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TOWN CLERK
BELMONT, MA

CASE NO. 25-25

2025 AUG -5 PM 3:15

NOTICE OF PUBLIC HEARING BY THE
ZONING BOARD OF APPEALS

ON APPLICATION FOR TWO SPECIAL PERMITS AND A VARIANCE

Notice is hereby given that the Belmont Zoning Board of Appeals will hold a public Hearing on Monday, September 8, 2025 at 7:00 PM by a hybrid public hearing at the Art Gallery on the third floor of the Homer Building, 19 Moore Street, and by remote access through the Zoom app. to consider the application of Frank Valentino for Two Special Permits and One Variance under Sections 3.3 and 4.2 of the Zoning By-Law to Construct a Mixed-Use Building at 23 White Street, located in a Local Business I (LBI) Zoning District. Special Permits: 1.- §3.3 of the Town of Belmont's Zoning By-Law states, "Mixed-Use - provided that at a minimum the first floor is to be reserved for commercial use and that the residential use complies with §6.10, inclusionary Housing" may be allowed only by Special Permit from the Board of Appeals. 2.- Minimum required front setback is 5.0', the existing and proposed is 1.3'. Variance: 1.- Maximum allowed FAR in LBI district is 1.25, the existing is 0.7 and the proposed is 2.51.

ZONING BOARD OF APPEALS

AVERY DOOLEY & NOONE, LLP

ATTORNEYS AT LAW SINCE 1921

3 Brighton Street
Belmont, MA 02478
www.averydooley.com

(617) 489-5300 *main number*
(617) 993-3604 *direct dial*
(617) 489-0085 *fax*
jnoone@averydooley.com

June 25, 2025

BY HAND

Town of Belmont
Planning Board
Office of Community Development
Homer Municipal Building, 2nd Floor
19 Moore Street
Belmont, MA 02478

Re: Application for Special Permit and Variance for 23 White Street, Belmont
Our File No. GJN-092324-14252

Dear Sir/Madam:

Enclosed please find an original and ten (10) copies of the following documents regarding the above-referenced Application for Special Permit and a Variance to renovate the existing commercial garage pursuant to By-Law Sections 3.3 and 6.10:

1. Application for Special Permit and Variance;
2. Building Permit Denial Letter;
3. Statement of Applicant;
4. Architectural Plans;
5. Plot Plan;
6. Zoning Compliance Check List; and
7. Two Checks in the total amount of \$525.00 for administrative expenses and for legal advertisements.

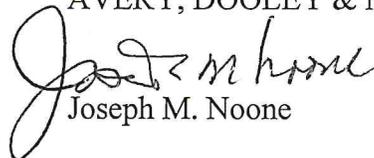
A digital copy of the application has been submitted to Mr. Yogurtian.

Kindly advise of the hearing date when it is scheduled.

Thank you for your time and consideration. Please do not hesitate to contact me with any questions or requests for additional information.

Very truly yours,

AVERY, DOOLEY & NOONE, LLP


Joseph M. Noone

JMN/lmt
Enclosures



Town of Belmont
Zoning Board of Appeals

APPLICATION FOR A SPECIAL PERMIT

Date: June 25, 2025

Zoning Board of Appeals
Homer Municipal Building
19 Moore Street
Belmont, MA 02478

To Whom It May Concern:

Pursuant to the provisions of Massachusetts General Laws, Chapter 40A, Section 9, as amended, and the Zoning By-Laws of the Town of Belmont, I/we the undersigned, being the owner(s) of a certain parcel of land (with the buildings thereon) situated on 23 White Street/Road, hereby apply to your Board for a **SPECIAL PERMIT** for the erection or alteration on said premises or the use thereof under the applicable Section of the Zoning By-Law of said Town for _____
a special permit to renovate the existing structure pursuant to Section 3.3 and special permit for the proposed front set back of 1.3'.

on the ground that the same will be in harmony with the general purpose and intent of said Zoning By-Law.

Signature of Petitioner _____

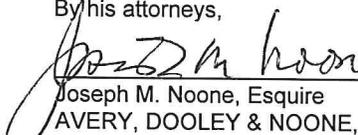
Print Name Frank Valentino

Address 80 Clark Lane

Waltham, MA 02451

Daytime Telephone Number (617) 877-1705

By/his attorneys,



Joseph M. Noone, Esquire
AVERY, DOOLEY & NOONE, LLP
3 Brighton Street, Belmont, MA 02478
(617) 489-5300

December 6, 2005



Town of Belmont
Zoning Board of Appeals

APPLICATION FOR A VARIANCE

Date: June 25, 2025

Zoning Board of Appeals
Homer Municipal Building
19 Moore Street
Belmont, MA 02478

To Whom It May Concern:

Pursuant to the provisions of the Massachusetts General Laws, Chapter 40A, Section 10, as amended, I/we, the undersigned, being the owner(s) of a certain parcel of land (with the buildings thereon) situated on 23 White Street/Road, petition your Board to vary the terms of the Zoning By-Laws of the Town insofar as the same applies to the proposed erection of a mixed-use renovation, in accordance with the plan attached hereto, on the ground that (submit a written statement addressing each of these criteria):

1. Owing to circumstances relating to soil conditions, shape or topography of such land or structures and especially affecting such land or structures but not affecting generally the Zoning District in which it is located, a literal enforcement of the Provisions of this By-Law would involve substantial hardship, financial or otherwise, to the petitioner;
2. Desirable relief may be granted without substantial detriment to the public good, (i.e., surrounding neighborhood), and;
3. Without nullifying or substantially derogating from the intent and purpose of this By-Law.

The petitioner(s) seek permission to construct: (brief description and violation)

A mixed-use renovation for a three-story building with the first floor consisting of a commercial use and parking, and eight (8) residential units on the second and third floors. A variance is required because the proposed FAR is 2.51 and in LBI permitted FAR is 1.25 in Section 4.2.1.

