

RECEIVED
TOWN CLERK
BELMONT, MA

CASE NO. 25-05

2025 APR -3 AM 10: 58

NOTICE OF PUBLIC HEARING BY THE
TOWN OF BELMONT PLANNING BOARD

ON APPLICATION FOR THREE SPECIAL PERMITS

Notice is hereby given that the Planning Board will hold a public hearing on Tuesday, May 6, 2025 at 7:00 PM by a hybrid public hearing at the Select Board meeting Room on the first floor of the Town Hall, 455 Concord Ave., and by remote access through the Zoom app. to consider the application of Connor Maguire and Krista Muzzioli, for three Special Permits under sections 1.5.4 C (2) and 4.2 of the By-Law to construct an addition at 17 Hurley Street located in a Single Residence C (SRC) zoning district. Special Permits: 1.- §1.5.4 C (2) of the Zoning By-Law allows alteration or structural change increases, that increase the Gross Floor Area of a non-conforming structure (minimum required lot area is 9000SF, existing and proposed lot area is 8,880SF) more than thirty percent (30%) by a Special Permit granted by the Planning Board, the existing Gross Floor Area is 1177.5 square feet and the proposed addition is 2128.64 square feet or 180.77%. The expansion is allowed by a Special Permit Granted by the Planning Board. 2.- §4.2.2 of the zoning By-law requires a minimum side setback of 10', the existing and proposed east side setback is 9.2', and 3.- The existing and proposed west side setback is 9.6'.

Note: Application submittals, meeting agenda & instructions on remote access can be found on the Town's website: <https://www.belmont-ma.gov/planning-board>

TOWN OF BELMONT PLANNING BOARD



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Application for Special Permit

17 Hurley Street

Connor & Krista Maguire

Contents:

- Application for Special Permit
- Building Application Denial letter
- Statement from Applicants/Homeowners
- Zoning Compliance Checklist
- Proposed Landscape Plan
- Copy of Letter Distributed to all Direct Abutters
- Photos of Comparable Homes in Direct Neighborhood
- Two letters of support from neighbors
- Special Permit Criteria
- Certified Plot Plan (8 ½ x 14")
- Proposed Plans and Elevations (11x17")



Town of Belmont
Planning Board

APPLICATION FOR A SPECIAL PERMIT

Date: March 1, 2025

Planning Board
Homer Municipal Building
19 Moore Street
Belmont, MA 02478

To Whom It May Concern:

Pursuant to the provisions of Massachusetts General Laws, Chapter 40A, Section 9, as amended, and the Zoning By-Law of the Town of Belmont, I/we the undersigned, being the owner(s) of a certain parcel of land (with the buildings thereon) situated on 17 Hurley St. Street/Road, hereby apply to your Board for a **SPECIAL PERMIT** for the erection or alteration on said premises or the use thereof under the applicable Section of the Zoning By-Law of said Town for Construction addition

on the ground that the same will be in harmony with the general purpose and intent of said Zoning By-Law.

Signature of Petitioner *Krista Muzzioi*
Print Name Krista Muzzioi + Connor Maguire
Address 17 Hurley St
Belmont, MA 02478
Daytime Telephone Number 857-829-0090
Email kristammaguire@gmail.com



OFFICE OF PLANNING & BUILDING
TOWN OF BELMONT
19 Moore Street
Homer Municipal Building
Belmont, Massachusetts 02478-0900

Building Division
(617) 993-2664
Planning Division
(617) 993-2666

Telephone: (617) 993-2650

January 10, 2025

Connor Maguire and Krista Muzzioli
17 Hurley Street
Belmont, MA 02478

RE: Construct an Addition

Dear Mr. Mr. Maguire and Ms. Muzzioli,

The Office of Community Development is in receipt of your building permit application for your proposal to construct an addition at 17 Hurley Street. located in a Single Residence C (SRC) zoning district.

Your application has been denied because it does not comply with the current Town of Belmont Zoning By-Law. More specifically, 1.- §1.5.4 C (2) of the Zoning By-Law allows alteration or structural change increases, that increase the Gross Floor Area of a non-conforming structure (minimum required lot area is 9000SF, existing and proposed lot area is 8,880SF) more than thirty percent (30%) by a Special Permit granted by the Planning Board, and 2.- §4.2.2 of the zoning By-law requires a minimum side setback of 10'. Special Permits:

1. The existing Gross Floor Area is 1177.5 square feet and the proposed addition is 2128.64 square feet or 180.77%. The expansion is allowed by a Special Permit Granted by the Planning Board.
2. The existing and proposed east side setback is 9.2'.
3. The existing and proposed west side setback is 9.6'.

You may alter your plans to conform to the current Town of Belmont Zoning By-Law and resubmit a building application, or you may request three (3) Special Permits from Planning Board. If you choose this option, please contact the Office of Community Development to schedule an appointment with Gabriel Distler, Staff Planner, at (617) 993-2650 in order to begin the process.

Sincerely,

Ara Yogurtian, CBO
Inspector of Buildings

Connor and Krista Maguire

17 Hurley Street

Belmont, MA 02478

Re: Special Permit Application for Addition Construction of 17 Hurley Street

Dear Members of the Planning Board,

We, Connor and Krista Maguire of 17 Hurley Street, are requesting review of our special permit application regarding our proposed construction addition. We have lived in this home for eight years. Our hope is to expand our home to accommodate our growing family as we welcome our third child this summer. Our two young boys have grown to know and love our wonderful neighborhood and neighbors, all of whom we have good relations with. We grew up in Belmont, went through the Belmont Public School system and hope to continue to raise our family in this home.

We worked with our architect to review other homes in our neighborhood to be sure that our home would continue to be in harmony with our neighborhood. We have also discussed our plans with our neighbors and are grateful to have their support. Our proposed addition includes adding a second floor with four bedrooms and three bathrooms, as well as renovating the existing first floor to include a kitchen, dining area, half bathroom, living room and children's playroom. We are proposing to keep the existing single-car garage and basement as-is. We are not making any changes to the driveway or parking to minimize any impact on our neighbors. As shown in the attached landscape plan, we will furnish the exterior with various plants and trees. We are not removing any trees or mature plantings.

We feel that our proposed design is in unison with the Winn Brook neighborhood style. Our neighbors agree that our design is appropriate in size and mass for our street. We look forward to being able to stay in our home, and the neighborhood we love, with the space we need for our family.

We appreciate your consideration and attention.

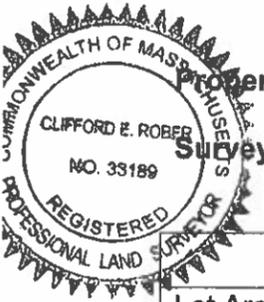
Warmly,

Connor, Krista, Boden, Mac and Baby Maguire

17 Hurley Street

Belmont, MA 02478

Zoning Compliance Check List (Registered Land Surveyor)



Property Address: 17 HURLEY STREET

Zone: SC

Surveyor Signature and Stamp: *Clifford E. Robber*

Date: 3/13/25

	REQUIRED	EXISTING	PROPOSED
Lot Area	9,000 SF	8,880 SF	—
Lot Frontage	75'	74.00'	—
Floor Area Ratio			
Lot Coverage	25%	19.0%	22.2%
Open Space	50%	72.6%	69.4%
Front Setback	25'	25.8	30.5
Side Setback	10'	9.2	9.2
Side Setback	10'	9.6'	9.6'
Rear Setback	30'	51.5'	51.4
Building Height	30'	14.3	27.4
Stories	2 1/2	1 STY	2 STY
1/2 Story Calculation			

NOTES:

Preview of letter delivered to all direct abutters on March 13, 2025

March 10, 2025

Dear Meira and Steve Ganak,

We, Connor and Krista Maguire of 17 Hurley Street, would like to notify you of our application for a special permit through the Town of Belmont Building Department. We are applying for a permit to construct an addition on our house to accommodate our growing family. Our hope is to renovate our home to add a second story so that we can continue to raise our family in the town in which we both grew up and in the neighborhood that we have loved being a part of for the past eight years. The proposed plans will be available shortly on the Town of Belmont Planning Board website, <https://www.belmont-ma.gov/1451/Planning-Board>. If you have any questions or concerns, please reach out to us by email anytime!

