOSED CELL  
 ICYENE SPRAYED INTO ALL CAVITIES  
 1/2 DRYWALL PANEL  
 TAPED AND PLASTERED  
 PAINT AS DIRECTED BY  
 OWNER/INTERIOR DESIGNER

FIRST FLOOR

MEMBRANE ROOF ASSEMBLY:  
 FULLY ADHERED 80 MIL. EPDM RUBBER  
 ROOF MEMBRANE  
 (INSTALLED PER MFGR SPECS)  
 CDX PLYWOOD SHEATHING  
 SEE FRAMING DRAWINGS FOR RAFTERS  
 1" STRAPPING AT 16" O.C.  
 MIN R60 PROSEAL CLOSED CELL  
 ICYENE SPRAYED INTO ALL CAVITIES  
 1/2 DRYWALL PANEL  
 TAPED AND PLASTERED  
 PAINT AS DIRECTED BY  
 OWNER/INTERIOR DESIGNER

SOFFIT FASCIA BOARD  
 AND TRIM TO MATCH EXISTING  
 GUTTERS AND DOWNSPOUTS TME  
 8" AZEK TRIM BOARD

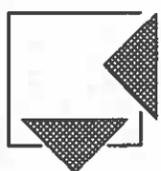
EXTERIOR WALL ASSEMBLY:  
 SIDING TO MATCH EXISTING  
 1 1/2" ZIP SYSTEM SHEATHING PANELS (R9)  
 W/ TAPE AT ALL SEAMS PER MFGR SPEC  
 2X4 WOOD STUDS @ 16" O.C.  
 R20 ICYNENE INSULATION  
 (CLOSED CELL ICYNENE AT R7/INCH)  
 1/2" GWB ON INTERIOR  
 W/PLASTER AND BM PAINT

PAINTED PVC FASCIA TRIM PROFILE TO  
 MATCH EXISTING

1 EAST ELEVATION  
 SCALE: 1/4" = 1'

REBUILD BRICK UNTEL USING EXISTING BRICK  
 AND CORNER STONE. MATCH GROUT TO  
 EXTENT POSSIBLE  
 KITCHEN FIRST FLOOR



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PROPOSED  
 ELEVATIONS

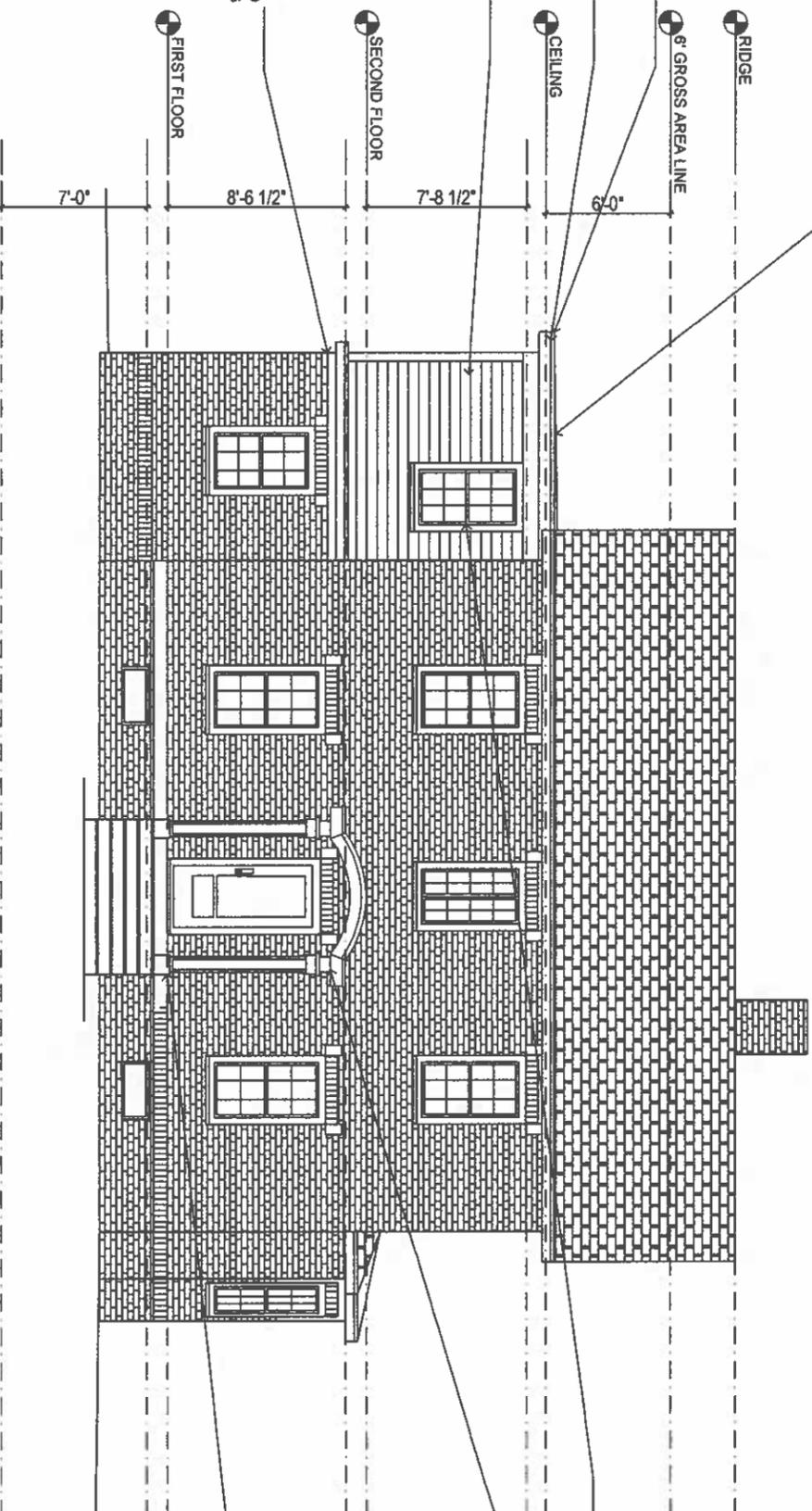
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**A12**