Signature of Petitioner _____

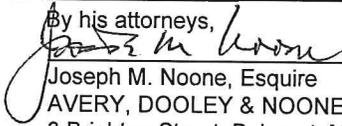
Print Name Frank Valentino

Address 80 Clark Lane

Waltham, MA 02451

Daytime Telephone Number (617) 877-1705

December 6, 2005

By his attorneys,

Joseph M. Noone, Esquire
AVERY, DOOLEY & NOONE, LLP
3 Brighton Street, Belmont, MA 02478
(617) 489-5300



OFFICE OF PLANNING & BUILDING
TOWN OF BELMONT
19 Moore Street
Homer Municipal Building
Belmont, Massachusetts 02478-0900
Telephone: (617) 993-2650

Building Division
(617) 993-2664
Planning Division
(617) 993-2666

June 16, 2025

Frank Valentino
80 Clark Lane,
Waltham, MA 02451

RE: Denial to Construct a Mixed-Use Building.

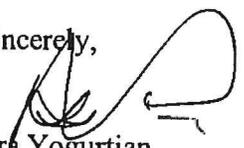
Dear Mr. Valentino:

The Office of Planning and Building is in receipt of your building permit application to construct a Mixed-Use Building at 23 White Street, located in LBI Zoning District.

Your application has been denied because it does not comply with the current Zoning By-Laws. More specifically, 1.- §3.3 of the Town of Belmont's Zoning By-Law states, "Mixed-Use - provided that at a minimum the first floor is to be reserved for commercial use and that the residential use comply with §6.10, inclusionary Housing" may be allowed only by Special Permit from the Board of Appeals, 2.- §7.3.2 a) of the By-Law, requires Design and Site Plan Approval by the Planning Board for any new buildings or additions greater than 2500SF Gross Floor area or proposal that results in the need for six or more parking spaces. 3.- Maximum allowed FAR in LBI district is 1.25, the existing is 0.7 and the proposed is 2.51, a Variance, 4.- Minimum required front setback is 5.0', the existing and proposed is 1.3', a Special Permit.

You may alter your plans to conform to the current Town of Belmont Zoning By-Law and resubmit a building permit application, or you may request Two (2) Special Permits and one Variance from the Zoning Board of Appeals. Upon approval, you may request Design and Site Plan Approval from the Planning Board. If you choose this option, please contact the Office of Planning and Building to schedule an appointment with Ara Yogurtian, Inspector of Buildings, at (617) 993-2650 in order to begin the process.

Sincerely,


Ara Yogurtian
Inspector of Buildings

**Applicant's Statement for a Special Permit a
23 White Street, Belmont, MA**

On March 18, 2024, the applicant acquired 23 White Street, Belmont, MA which currently consists of a commercial garage space situated on two lots comprising 2914 square feet. The existing structure consists of 2184 square feet. The building is a brick garage that has been used as an automobile repair shop.

Pursuant to By-Law Section 3.3, the Applicant seeks a special permit and a variance to create a mixed-use development by adding two stories to the existing structure's footprint and small 255 square foot addition to the first floor.

The first floor will consist of commercial office space and parking. The second and third floors will have a total of 8 residential units, consisting of 4 studios and 4 one bedrooms.

The proposed new height of the building will be 32 feet. By-Law Section, 4.23 (B) provides that in LBI Districts, a maximum building height of up to 32 feet and 3 stories may be allowed by Special Permit from the Board of Appeals.

The applicant's proposal is not substantially more detrimental to the neighborhood than the existing nonconforming use. The proposed size of the building is similar to others recently built structures that abut the property in the zoning district. The size of the units and location in close proximity to the MBTA station and bus line will not negatively impact the abutting neighbors as there will be no appreciable increase in traffic. Finally, the proposal will increase Belmont's housing stock without creating a negative fiscal impact on the town.

The applicant is a successful contractor having built many residential dwellings in Waltham, Watertown and Newton. He will deliver a quality product that will be an asset to the neighborhood and Town of Belmont.

The applicant's counsel has spoken with Mr. Yogurtian to go over the proposed plans on several occasions. Following the various conversations, modifications were made to the plans based upon Mr. Yogurtian's comments.

By its attorneys,



Joseph M. Noone (BBO #559644)
AVERY, DOOLEY & NOONE, LLP
3 Brighton Street
Belmont, MA 02478
(617) 489-5300
jnoone@averydooley.com