Sincerely,

Krista and Connor Maguire

17 Hurley Street

kristamaguire@gmail.com

ct.maguire18@gmail.com

Neighborhood Homes



12 Hurley Street



70 Middlecot Street



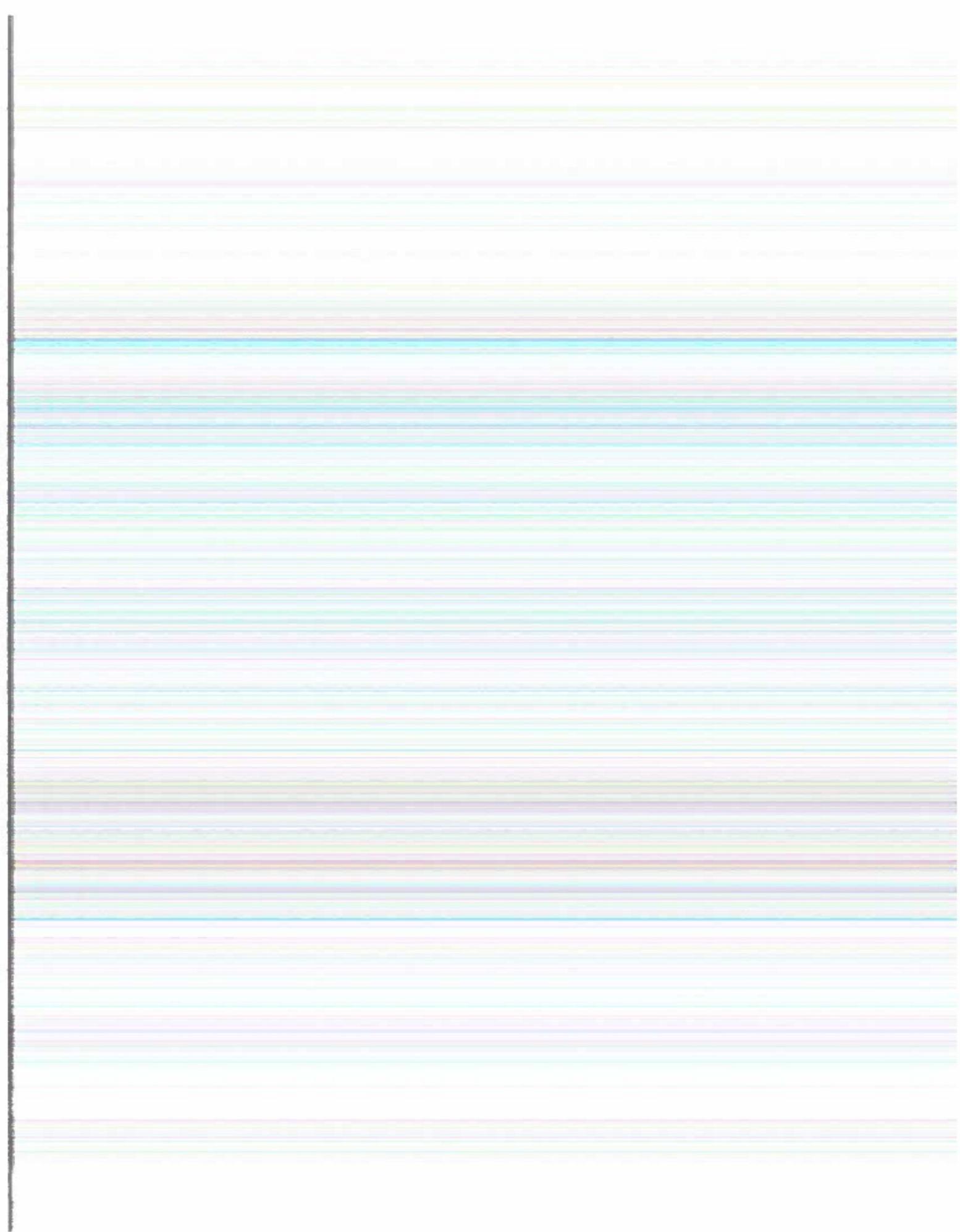
45 Middlecot Street



230 Cross Street



236 Cross Street



To whom It may Concern,

We, Terry and Rhona Kerans of 59 Middlecot St are neighbors of Krista and Connor Maguire. We are writing to express our full support of their plans to renovate their home at 17 Hurley St. Not only do we believe that the plans they have shared with us will be an asset to the neighborhood aesthetically, but also their family is an asset to our community. Their home is always well maintained and they have already added value to their property. The Maguires are a special family and we wholeheartedly support their remaining in the neighborhood.

Please feel free to reach out with any questions or if we can be of any help as we continue to support this effort,

Our best,

Rhona and Terry Kerans
59 Middlecot St.

To Whom it May Concern,

We, Jeremy & Betsy Brown of 12 Hurley Street, are writing in support of the proposed 2nd floor addition at 17 Hurley Street as neighbors who live across the street.

The Maguires are caring and thoughtful neighbors, always ensuring that their property is visually appealing from the street. We understand that they desire additional space for their growing family.

We have discussed the proposed addition with the Maguires and reviewed the building plans. We do not have any objections to the proposed aesthetics of the addition and we feel it would be within the general character of the neighborhood.

In summary, we are in full support of the proposed 2nd floor addition and have no concerns.

Thank you,
Betsy & Jeremy Brown
12 Hurley St, Belmont
Betsymikesell@hotmail.com
617-489-2215

Special Permit Criteria

17 Hurley Street

Connor and Krista Maguire

a) Location

- 1) We have a proposed stormwater mitigation plan and our proposed project will not create any adverse impacts on the neighborhood.
- 2) Our proposed project will not cause any substantial environmental impacts, including impacts to trees or any other natural resources.
- 3) Our proposed project will not cause any substantial impacts on municipal infrastructure, and will have minimal impact on traffic and abutting residential neighborhoods.

b) Activity Type and Mix

- 1) Our residential proposal will serve as housing for local residents, as we have lived in this home for eight years and hope to stay here to raise our family and contribute to the local community.
- 2) Our proposed project compliments the character and scale of existing buildings/uses/activities in the neighborhood and will not create undesirable impacts.
- 3) We feel our proposed project is beneficial for the town, in added tax revenue and fulfills a need of lifetime residents remaining in their neighborhood to raise our family.

c) Visual Concerns

- 1) We feel that our proposed project considers the public view and is considerate in that the style of home we have designed is in harmony with the Winn Brook neighborhood.
- 2) We are not proposing to enlarge our existing garage or driveway, so we feel the current and proposed project will not have negative visual impact in the area of parking and service.
- 3) We feel our proposed project is in unison with the architectural scale of the abutting and nearby homes.

d) Access

- 1) The proposed vehicular access/egress is not proposed to change at all and the proposed pedestrian accesses/egresses are safe and do not interfere with abutting public ways.
- 2) Our proposed project will allow for vehicular and pedestrian movement within the site will be safe and convenient and will not have any negative impact on abutters.

e) Process

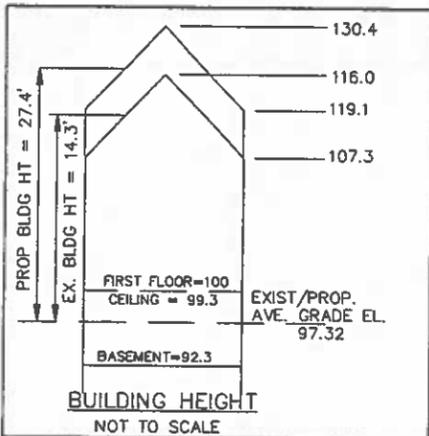
- 1) We have reviewed our proposed project thoroughly with many abutters and neighbors, all of whom have expressed full support of the project as proposed.
- 2) We will ensure to mitigate any potential negative impacts this project could cause for abutters, neighbors, our the community.

Sincerely,

Connor & Krista Maguire

17 Hurley Street

Belmont, MA 02478

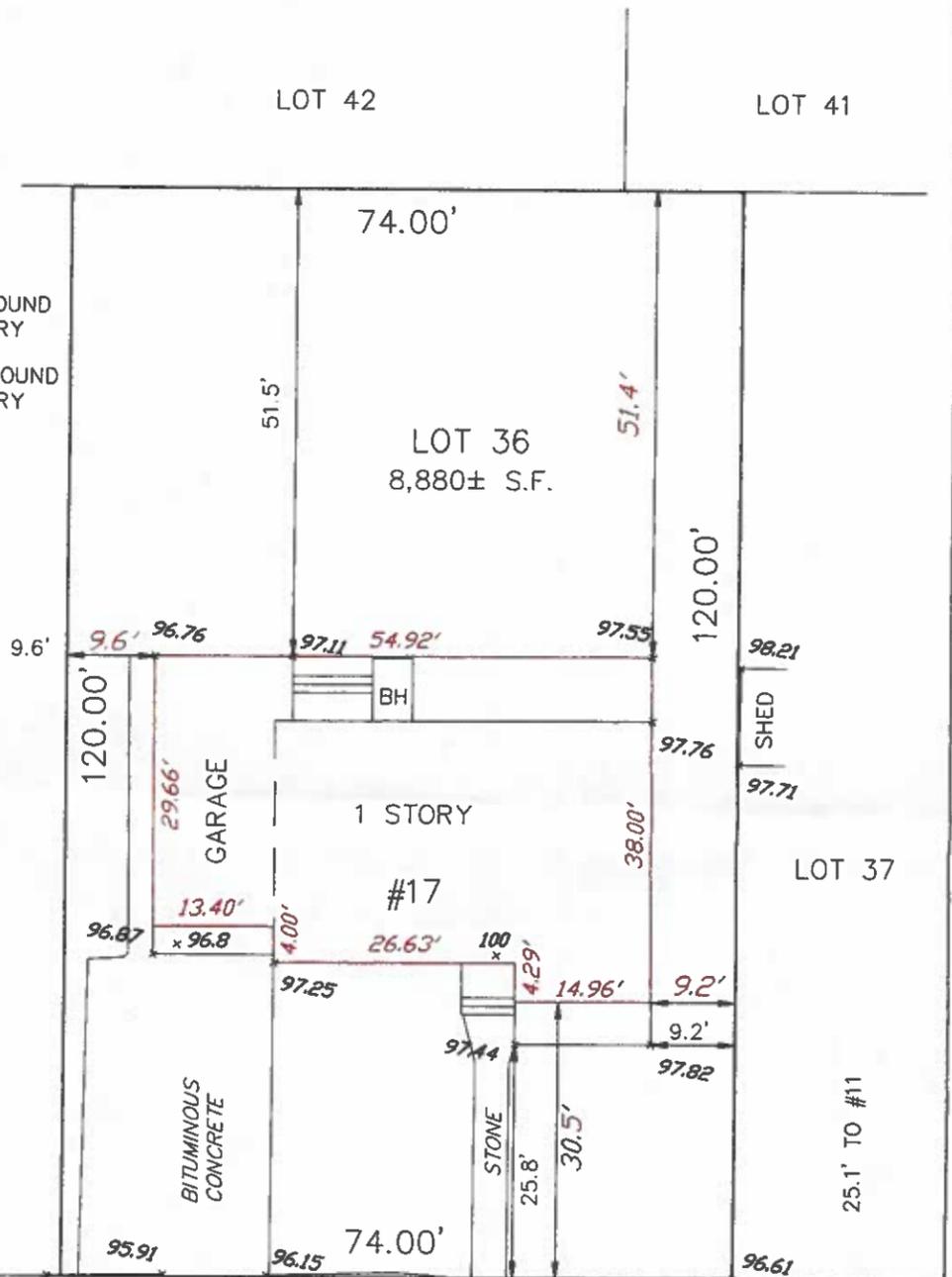


EXIST 79.3% OF BASEMENT UNDERGROUND THEREFOR BASEMENT IS NOT A STORY

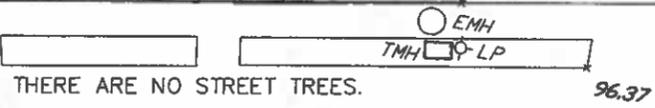
PROP. 79.7% OF BASEMENT UNDERGROUND THEREFOR BASEMENT IS NOT A STORY



LOT 35



THE PROPERTY IS NOT LOCATED WITHIN WETLANDS AS SHOWN ON THE TOWN OF BELMONT WETLANDS ATLAS.