WINDOW SCHEDULE			PELLA LIFESTYLE WOOD SERIES - MUTTONS TO MATCH ELEVATIONS (COLOR TBD)
KEY	SIZE	JAMB	DESCRIPTION
A	2'-6" X 3'-10"	2X10	(1) DOUBLE HUNG
B	7'-0" X 3'-6"	2X10	(3) TRIPLE DOUBLE HUNG (KITCHEN WINDOW)
C	7'-6" X 4'-4"	2X6	(1) PICTURE W/2 18" WIDE DOUBLE HUNG FLANKERS
D	2'-6" X 4'-4"	2X6	(1) DOUBLE HUNG
E	2'-6" X 4'-4"	2X6	(1) DOUBLE HUNG TEMPERED

DOOR SCHEDULE			EXTERIOR DOORS BY BROSCO (INSULATED WOOD) INTERIOR DOORS SOLID WOOD (PAINTED) TME
KEY	SIZE	JAMB	DESCRIPTION/PROFILES TO BE SELECTED BY OWNER
1	2'-10" X 8'-8"	2X10	EXTERIOR INSULATED DOOR W/LIGHT
2	2'-6" X 8'-8"	2X4	INTERIOR PANEL DOOR (TME)
3	2'-5" X 8'-8"	2X4	INTERIOR PANEL DOOR (TME)
4	2'-6" X 8'-8"	2X4	INTERIOR PANEL DOOR (TME)
5	2'-6" X 8'-8"	2X4	INTERIOR PANEL DOOR (TME)
6	2'-8" X 8'-8"	2X4	INTERIOR PANEL DOOR (TME)
7	2'-6" X 8'-8"	2X4	INTERIOR PANEL DOOR (TME)
8	2'-6" X 8'-8"	2X4	INTERIOR PANEL DOOR (TME)
9	2'-4" X 8'-8"	2X4	INTERIOR PANEL DOOR (TME)
10	2'-4" X 8'-8"	2X4	INTERIOR PANEL DOOR (TME)
11	2'-4" X 8'-8"	2X4	INTERIOR PANEL DOOR (TME)
12	2'-2" X 8'-0"	GL	TEMPERED GLASS W/FILM SHOWER DOOR
13	2'-4" X 8'-8"	2X4	INTERIOR PANEL DOOR (TME)

MEMBRANE ROOF ASSEMBLY:  
FULLY ADHERED 60 MIL. EPDM RUBBER ROOF MEMBRANE (INSTALLED PER MFGR SPECS)  
CDX PLYWOOD SHEATHING  
SEE FRAMING DRAWINGS FOR RAFTERS  
1" STRAPPING AT 16" O.C.  
MIN R60 PROSEAL CLOSED CELL ICYCENE SPRAYED INTO ALL CAVITIES  
1/2 DRYWALL PANEL  
TAPED AND PLASTERED  
PAINT AS DIRECTED BY OWNER/INTERIOR DESIGNER

SOFFIT, FASCIA BOARD AND TRIM TO MATCH EXISTING  
GUTTERS AND DOWNSPOUTS TME  
CEILING  
RIDGE  
6" GROSS AREA LINE  
EXTERIOR WALL ASSEMBLY:  
SIDING TO MATCH EXISTING  
1 1/2" ZIP SYSTEM SHEATHING PANELS (R6)  
W/ TAPE AT ALL SEAMS PER MFGR SPEC  
2X4 WOOD STUDS @ 16" O.C.  
R20 ICYCENE INSULATION  
(CLOSED CELL ICYCENE AT R7/INCH)  
1/2" GWB ON INTERIOR  
W/PLASTER AND BM PAINT  
PAINTED PVC FASCIA TRIM PROFILE TO MATCH EXISTING