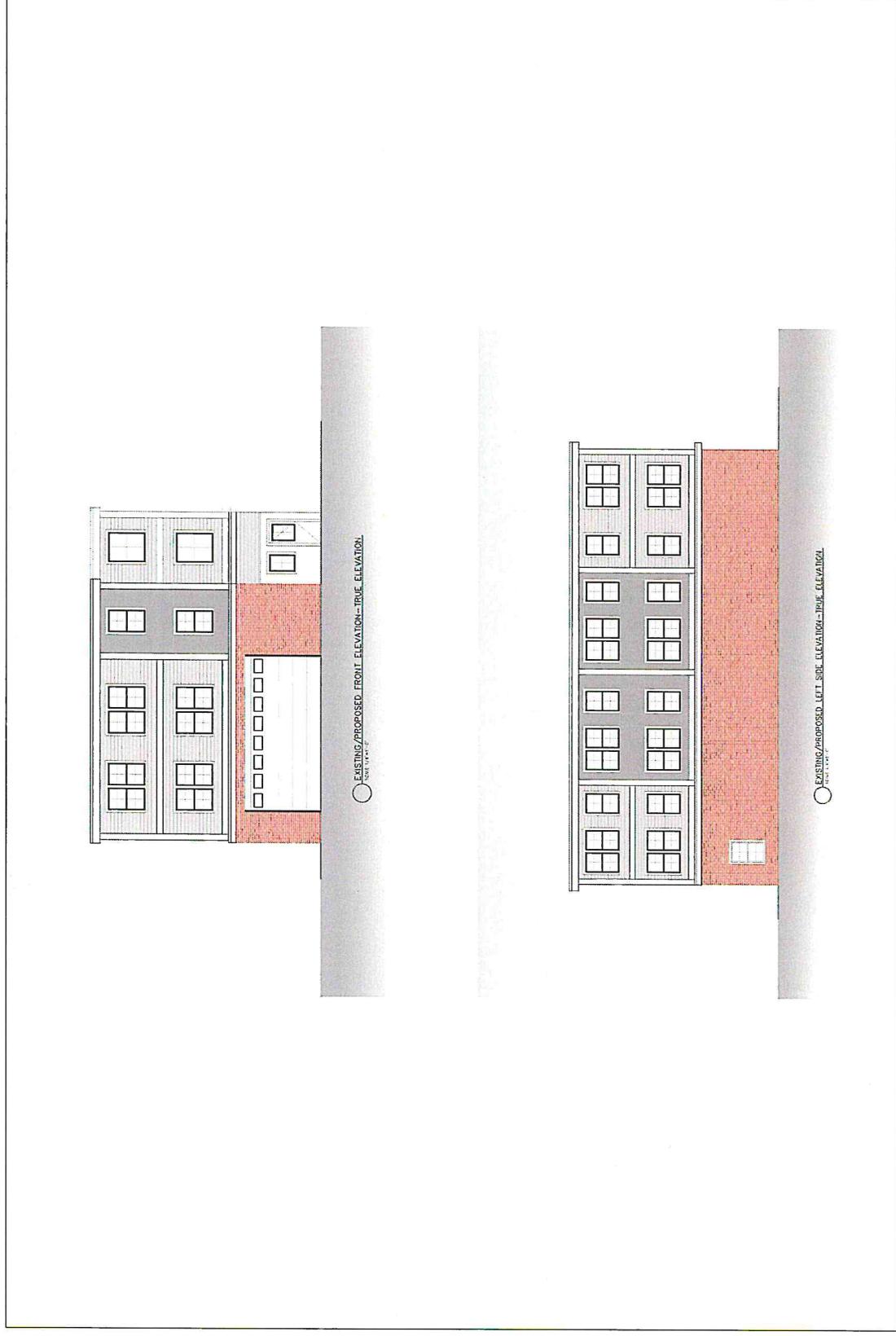
REHABILITATION OF EXISTING COMMERCIAL BUILDING TO EIGHT APARTMENT UNITS

(4) ONE BEDROOM UNITS
(4) STUDIO UNITS

MR. FRANK VALENTINO
23 WHITE STREET
BELMONT, MA

ALBERT COSTA ARCHITECTS
681 MAIN STREET
WALTHAM, MASS 02451
TEL: 781-647-5831

05-01-2025



SCHEDULE OF DRAWINGS	
ARCHITECTURE	
EX-1	EXISTING FIRST FLOOR AND ROOF PLAN
EX-2	EXISTING ELEVATIONS
A-1	EXISTING/PROPOSED FIRST FLOOR PLAN
A-2	EXISTING/PROPOSED SECOND FLOOR PLAN
A-3	EXISTING/PROPOSED THIRD FLOOR PLAN
A-4	EXISTING/PROPOSED FRONT AND RIGHT SIDE ELEVATIONS
A-5	EXISTING/PROPOSED REAR AND LEFT SIDE ELEVATIONS
CEILING INFORMATION	
Ⓢ	SMOKE DETECTOR
Ⓜ	HEAT DETECTOR
Ⓢ	CARBON MONOXIDE DETECTOR
MATERIALS	
	CONCRETE
	GLASS
	RIGID INSULATION
	BATT INSULATION
	ROUGH DIMENSION WOOD
	SOUL
	STONE
	PLYWOOD
	GYPSUM BOARD

TITLE SHEET AND GENERAL NOTES
SHEET

T-1

REHABILITATION OF EXISTING
COMMERCIAL BUILDING TO
EIGHT APARTMENT UNITS
(4) ONE BEDROOM UNITS
(4) STUDIO UNITS
MR. FRANK VALENTINO
23 WHITE STREET
BELMONT, MA

General Notes :

Symbol



681 MAIN STREET
WATERBURY, MA 05671
TEL/FAX: 781-947-8831

Job Number: 21434.00

Scale: 1/4" = 1'-0"