HURLEY STREET

ZONING DISTRICT:	REQ.	EXISTING	PROP.
SC (SINGLE RESIDENCE C)			
FRONT SETBACK:	25'	25.8'	30.5'
SIDE SETBACK:	10'	9.2'	9.2'
REAR SETBACK:	30'	51.5'	51.4'
MAXIMUM LOT COVERAGE:	25%	19.0%	22.2%
MINIMUM OPEN SPACE:	50%	72.6%	69.4%
LOT FRONTAGE:		74.00'	

OWNER: CONNOR MAGUIRE & KRISTA MUZZIOLI
 L.C. CERT. 275046
 ASSESSORS MAP 44 - PARCEL 71

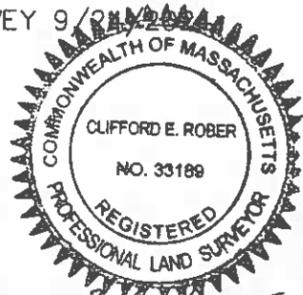
TOTAL LOT AREA: 8,880± S.F.
 FIELD WORK BY ROBER SURVEY 9/20/2024

PROPOSED PLOT PLAN
 #17 HURLEY STREET
 IN
 BELMONT, MA
 (MIDDLESEX COUNTY)

SCALE: 1" = 20' DATE: 12/17/2024



CLIFFORD ROBER, PLS
 14 HUDSON LANE
 W. HARWICH, MA 02671
 (781) 541-0205
 DWG. NO. 5488PP2.DWG



Clifford Rober
 CLIFFORD ROBER, PLS DATE 3/13/2025

SINGLE FAMILY RESIDENCE RENOVATION

17 HURLEY ST BELMONT, MA 02478

GENERAL NOTES:

G1. ALL WORK SHALL COMPLY WITH THE REQUIREMENTS OF THE 2015 INTERNATIONAL RESIDENTIAL BUILDING CODE WITH MASSACHUSETTS AMENDMENTS - 9TH EDITION

G2. CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY AND COORDINATE ALL DIMENSIONS WITH ARCHITECTURAL, ELECTRICAL, MECHANICAL, AND ANY OTHER SUBCONTRACTORS.

G3. WORK NOT INDICATED ON A PART OF THE DRAWING, BUT REASONABLY IMPLIED TO BE SIMILAR TO THAT SHOWN AT CORRESPONDING PLACES SHALL BE REPEATED.

G4. CONTRACTOR SHALL MAKE NO DEVIATIONS FROM THE DESIGN DRAWINGS WITHOUT WRITTEN CONSENT FROM THE ARCHITECT.

SCOPE OF WORK: SINGLE FAMILY RESIDENCE RENOVATION AND ADDITION

APPLICABLE BUILDING CODES

MASSACHUSETTS STATE BUILDING CODE - 780 CMR- NINTH EDITION
CONTRACTOR SHALL COMPLY WITH THE ABOVE CODES AND ALL LOCAL CODES. CONTRACTOR TO NOTIFY ARCHITECT OF ANY CONDITIONS THAT VARY FROM CONSTRUCTION DOCUMENTS PRIOR TO PROCEEDING WITH CONSTRUCTION.



EXISTING FRONT VIEW



NEW FRONT VIEW

GENERAL NOTES

- 1-ALL WORK TO CONFORM TO STATE BUILDING CODES
- 2-SUPPORT ALL LOADS DURING CONSTRUCTION
- 3-VERIFY ALL WORK WITH BUILDER PRIOR TO START. VERIFY ALL MANUFACTURERS AND PRODUCT SPECS.
- 4-ALL DIMENSIONS ARE FACE OF STUD OR FACE OF FINISH
- 5-VERIFY ALL DIMENSIONS AND ADJUST WORK AS REQUIRED TO MEET FIELD CONDITIONS
- 6-SEE ADDITIONAL DRAWINGS AND SPECIFICATIONS FOR ADDITIONAL INFORMATION FOR CONSTRUCTION
- 7-ALL STRUCTURAL BEAMS - IE. MICRO LAM BEAMS, LVL TO BE INSTALLED 1/4" DOWN FROM SUB FLOOR AT ALL FLUSH BEAM LOCATIONS TO ALLOW FOR SHRINKAGE
- 8-INSTALL SOLID BLOCKING BETWEEN JOIST BELOW ALL BEARING PARTITIONS WALLS
- 9-N/A
- 10-ALL POST TO BE INSTALLED WITH SOLID BLOCKING BETWEEN JOIST. ALL POST TO CONTINUE DOWN THROUGH FRAMING TO FOUNDATION SUPPORTS
- 11-ALL WOOD AND MICRO LAM BEAMS TO BE GLUED AND NAILED OR BOLTED AS DEFINED IN DRAWINGS. ALL NAILING FOR ALL LVL TO MEET BUILDING CODE.
- 12-ALL CUTTING AND NOTCHING OF STUDS, JOIST OR BEAMS TO CONFORM TO MANUFACTURE & STATE BUILDING CODE.
- 13-ALL REQUIRED HEADER SIZES TO MEET OR EXCEED THE STATE BUILDING CODE. REFER TO THE FRAMING DRAWINGS FOR ADDITIONAL INFORMATION.
- 14- ALL CONNECTION HARDWARE - HANGERS AND STRAPS, TO BE SIMPSON BRAND - GALVANIZED STEEL INTERIOR AND STAINLESS STEEL FOR ALL EXTERIOR APPLICATION
- 15- REFER TO STATE BUILDING CODE FOR THE CODE REQUIREMENTS FASTENER SCHEDULE
- 17- ALL FOUNDATIONS INSTALLED UPON UNDISTURBED SOIL WITH FOOTINGS INSTALLED 4 FEET MIN. BELOW GRADE
- 18- ALL WINDOWS AND EXTERIOR DOORS TO COMPLY WITH THE STATE EGRESS AND ENERGY REQUIREMENTS.

SYMBOLS LEGEND

- EXISTING WALL CONSTRUCTION
- ▤ INTERIOR BEARING WALL CONSTRUCTION
- ▬ NEW WALL CONSTRUCTION 2x4 INTERIOR 2x6 EXTERIOR UNLESS NOTED OTHERWISE
- - - - - WALLS/ STRUCTURE TO BE DEMOLISHED