WINDOW TRIM / SILL TME

CURVED STANDING SEAM COPPER ROOF W/ BEADBOARD CEILING AND LIGHT AS SELECTED BY OWNER.  
GABLE FACE TO BE BOARD AND BATTON W/2" TRIM AROUND

1 WEST ELEVATION  
SCALE: 1/4" = 1'  
INSTALL NEW SIMPSON POST BASES ON EXISTING MASONRY STOOP. NEW 6X6 PT POSTS W/AZEK CLADDING OR FYRON COVER AS SELECTED BY OWNER



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**PROPOSED ELEVATIONS**

Sheet Number  
**A13**

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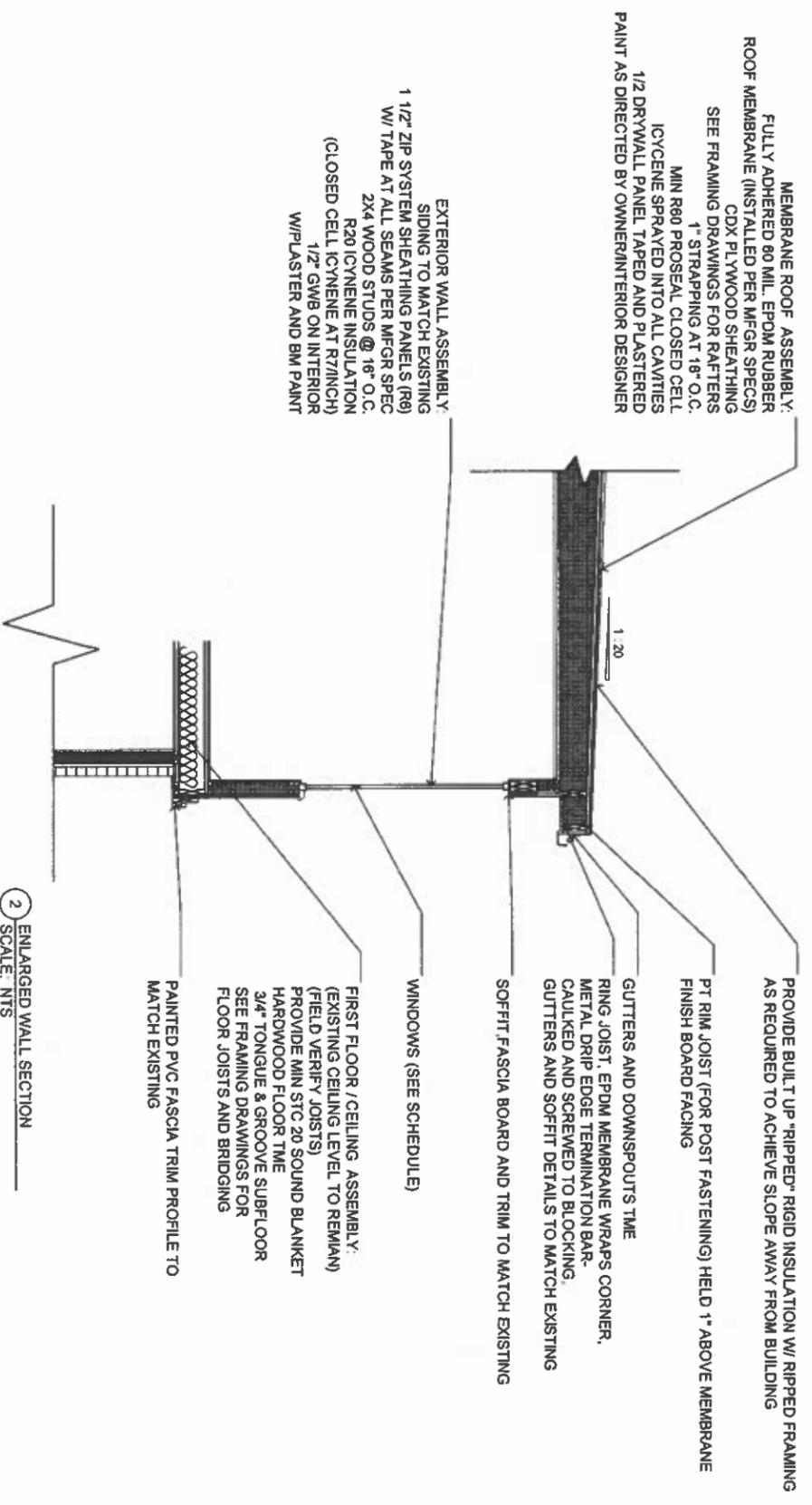


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**PROPOSED SECTION**

Sheet Number:

**A14**



2 ENLARGED WALL SECTION  
 SCALE: NTS

1 CONSTRUCTION SECTION  
 SCALE: 1/4" = 1'