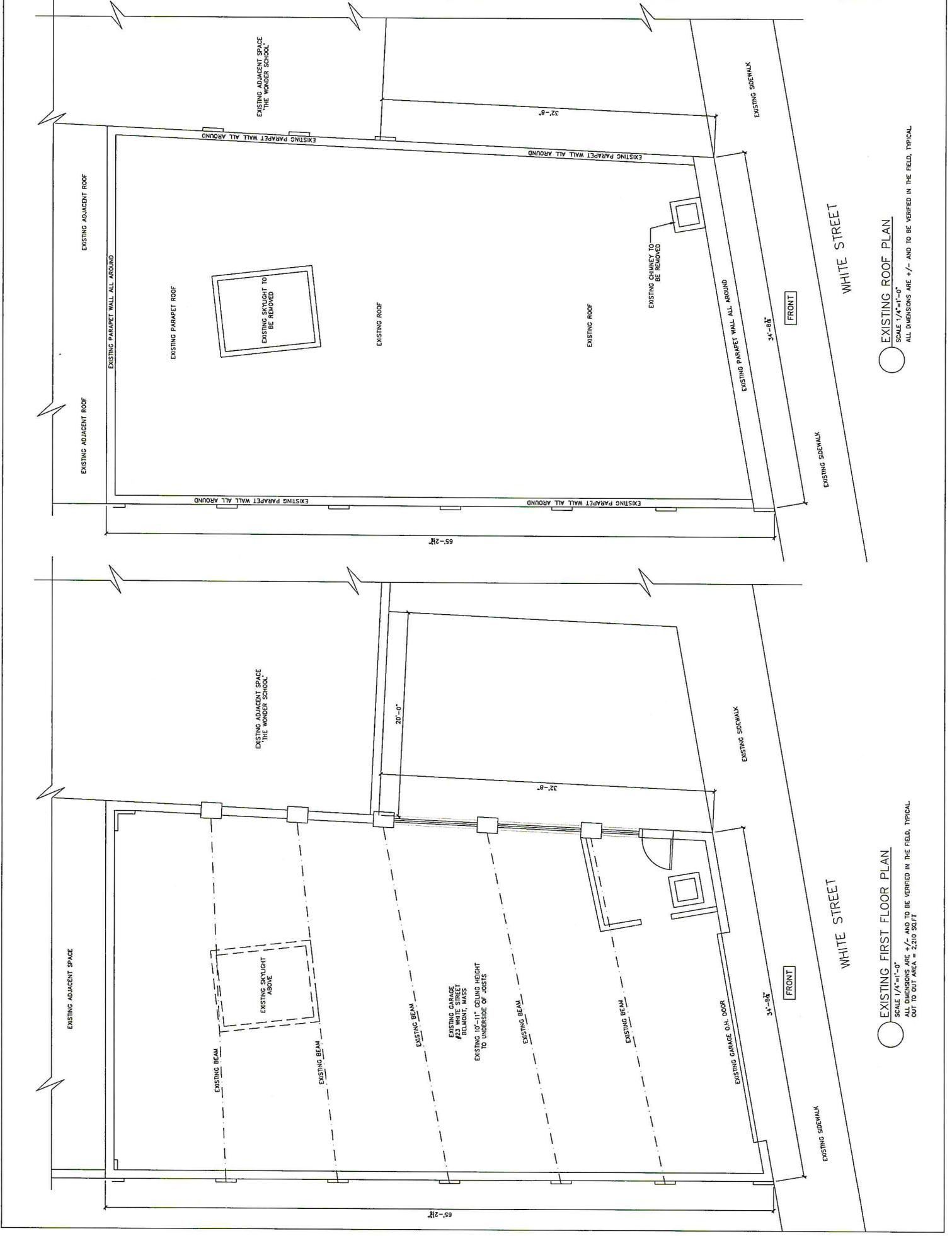
Date: 10-25-2024

Revisions:
01-07-2024
05-01-2025

EXISTING FIRST FLOOR
PLAN AND ROOF PLAN

Drawing

EX-1



EXISTING FIRST FLOOR PLAN

SCALE 1/4"=1'-0"
ALL DIMENSIONS ARE +/- AND TO BE VERIFIED IN THE FIELD. TYPICAL
OUT TO OUT AREA = 2,210 SQ.FT.

EXISTING ROOF PLAN

SCALE 1/4"=1'-0"
ALL DIMENSIONS ARE +/- AND TO BE VERIFIED IN THE FIELD. TYPICAL

REHABILITATION OF EXISTING
COMMERCIAL BUILDING TO
EIGHT APARTMENT UNITS
(4) ONE BEDROOM UNITS
(4) STUDIO UNITS
MR. FRANK VALENTINO
23 WHITE STREET
BELMONT, MA

General Notes :

Symbol



881 MAIN STREET
WALTHAM, MA 02451
TEL/FAX: 781-647-3851

Job Number: 21434.00

Scale: 1/4" = 1'-0"