ARCHITECT:
Mark Schryver
370 Goss Lane
Lancaster, MA 01523
ph. (978) 844-4708



DATE: 2.3.2025

PROJECT INFO

SCALE: NOT TO SCALE

PERMIT SET

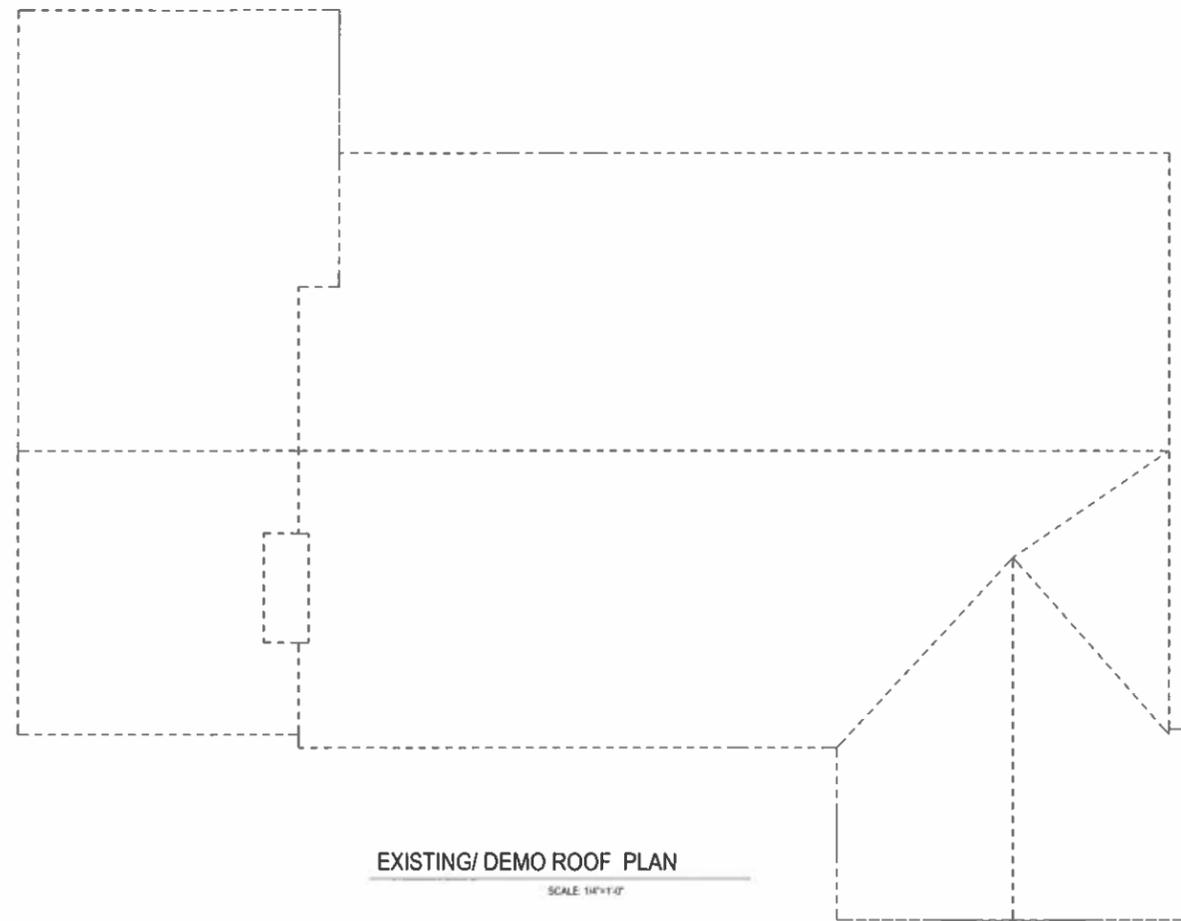
A1

DRAWING INDEX

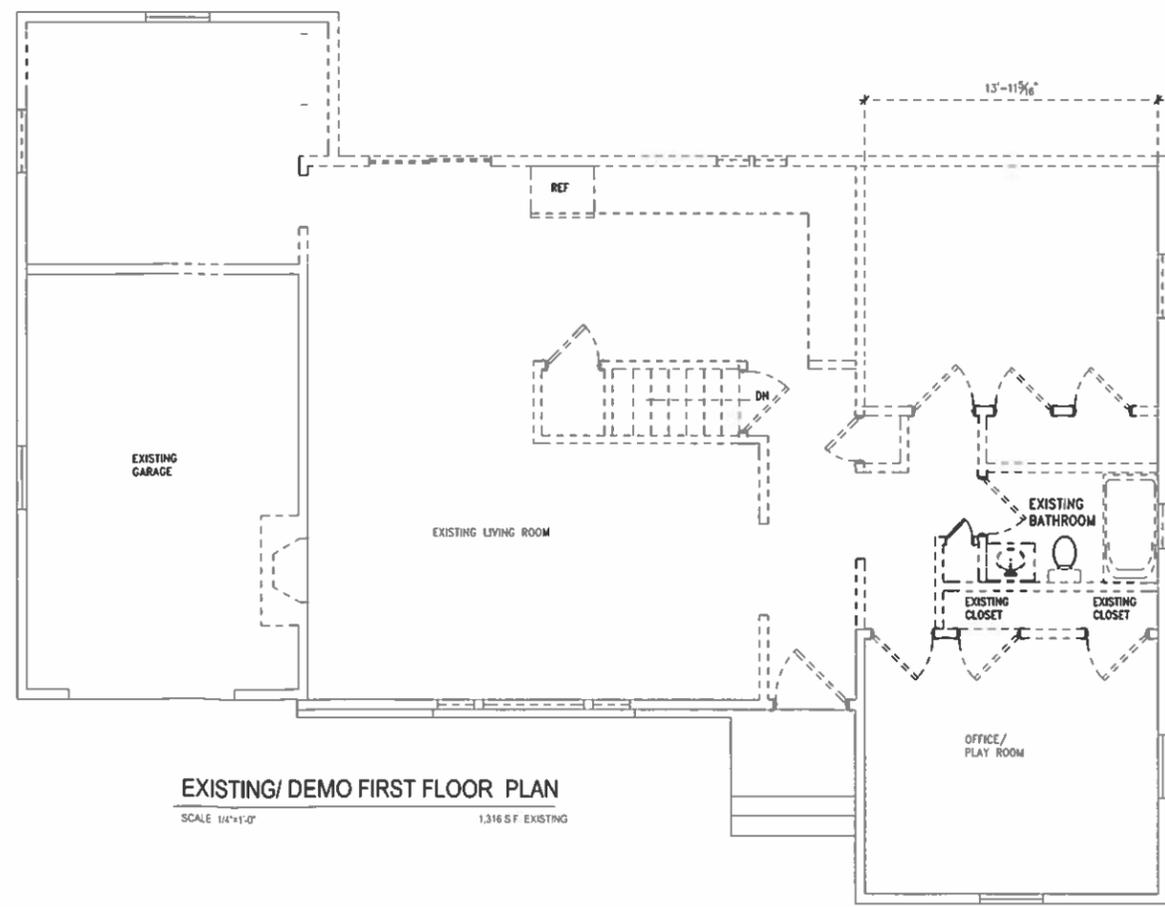
ARCHITECTURAL DRAWINGS

- A0 TITLE SHEET: SITE PLAN & PLOT PLAN
- A1 NEW FLOOR PLANS
- A2 NEW FLOOR PLANS
- A3 ROOF PLAN, DETAILS
- A4 EXTERIOR ELEVATIONS
- A5 EXTERIOR ELEVATIONS
- A6 BUILDING SECTION

- S1 FOUNDATION PLAN, FIRST FLOOR FRAMING/ DETAILS
- S2 SECOND FLOOR, ROOF FRAMING PLAN/ DETAILS



EXISTING/ DEMO ROOF PLAN
SCALE 1/4"=1'-0"



EXISTING/ DEMO FIRST FLOOR PLAN
SCALE 1/4"=1'-0" 1,316 SF EXISTING

GENERAL NOTES

- 1-ALL WORK TO CONFORM TO STATE BUILDING CODES
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- 18- ALL WINDOWS AND EXTERIOR DOORS TO COMPLY WITH THE STATE EGRESS AND ENERGY REQUIREMENTS.

SYMBOLS LEGEND

- EXISTING WALL CONSTRUCTION
 - INTERIOR BEARING WALL CONSTRUCTION
 - NEW WALL CONSTRUCTION 2x4 INTERIOR 2x6 EXTERIOR UNLESS NOTED OTHERWISE
 - WALLS/ STRUCTURE TO BE DEMOLISHED
 - SD One smoke alarm on every habitable level of the residence.
 - One smoke alarm at the base of each stairway.
 - One smoke alarm outside of each separate sleeping area.
 - One smoke alarm inside every sleeping area.
 - A minimum of one smoke alarm must be installed for every 1,200 square feet of living space per level.
 - SD/CO COMBINATION ALARMS (PHOTOELECTRIC SMOKE AND CARBON MONOXIDE ALARMS) MAY BE USED. COMBINATION ALARMS MUST HAVE BOTH A TONE AND SQUALLING VOICE ALARM TO DISTINGUISH THE TYPE OF EMERGENCY
 - On every level of the residence, including basements and habitable portions of attics, and must be located within 10 feet of each bedroom door.
 - Combination alarms (photoelectric smoke and carbon monoxide alarm) may be used.
 - Must be hardwired and interconnected with battery backup.
 - HD HEAT DETECTOR IN GARAGE
 - Must be hardwired and interconnected with battery backup.
- Combination detectors (photoelectric smoke and carbon monoxide detector) may be used if the detector is within 20 feet of a kitchen or bathroom (containing a bathtub or shower).
- Combination detectors (ionization smoke and carbon monoxide detector) may be used if the detector is outside of 20 feet of a kitchen or bathroom (containing a bathtub or shower).