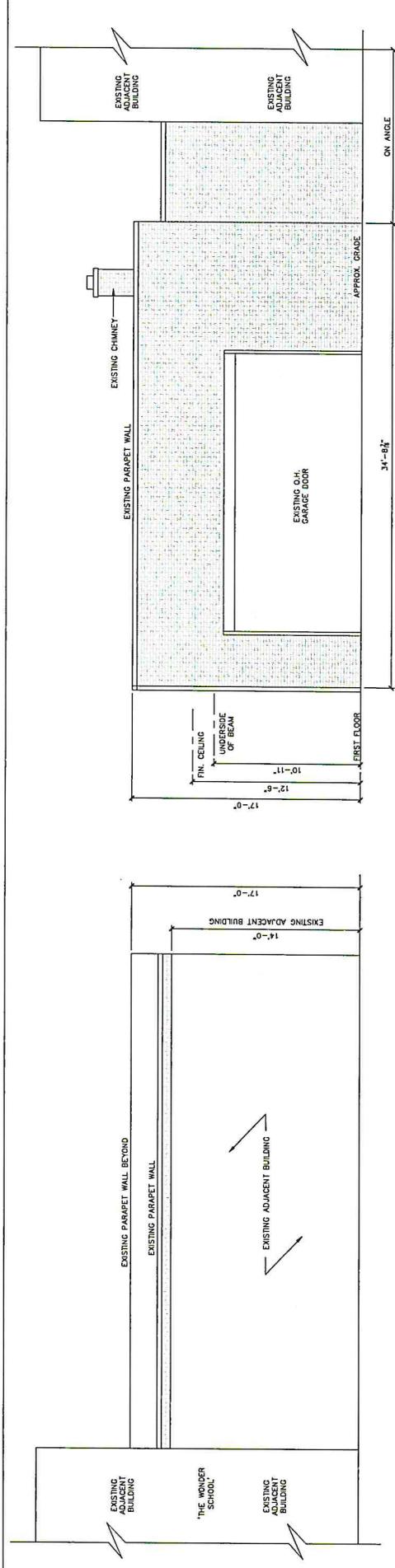
Date: 10-25-2024

Revisions:
01-07-2024
05-01-2025

EXISTING ELEVATIONS

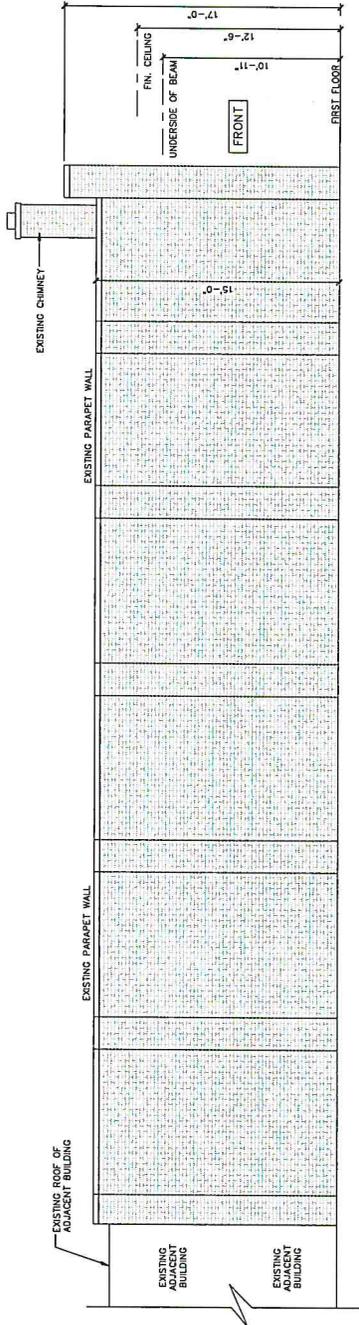
Drawing

EX-2

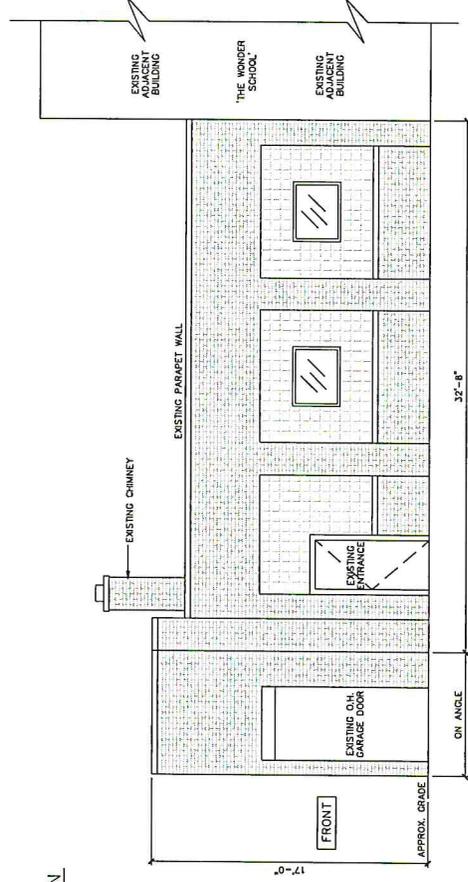


EXISTING REAR ELEVATION - TRUE ELEVATION
SCALE 1/4"=1'-0"

EXISTING FRONT ELEVATION - TRUE ELEVATION
SCALE 1/4"=1'-0"
ALL DIMENSIONS ARE +/- VERIFY IN FIELD, TYPICAL



EXISTING LEFT SIDE ELEVATION - TRUE ELEVATION
SCALE 1/4"=1'-0"



EXISTING RIGHT SIDE ELEVATION - TRUE ELEVATION
SCALE 1/4"=1'-0"

REHABILITATION OF EXISTING COMMERCIAL BUILDING TO EIGHT APARTMENT UNITS
 (4) ONE BEDROOM UNITS
 (4) STUDIO UNITS
 MR. FRANK VALENTINO
 23 WHITE STREET
 BELMONT, MA

General Notes :

Symbol



681 MAIN STREET
 WALTHAM, MA 02451
 TEL/FAX: 781-647-8831

Job Number: 21434.00

Scale: 1/4" = 1'-0"

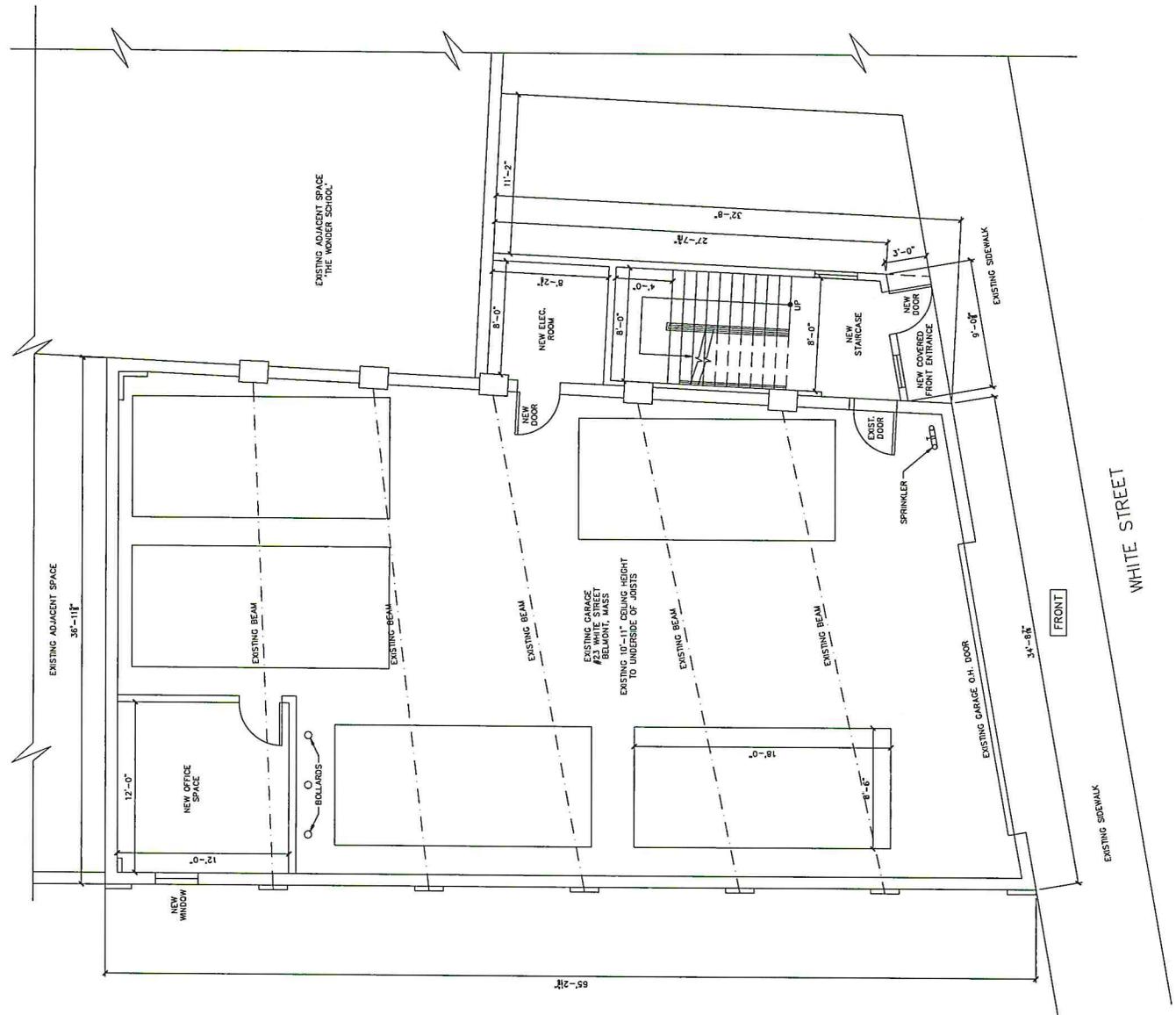
Date: 10-25-2024

Revisions: 01-07-2024
 05-01-2025

EXISTING/PROPOSED FIRST FLOOR PLAN

Drawing

A-1



EXISTING/PROPOSED FIRST FLOOR PLAN

SCALE 1/4" = 1'-0"
 ALL DIMENSIONS ARE TO BE VERIFIED IN THE FIELD, TYPICAL
 EXISTING OUT TO OUT AREA = 2,207 SQ.FT.
 NEW ADDITION = 253 SQ.FT.
 NEW TOTAL OUT TO OUT AREA = 2,460 SQ.FT.

REHABILITATION OF EXISTING
COMMERCIAL BUILDING TO
EIGHT APARTMENT UNITS
(4) ONE BEDROOM UNITS
(4) STUDIO UNITS
MR. FRANK VALENTINO
23 WHITE STREET
BELMONT, MA

General Notes :

Symbol



681 MAIN STREET
WALTHAM, MA 02451
TEL./FAX: 781-647-8831

Job Number: 21434.00

Scale: 1/4" = 1'-0"

Date: 10-25-2024

Revisions:
01-07-2024
03-16-2024
05-01-2025

EXISTING/PROPOSED
SECOND FLOOR PLAN

Drawing

A-2



PROPOSED SECOND FLOOR PLAN

SCALE 1/4"=1'-0"
ALL DIMENSIONS ARE IN FEET AND INCHES TO BE VERIFIED IN THE FIELD. TYPICAL
GROSS INTERIOR AREA = 4,740 SQ.FT.
NET TO FOOT AREA = 2,460 SQ.FT.

REHABILITATION OF EXISTING
COMMERCIAL BUILDING TO
EIGHT APARTMENT UNITS
(4) ONE BEDROOM UNITS
(4) STUDIO UNITS
MR. FRANK VALENTINO
23 WHITE STREET
BELMONT, MA

General Notes :

Symbol



481 MAIN STREET
WALTHAM, MA 02451
TEL./FAX: (781) 647-5831

Job Number: 21434.00

Scale: 1/4" = 1'-0"

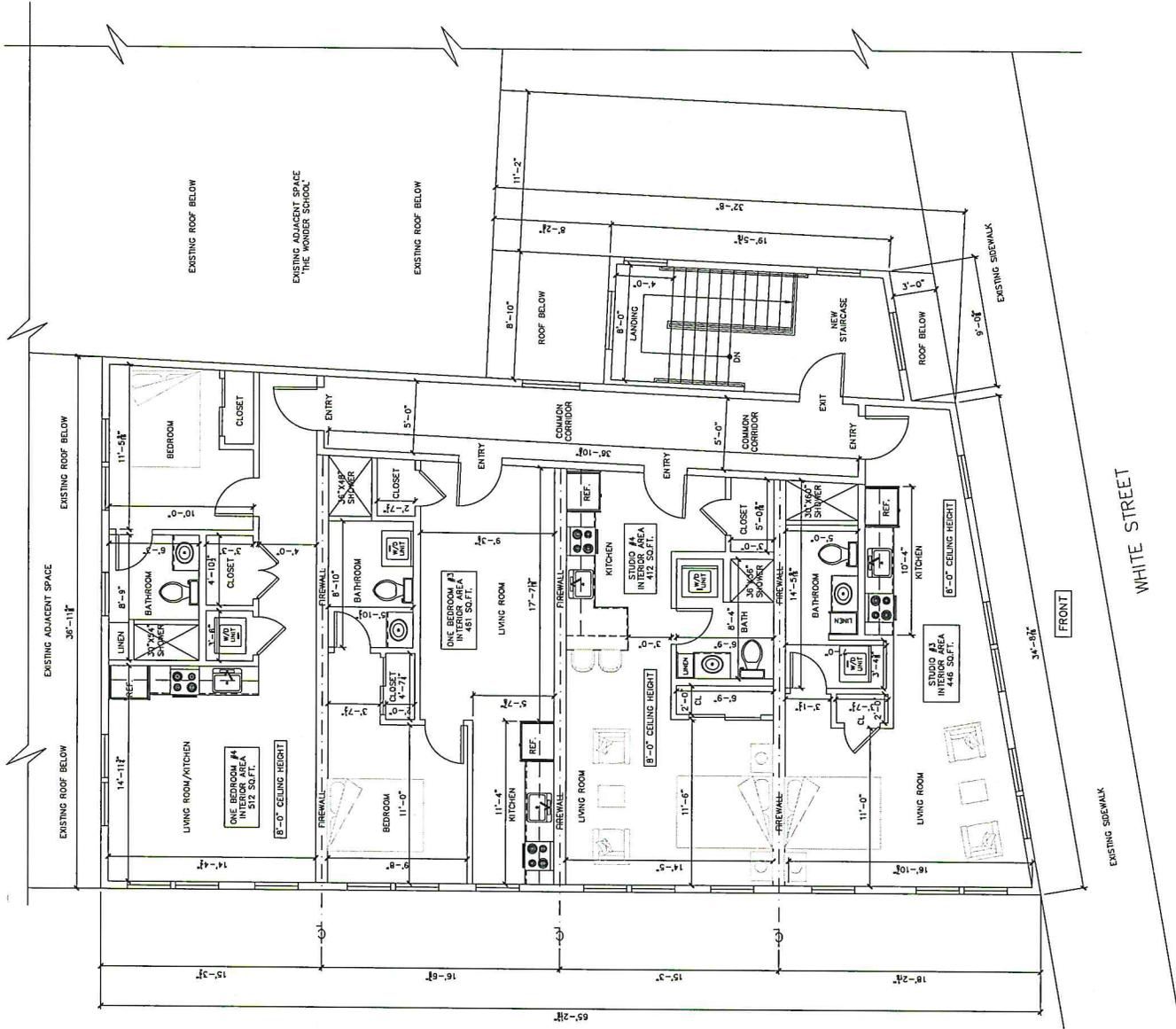
Date: 10-25-2024

Revisions:
01-07-2024
03-19-2025
05-01-2025

EXISTING/PROPOSED
THIRD FLOOR PLAN

Drawing

A-3



PROPOSED THIRD FLOOR PLAN

SCALE 1/4" = 1'-0"
DIMENSIONS ARE +/- AND TO BE VERIFIED IN THE FIELD. TYPICAL
GUT TO OUT AREA = 2,460 SQ. FT.