17 HURLEY ST
BELMONT, MA 02478

ARCHITECT:
Mark Schryver
370 Goss Lane
Lancaster, MA 01523
ph. (978) 844-4708

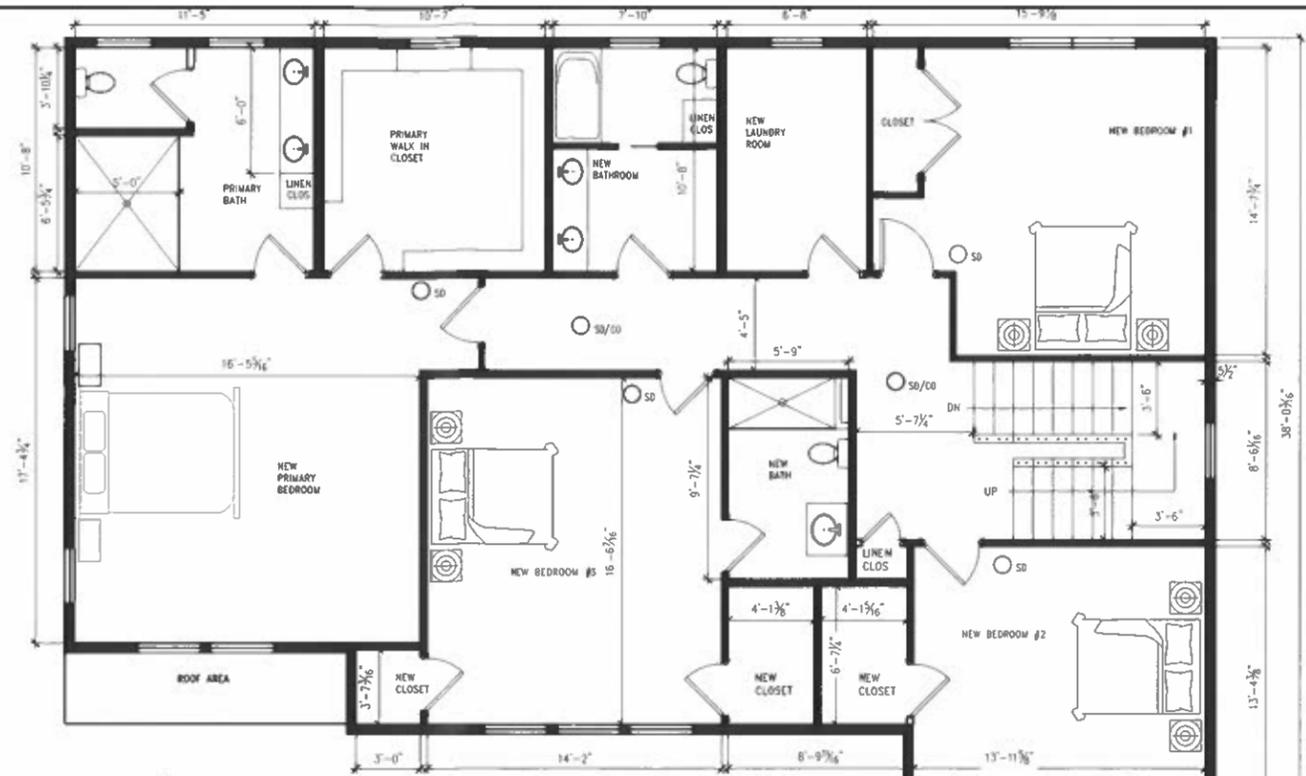


DATE: 2.3.2025

EXISTING/ DEMO
PLANS

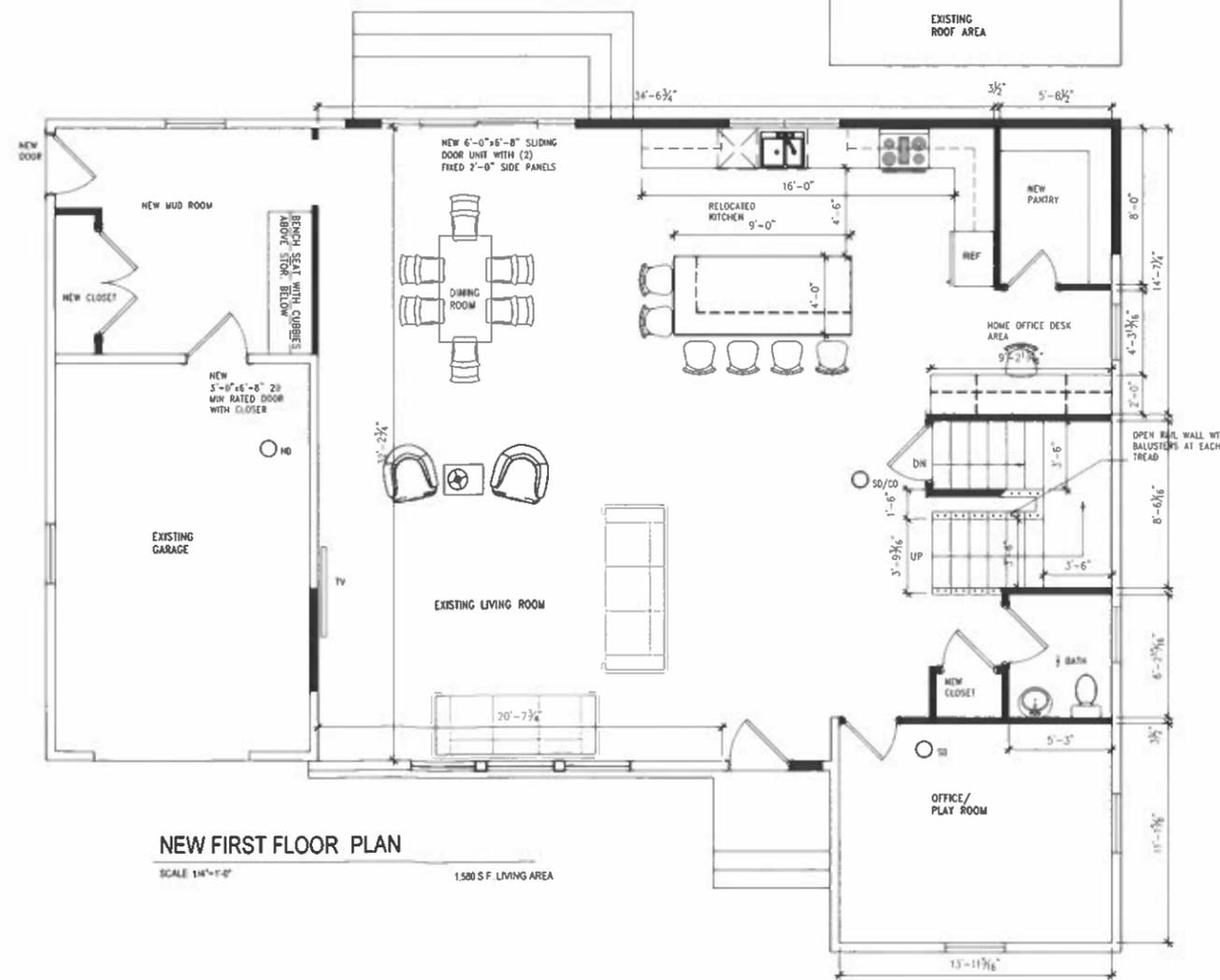
SCALE: AS NOTED

PERMIT SET A1



NEW SECOND FLOOR PLAN

SCALE: 1/4"=1'-0" 1,756 S.F. LIVING AREA



NEW FIRST FLOOR PLAN

SCALE: 1/4"=1'-0" 1,580 S.F. LIVING AREA

GENERAL NOTES

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BELMONT, MA 02478

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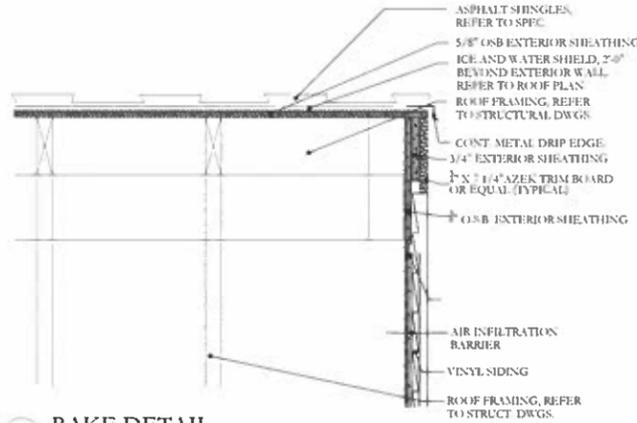