REHABILITATION OF EXISTING
COMMERCIAL BUILDING TO
EIGHT APARTMENT UNITS
(4) ONE BEDROOM UNITS
(4) STUDIO UNITS
MR. FRANK VALENTINO
23 WHITE STREET
BELMONT, MA

General Notes :

Symbol



681 MAIN STREET
WALTHAM, MA 02451
TEL/FAX: 781-947-3501

Job Number: 21434.00

Scale: 1/4" = 1'-0"

Date: 10-25-2024

Revisions:
01-07-2024
05-01-2025

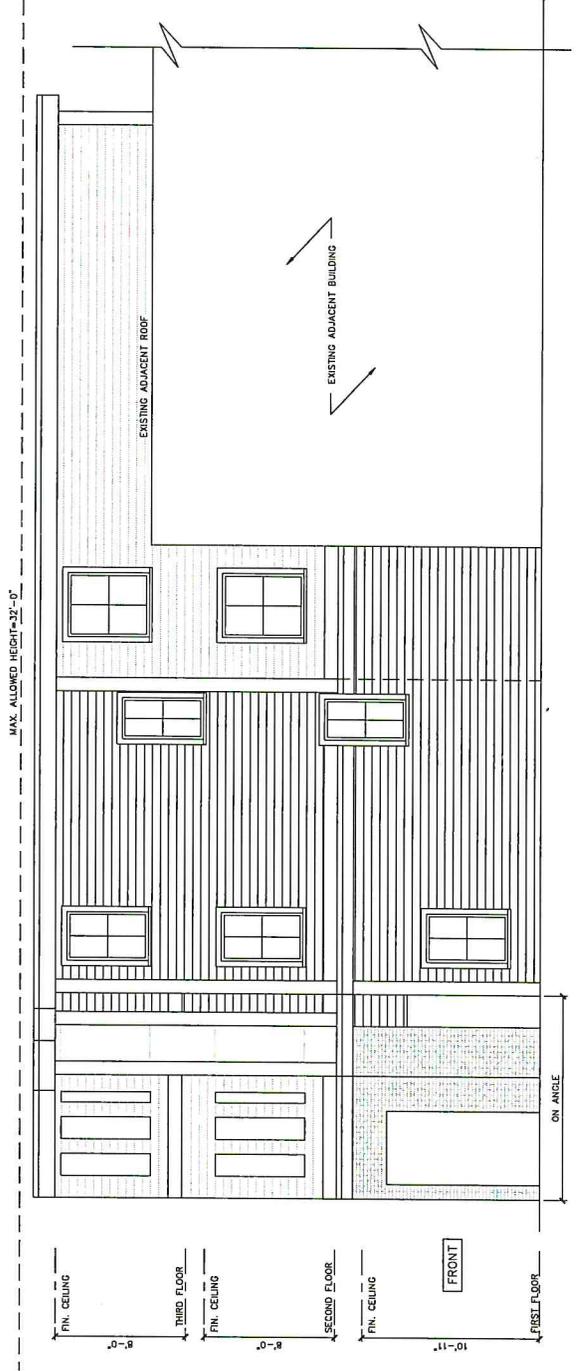
EXISTING/PROPOSED
FRONT AND RIGHT SIDE
ELEVATIONS

Drawing

A-4



EXISTING/PROPOSED FRONT ELEVATION—TRUE ELEVATION
SCALE 1/4"=1'-0"

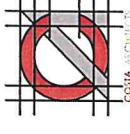


EXISTING/PROPOSED RIGHT SIDE ELEVATION—TRUE ELEVATION
SCALE 1/4"=1'-0"

REHABILITATION OF EXISTING
COMMERCIAL BUILDING TO
EIGHT APARTMENT UNITS
(4) ONE BEDROOM UNITS
(4) STUDIO UNITS
MR. FRANK VALENTINO
23 WHITE STREET
BELMONT, MA

General Notes :

Symbol



681 MAIN STREET
WILMINGTON, MA 01897
TEL./FAX: 781-647-5831

Job Number: 21434.00

Scale: 1/4" = 1'-0"