DATE: 2.3.2025

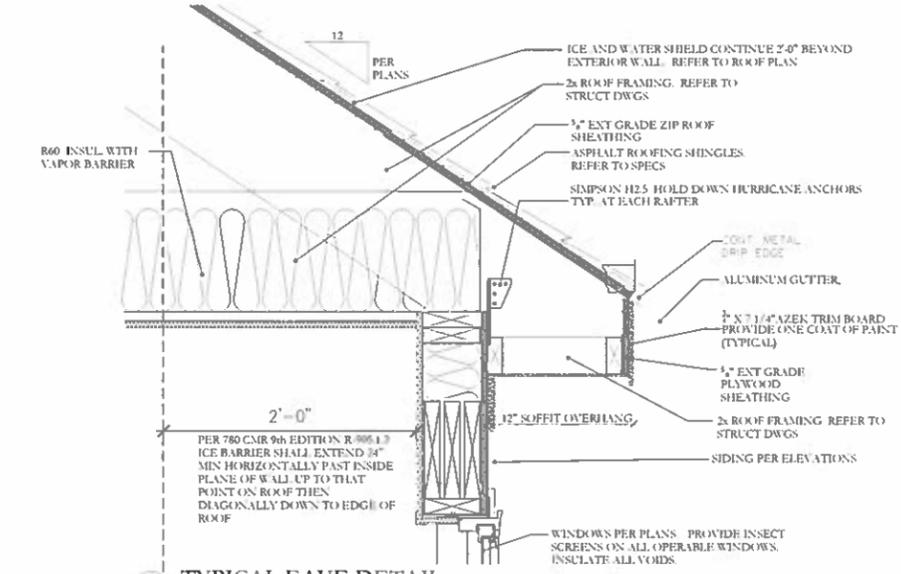
NEW FLOOR PLANS

SCALE: AS NOTED

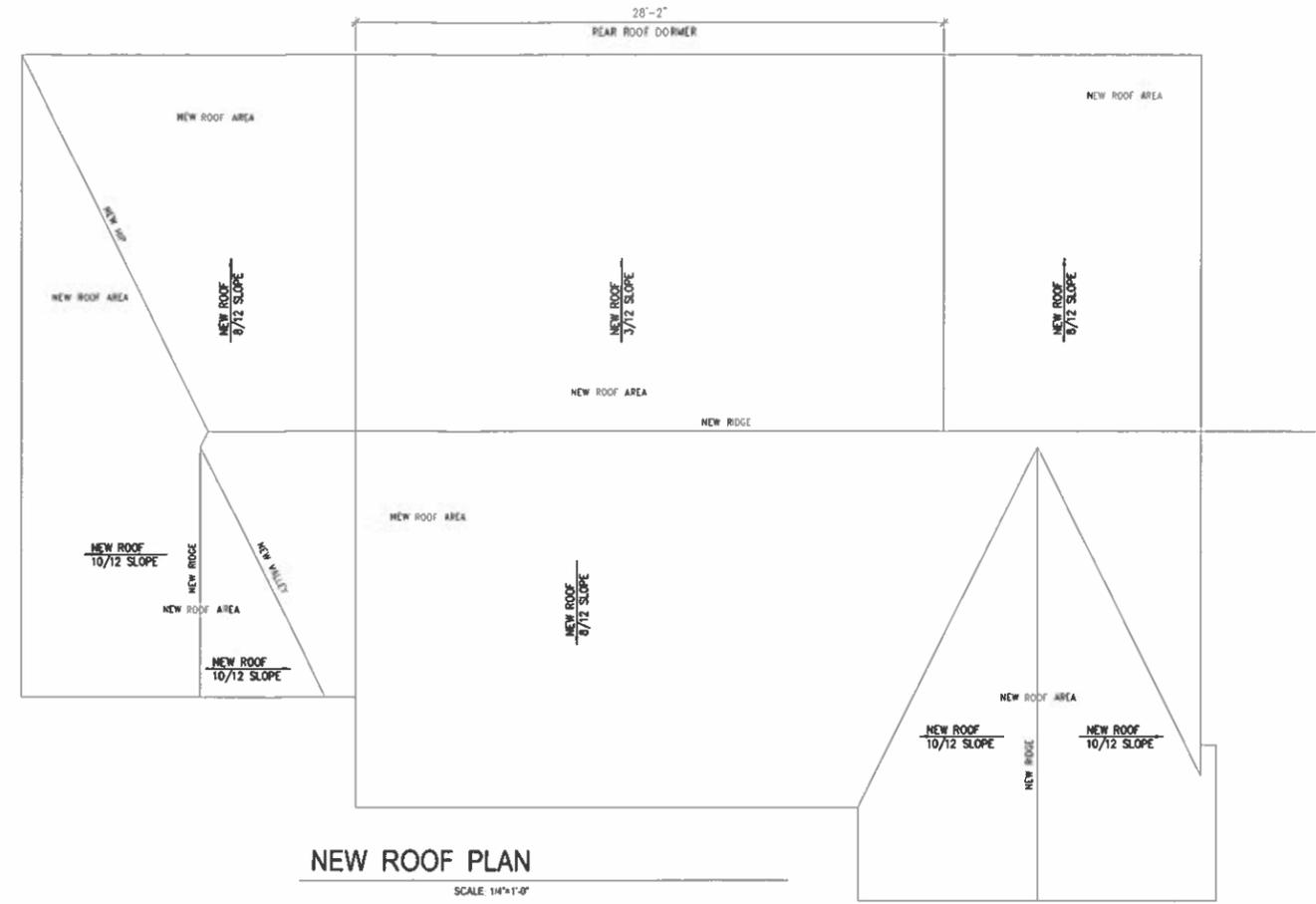
PERMIT SET A2



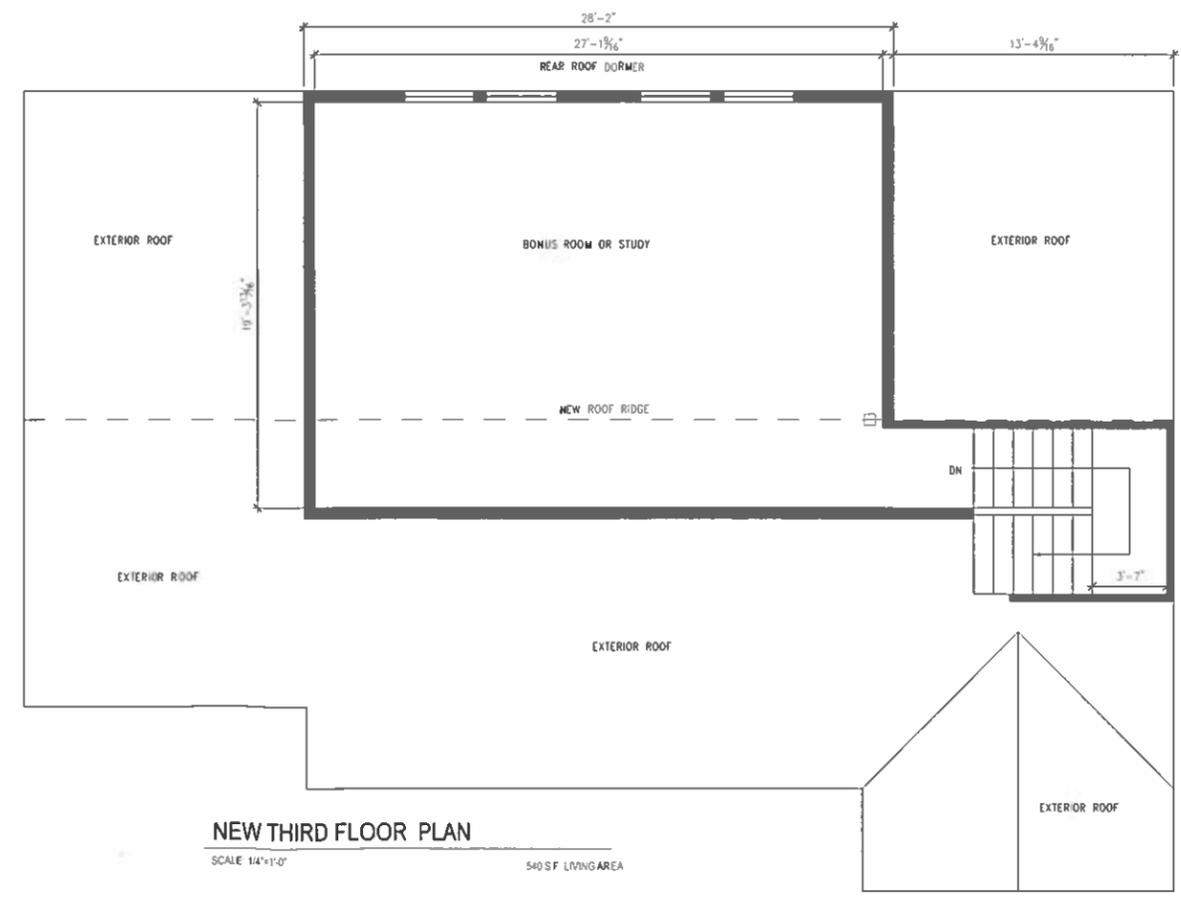
2 RAKE DETAIL
SCALE: 1 1/2" = 1'-0"



1 TYPICAL EAVE DETAIL
SCALE: 1 1/2" = 1'-0"



NEW ROOF PLAN
SCALE: 1/4" = 1'-0"



NEW THIRD FLOOR PLAN
SCALE: 1/4" = 1'-0" 540 SF LIVING AREA

GENERAL NOTES

- 1-ALL WORK TO CONFORM TO STATE BUILDING CODES
- 2-SUPPORT ALL LOADS DURING CONSTRUCTION
- 3-VERIFY ALL WORK WITH BUILDER PRIOR TO START. VERIFY ALL MANUFACTURERS AND PRODUCT SPECS.
- 4-ALL DIMENSIONS ARE FACE OF STUD OR FACE OF FINISH
- 5-VERIFY ALL DIMENSIONS AND ADJUST WORK AS REQUIRED TO MEET FIELD CONDITIONS
- 6-SEE ADDITIONAL DRAWINGS AND SPECIFICATIONS FOR ADDITIONAL INFORMATION FOR CONSTRUCTION
- 7-ALL STRUCTURAL BEAMS: IE. MICRO LAM BEAMS, LVL, TO BE INSTALLED 1/4" DOWN FROM SUB FLOOR AT ALL FLUSH BEAM LOCATIONS TO ALLOW FOR SHRINKAGE
- 8-INSTALL SOLID BLOCKING BETWEEN JOIST BELOW ALL BEARING PARTITIONS WALLS
- 9-N/A
- 10-ALL POST TO BE INSTALLED WITH SOLID BLOCKING BETWEEN JOIST. ALL POST TO CONTINUE DOWN THROUGH FRAMING TO FOUNDATION SUPPORTS
- 11-ALL WOOD AND MICRO LAM BEAMS TO BE GLUED AND NAILED OR BOLTED AS DEFINED IN DRAWINGS. ALL NAILING FOR ALL LVL TO MEET BUILDING CODE.
- 12-ALL CUTTING AND NOTCHING OF STUDS, JOIST OR BEAMS TO CONFORM TO MANUFACTURE & STATE BUILDING CODE.
- 13-ALL REQUIRED HEADER SIZES TO MEET OR EXCEED THE STATE BUILDING CODE. REFER TO THE FRAMING DRAWINGS FOR ADDITIONAL INFORMATION.
- 14- ALL CONNECTION HARDWARE: HANGERS AND STRAPS, TO BE SIMPSON BRAND: GALVANIZED STEEL INTERIOR AND STAINLESS STEEL FOR ALL EXTERIOR APPLICATION
- 15- REFER TO STATE BUILDING CODE FOR THE CODE REQUIREMENTS FASTENER SCHEDULE
- 17- ALL FOUNDATIONS INSTALLED UPON UNDISTURBED SOIL. WITH FOOTINGS INSTALLED 4 FEET MIN. BELOW GRADE
- 18- ALL WINDOWS AND EXTERIOR DOORS TO COMPLY WITH THE STATE EGRESS AND ENERGY REQUIREMENTS.

SYMBOLS LEGEND

- EXISTING WALL CONSTRUCTION
- INTERIOR BEARING WALL CONSTRUCTION
- NEW WALL CONSTRUCTION 3-4 INTERIOR 2-6 EXTERIOR UNLESS NOTED OTHERWISE
- WALLS/ STRUCTURE TO BE DEMOLISHED
- SD One smoke alarm on every habitable level of the residence.
 - One smoke alarm at the base of each stairway.
 - One smoke alarm outside of each separate sleeping area.
 - One smoke alarm inside every sleeping area.
 - A minimum of one smoke alarm must be installed for every 1,200 square feet of living space per level.
- SD/CO COMBINATION ALARMS (PHOTOELECTRIC SMOKE AND CARBON MONOXIDE ALARMS) MAY BE USED. COMBINATION ALARMS MUST HAVE BOTH A TONE AND SIMULATED VOICE ALARM TO DISTINGUISH THE TYPE OF EMERGENCY.
 - On every level of the residence, including basements and habitable portions of offices, and must be located within 10 feet of each bedroom door.
 - Combination alarms (photoelectric smoke and carbon monoxide alarm) may be used.
 - Must be hardwired and interconnected with battery backup.
- HD HEAT DETECTOR IN GARAGE
 - Must be hardwired and interconnected with battery backup.
- Combination detectors (photoelectric smoke and carbon monoxide detector) may be used if the detector is within 20 feet of a kitchen or bathroom (containing a bathtub or shower).
- Combination detectors (ionization smoke and carbon monoxide detector) may be used if the detector is outside of 20 feet of a kitchen or bathroom (containing a bathtub or shower).

17 HURLEY ST
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ARCHITECT:
Mark Schryver
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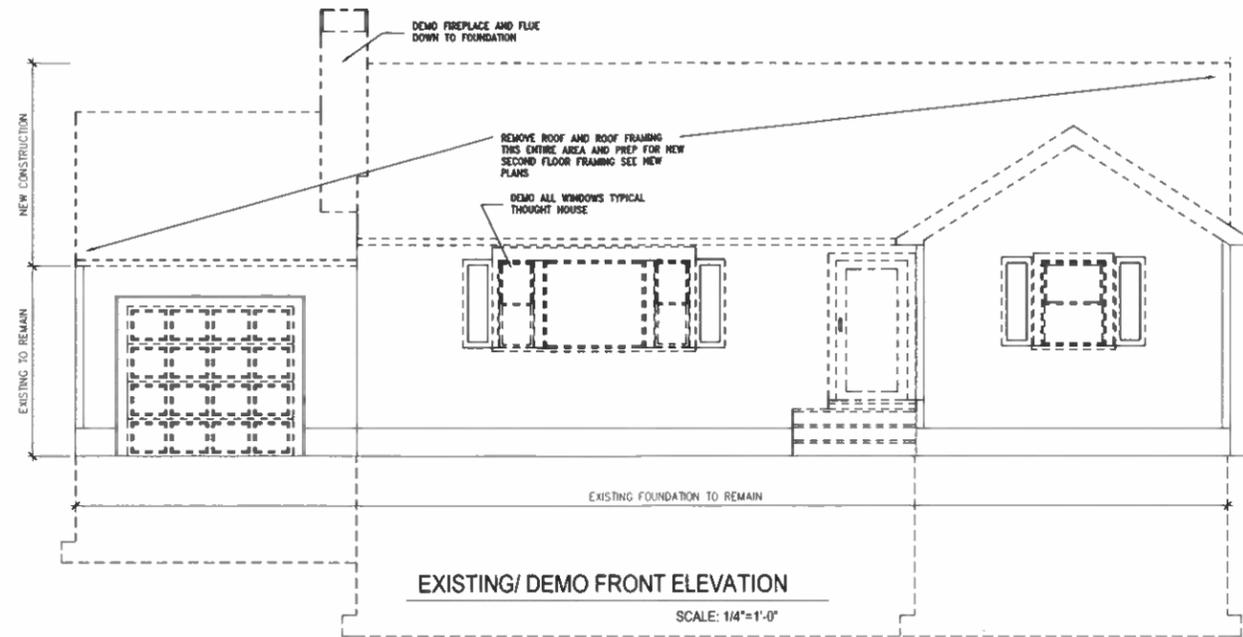
DATE: 2.3.2025

NEW PLANS,
DETAILS

SCALE: AS NOTED

PERMIT SET

A3



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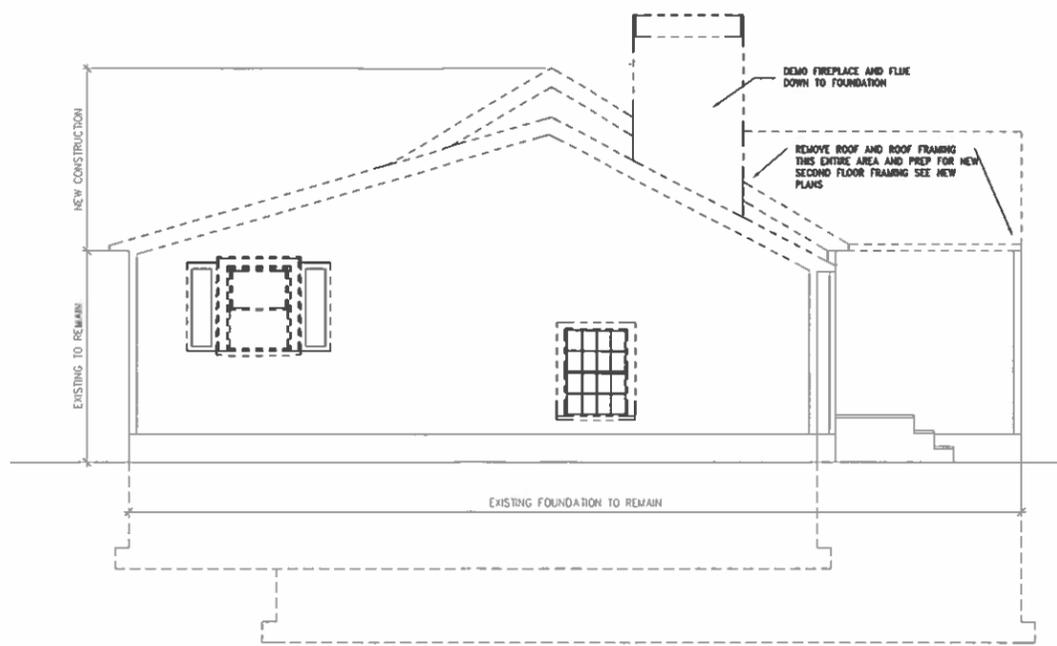
DATE: 2.3.2025

EXISTING/ DEMO
EXTERIOR ELEVATIONS

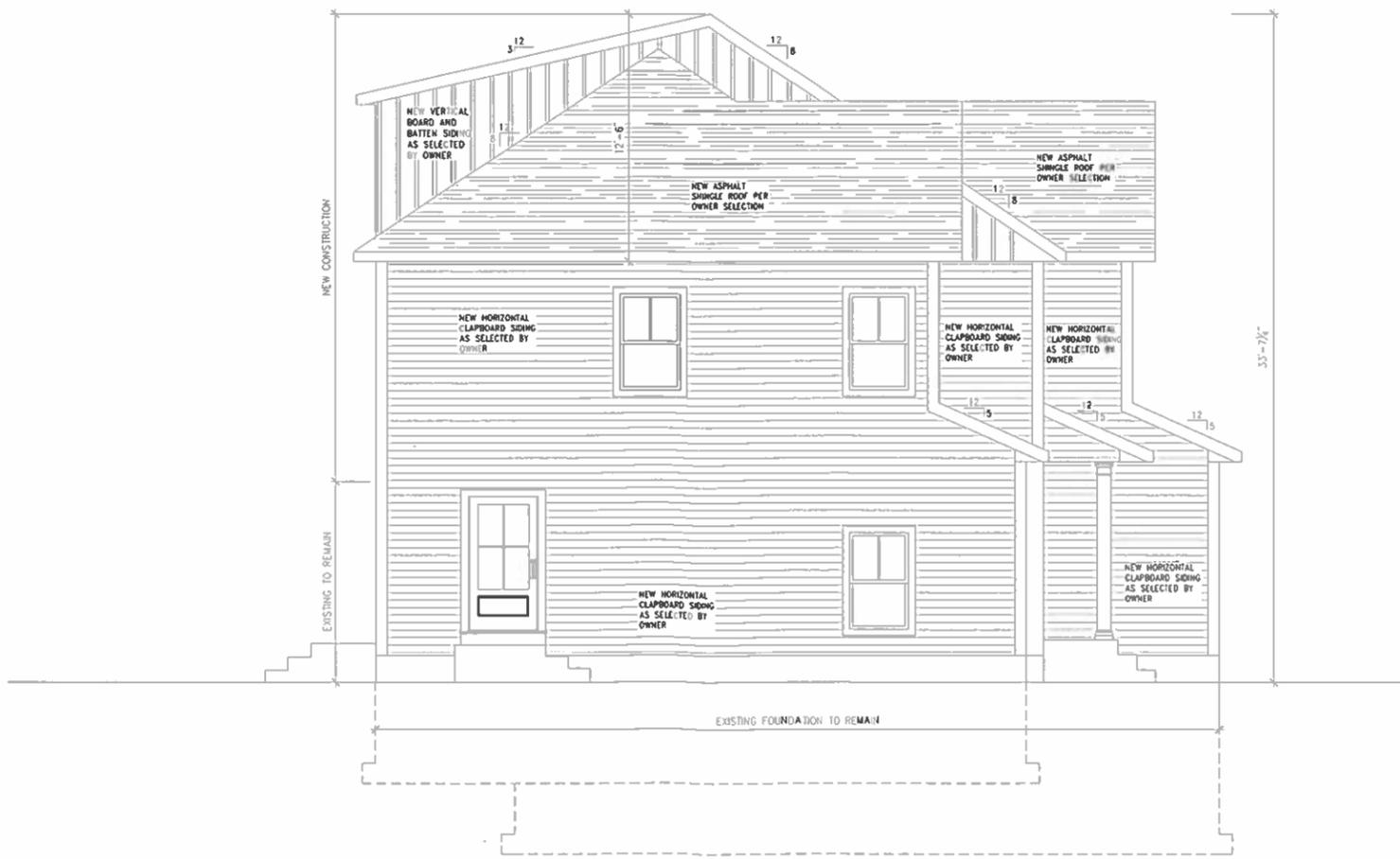
SCALE: 1/4"=1'-0"

PERMIT SET

A4



EXISTING/ DEMO LEFT SIDE ELEVATION
SCALE: 1/4"=1'-0"



EXISTING/ DEMO LEFT SIDE ELEVATION
SCALE: 1/4"=1'-0"

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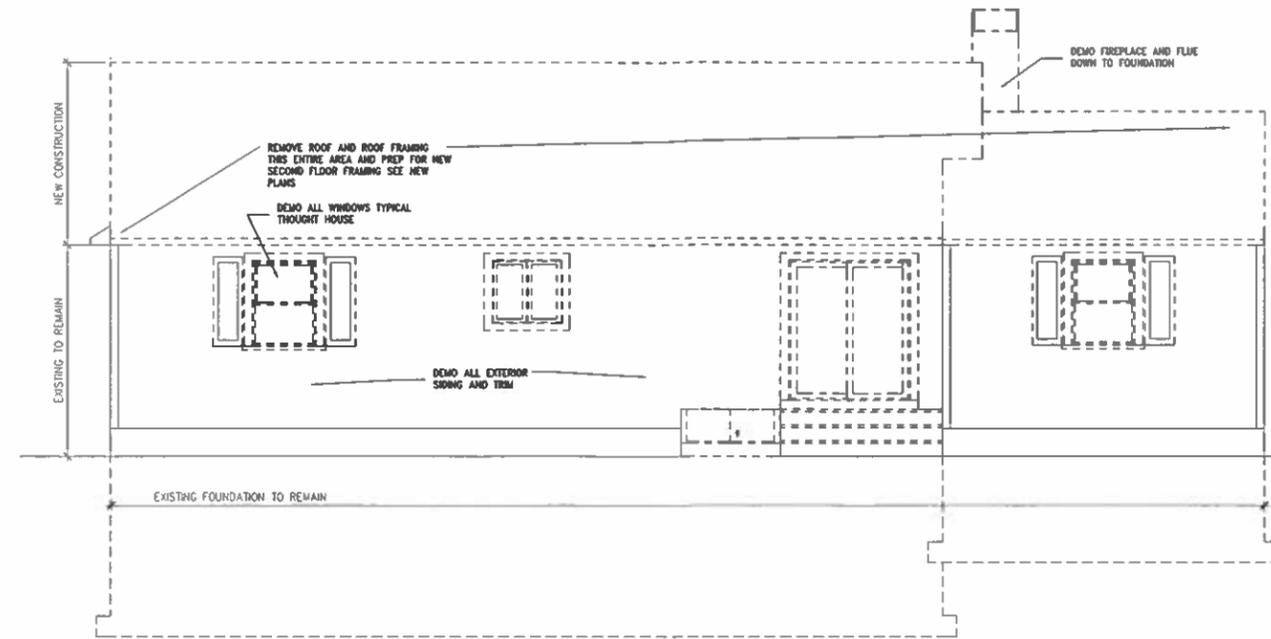
DATE: 2.3.2025

EXISTING/ DEMO
EXTERIOR ELEVATIONS

SCALE: 1/4"=1'-0"

PERMIT SET

A4



EXISTING REAR ELEVATION

SCALE: 1/4"=1'-0"



NEW REAR ELEVATION

SCALE: 1/4"=1'-0"

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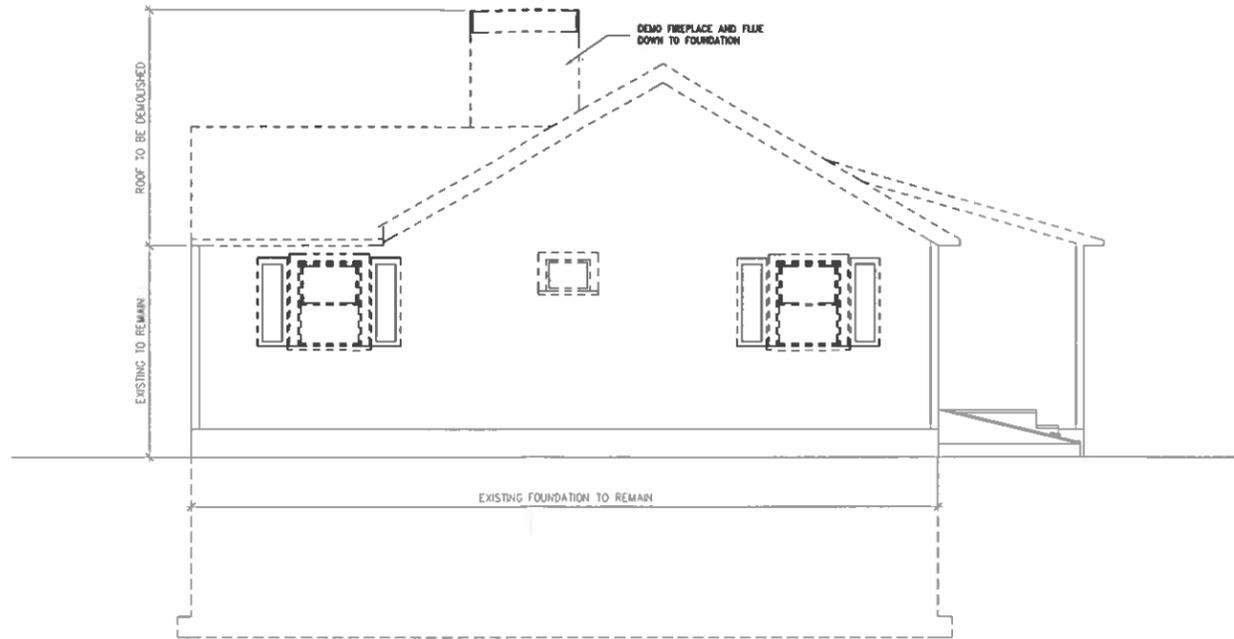
DATE: 2.3.2025

EXISTING/ DEMO
EXTERIOR ELEVATIONS

SCALE: 1/4"=1'-0"

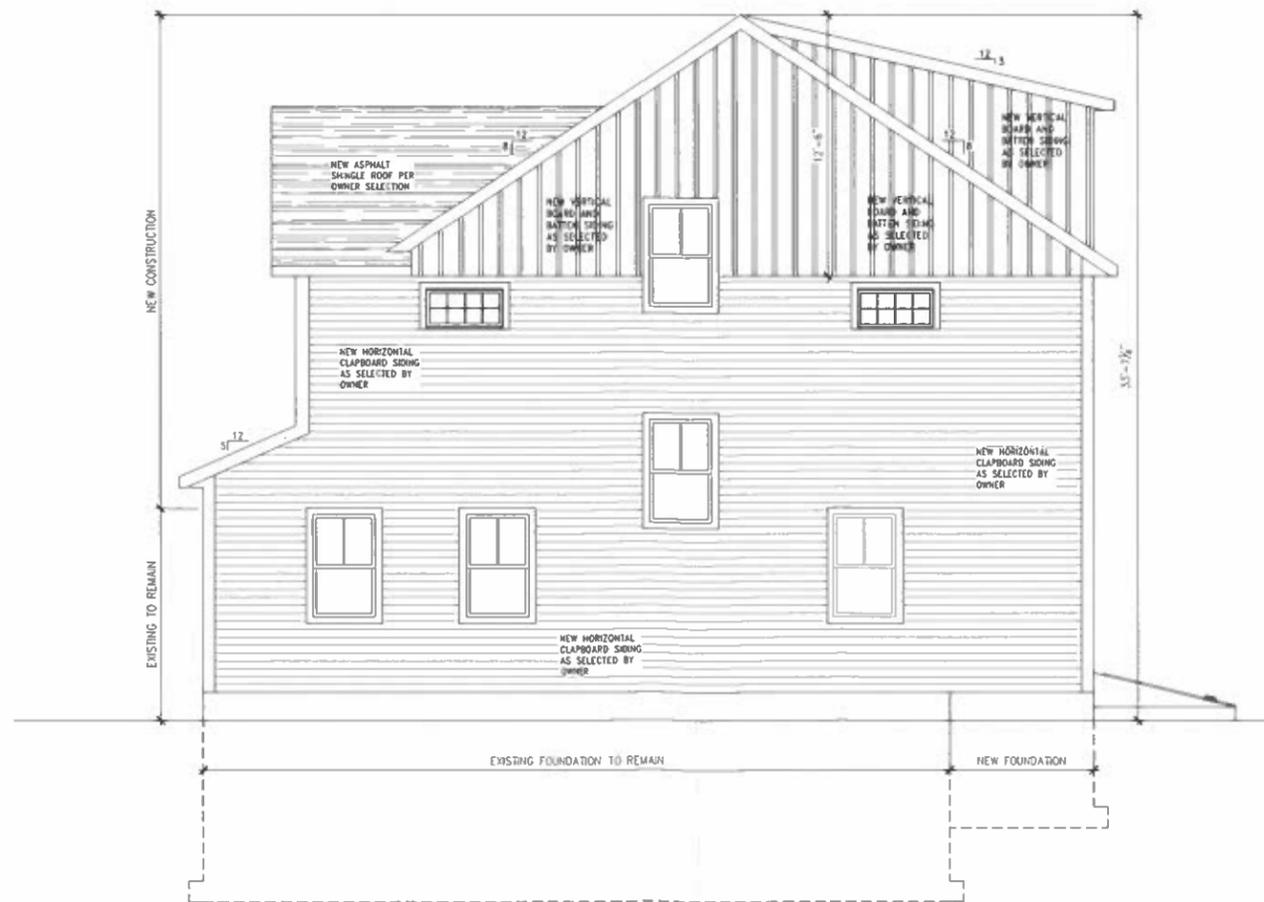
PERMIT SET

A6



NEW RIGHT SIDE ELEVATION

SCALE: 1/4"=1'-0"



NEW RIGHT SIDE ELEVATION

SCALE 1/4"=1'-0"

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DATE: 2.3.2025

EXISTING/ DEMO
EXTERIOR ELEVATIONS

SCALE: 1/4"=1'-0"

PERMIT SET

A7