Date: 10-25-2024

Revisions:
01-07-2024
05-01-2025

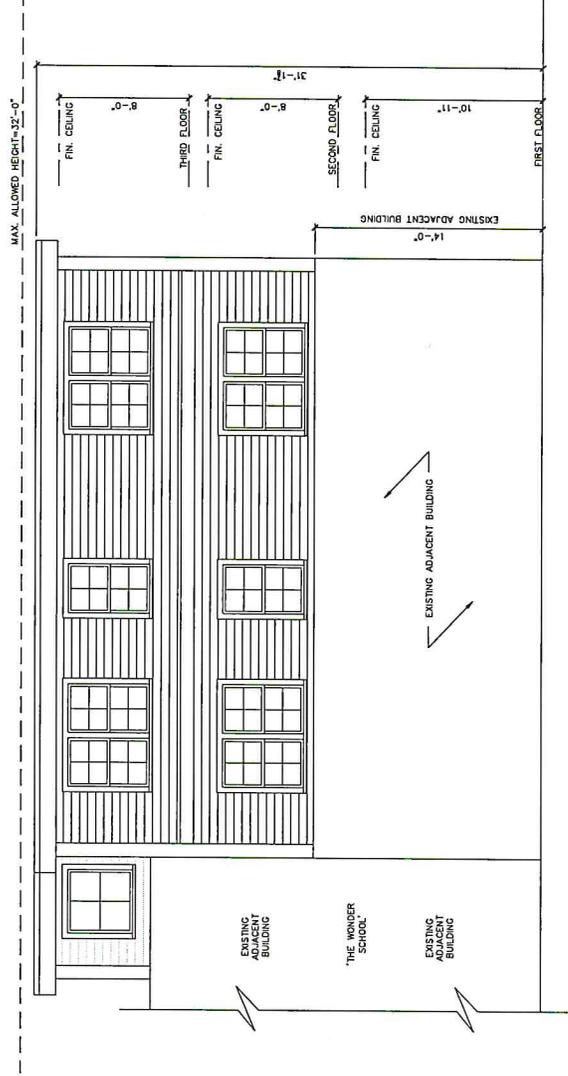
EXISTING/PROPOSED
REAR AND LEFT SIDE
ELEVATIONS

Drawing

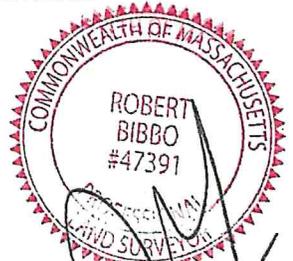
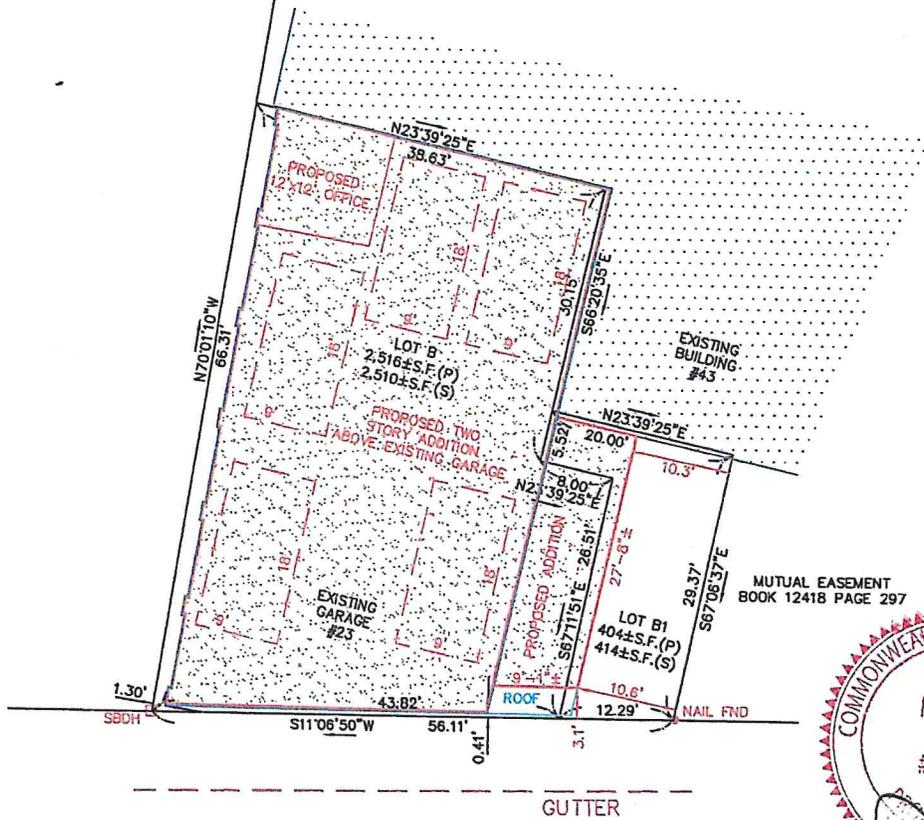
A-5



○ EXISTING/PROPOSED LEFT SIDE ELEVATION—TRUE ELEVATION
SCALE 1/4"=1'-0"



○ EXISTING/PROPOSED REAR ELEVATION—TRUE ELEVATION
SCALE 1/4"=1'-0"



WHITE (PUBLIC, 45' WIDE) STREET

	REQUIRED	ZONE LB1 EXISTING	PROPOSED
LOT AREA	-	2,914±S.F.	2,914±S.F.
LOT FRONTAGE	20'	56.11'	56.11'
F.A.R.	1.25	0.7	2.51
LOT COVERAGE	-	74.9%	83.6%
OPEN SPACE	-	25.1%	16.4%
FRONT SETBACK	5'	0.41'	0.41'
SIDE SETBACK	6'	1.3'	1.3'
SIDE SETBACK	NONE	19.7'	10.3'
REAR SETBACK	6'/NONE	0'	0'
BUILDING HEIGHT	32'	20'±	MAX 32'
STORIES	2	1	3

LOT COVERAGE:
 LOT B 2,510±S.F.(S) & LOT B-1 404±S.F.(P)
 TOTAL = 2,914±S.F.
 EXISTING GARAGE/PROPOSED OFFICE = 2,184±S.F.
 PROPOSED ADDITION = 255±S.F.
 TOTAL = 2,439±S.F. OR 83.6%

RECORD OWNER:
 FRANK D. VALENTINO

DEED REFERENCE:
 BOOK 82594 PAGE 154

PLAN REFERENCE:
 PLAN 154 OF 1973

THE GARAGE SHOWN ON THIS PLAN WAS LOCATED IN THE FIELD BY INSTRUMENT.

THE PROPERTY SHOWN ON THIS PLAN IS IN FLOOD ZONE "X" AND IS NOT IN THE 100-YEAR FLOOD PLAIN AREA AS DESIGNATED BY THE FLOOD INSURANCE RATE MAP #25017C0414E DATED JUNE 4, 2010.

PLAN OF LAND ~ BELMONT, MA
 SHOWING PROPOSED 2 STORY ADDITION
 OVER EXISTING GARAGE
 WITH PROPOSED OFFICE
 &
 PROPOSED ADDITION/ WITH STAIR WELL
 # 23 WHITE STREET

DATE: DECEMBER 18, 2024 SCALE: 1" = 20'
 REVISED: APRIL 24, 2025 REVISED: MAY 28, 2025

PREPARED BY:
 BIBBO BROTHERS AND ASSOCIATES
 SURVEYING, ENGINEERING
 & CONSTRUCTION CONSULTING

10 HAMMER STREET,
 WALTHAM, MA 02453
 TEL: 781-891-0417

E-MAIL: bibbobrothers@comcast.net

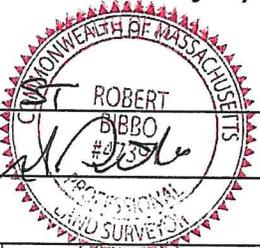
Zoning Compliance Check List (Registered Land Surveyor)

Property Address: 23 WHITE

Zone: LB1

Surveyor Signature and Stamp: [Signature]

Date: 5/1/25



	REQUIRED	EXISTING	PROPOSED
Lot Area	—	2,914± SF	2,914± SF
Lot Frontage	20.0	56.11	56.11
Floor Area Ratio	1.25	0.7%	2.51%
Lot Coverage	—	2184± 74.9%	2439± 83.6%
Open Space	—	25.1%	16.4%
Front Setback	5'	0.41	0.41
Side Setback	6'	1.3	1.3
Side Setback	NONE	19.7	10.3
Rear Setback	6' OR NONE	0'	0'
Building Height	32'	20'±	MAX. 32'
Stories	2 STORY	1 STORY	3 STORY
½ Story Calculation			

NOTES: